

Land Development Plans

SPRING HOUSE ESTATES

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

prepared for

ACTS RETIREMENT-LIFE COMMUNITIES INC.

prepared by



607 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090

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Fax: (215) 346-8759
www.eustaceeng.com

		Plan Index		
Drawing Number	Sheet No.	Name	Date	Last Revised
D 2373 04 01	1	Record Plan	11/20/2023	08/09/2024
D 2373 04 02	2	Existing Conditions & Demolition Plan A	11/20/2023	08/09/2024
D 2373 04 03	3	Existing Conditions & Demolition Plan B	11/20/2023	08/09/2024
D 2373 04 04	4	Existing Conditions & Demolition Plan C	11/20/2023	08/09/2024
D 2373 04 05	5	Land Development Plan	11/20/2023	08/09/2024
D 2373 04 06	6	Grading Plan A	11/20/2023	08/09/2024
D 2373 04 07	7	Grading Plan B	11/20/2023	08/09/2024
D 2373 04 08	8	Grading Plan C	11/20/2023	08/09/2024
D 2373 04 09	9	Grading Plan D	11/20/2023	08/09/2024
D 2373 04 10	10	Utility Plan	11/20/2023	08/09/2024
D 2324 04 11	11	Construction Details	11/20/2023	08/09/2024
D 2373 04 12	12	Utility Details	11/20/2023	08/09/2024
D 2373 04 13	13	Utility Profiles	11/20/2023	08/09/2024
D 2373 04 14	14	Overall Erosion and Sediment Control Plan	11/20/2023	08/09/2024
D 2373 04 15	15	Erosion and Sediment Control Plan - A	11/20/2023	08/09/2024
D 2373 04 16	16	Erosion and Sediment Control Plan - B	11/20/2023	08/09/2024
D 2373 04 17	17	Erosion and Sediment Control Plan - C	11/20/2023	08/09/2024
D 2373 04 18	18	Erosion and Sediment Control Notes	11/20/2023	08/09/2024
D 2373 04 19	19	Erosion and Sediment Control Details	11/20/2023	08/09/2024
D 2373 04 20	20	Overall Post Construction Stormwater Management Plan	11/20/2023	08/09/2024
D 2373 04 21	21	Post Construction Stormwater Management Plan - A	11/20/2023	08/09/2024
D 2373 04 22	22	Post Construction Stormwater Management Plan - B	11/20/2023	08/09/2024
D 2373 04 23	23	Post Construction Stormwater Management Plan - C	11/20/2023	08/09/2024
D 2373 04 24	24	Post Construction Stormwater Management Notes	11/20/2023	08/09/2024
D 2373 04 25	25	Post Construction Stormwater Management Details	11/20/2023	08/09/2024
D 2373 04 26	26	Vehicular Movement Plan	11/20/2023	08/09/2024
L-1	27	Landscape Plan	11/20/2023	08/09/2024
L-2	28	Tree Removals Plan	11/20/2023	08/09/2024
L-3	29	Overall Landscape Plan - North	11/20/2023	08/09/2024
L-4	30	Overall Landscape Plan - South	11/20/2023	08/09/2024
L-5	31	Courtyard Lighting Plan	11/20/2024	08/09/2024
L-6	32	Landscape Details & Plant Schedule	11/20/2023	08/09/2024
L-7	33	Landscape Details	11/20/2023	08/09/2024
L-8	34	Site Lighting Plan	5/29/2024	08/09/2024

X:\PROJECTS\237304 Acts - Spring House Estates\DRAWINGS\Land development\01-record plan.dwg August 8, 2024

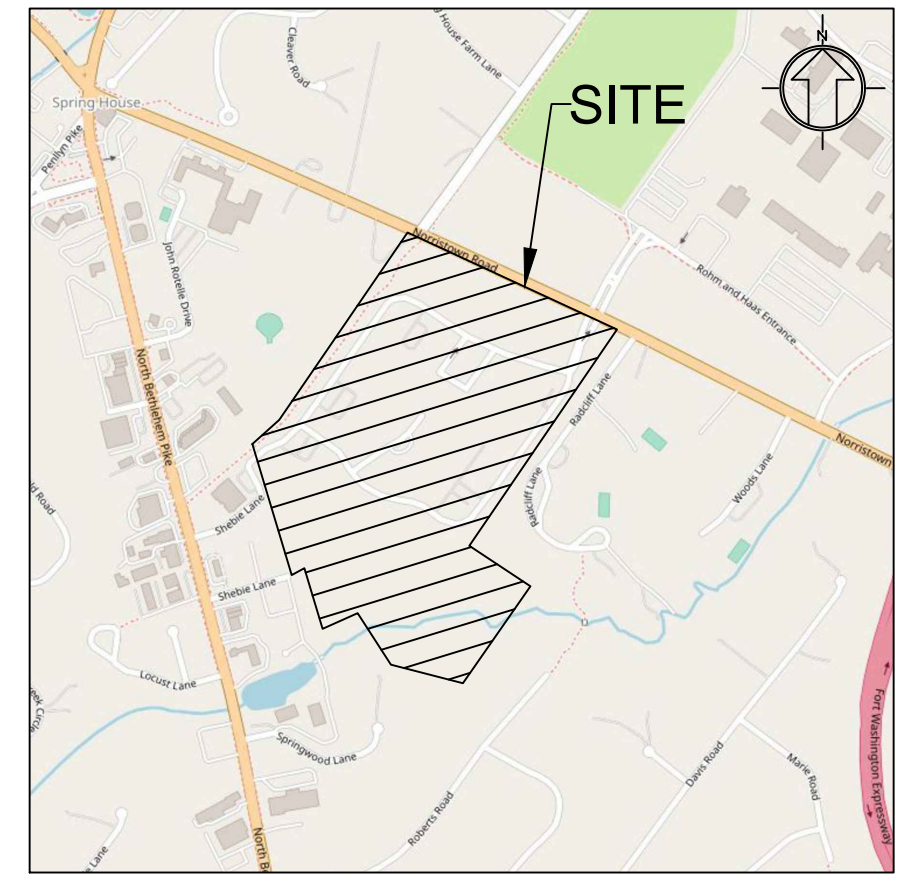
IMPERVIOUS CALCULATIONS TABLE				
TYPE	EXISTING	EXISTING REMOVED	PROPOSED	TOTAL
BUILDING	270,878 SF	864 SF	3,576 SF	273,590 SF
ASPHALT	309,998 SF	18,955 SF	20,573 SF	311,616 SF
CONC., RIPRAP, ETC.	56,701 SF	6,103 SF	10,465 SF	61,063 SF
TOTAL	637,577 SF	25,922 SF	34,614 SF	646,269 SF
GROSS AREA	55.04 AC			55.04 AC
PERCENT IMPERVIOUS	26.59 %			26.96 %

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General Notes:

- Boundary and site features information from Record Plan, prepared for Spring House Estates, dated 2-2-99, last revised 3-31-2000, Drawing No. 50102, Sheet 1 of 16, Job 187-021.01, prepared by Chambers Associates, Inc., 619 Conestoga Road, Villanova, PA 19085.
- Supplemental field survey of areas to be improved performed by Eustace Engineering of Willow Grove on March 11, 2021.
- This Plan does not represent a Boundary Survey.
- This Plan was prepared in accordance with the instructions of the Client.
- This property is subject to all easements, restrictions and agreements of record.
- Easements if shown are done so to the best of our abilities given the quality of the reference documents.
- This Plan was prepared without the benefit of a Title Report. This property is subject to all easements, restrictions, and agreements of record as they may apply and any stated facts that a current Title Report would reveal.
- Future development of this property is subject to all rules, regulations, codes and ordinances of the Lower Gwynedd Township, Montgomery County, and the Commonwealth of Pennsylvania as they may apply.
- Attention is called to the Lower Gwynedd Township Zoning Code as amended.
- A building and/or zoning permit is required for any changes to the conditions that exist within this property.
- Property corners were not set.
- Building setback lines are not shown herein.



Location Map
Scale: 1" = 1000'

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY

ON THIS DAY, _____ DAY OF _____, 20____, BEFORE ME, THE SUBSCRIBED, A NOTARY PUBLIC, PERSONALLY APPEARED _____ WHO ACKNOWLEDGED TO BE _____ OF ACTS RETIREMENT-LIFE COMMUNITIES, INC. AND THAT AS SUCH OFFICER, BEING AUTHORIZED TO DO SO, EXECUTED THE WITHIN INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SIGNING THE ACKNOWLEDGEMENT OF INTENT OF THE COMPANY AS OFFICER. WITNESS MY HAND AND NOTORIAL SEAL THIS DAY AND YEAR AFORESAID.

MY COMMISSION EXPIRES _____

ACKNOWLEDGEMENT OF INTENT:
ACTS RETIREMENT-LIFE COMMUNITIES HAS LAID OUT UPON OUR LAND SITUATE IN THE TOWNSHIP OF LOWER GWYNEDD, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, CERTAIN LOTS AND STREETS ACCORDING TO THE ACCOMPANYING PLAN WITNESS MY HAND AND SEAL THIS DAY, _____ DAY OF _____, 20____.

(SIGNATURE OF OWNER)
(SEAL)
(TITLE)

APPROVED BY THE LOWER GWYNEDD TOWNSHIP PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

APPROVED BY THE LOWER GWYNEDD TOWNSHIP ENGINEER THIS _____ DAY OF _____, 20____.

TOWNSHIP ENGINEER _____

APPROVED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PA THIS _____ DAY OF _____, 20____.

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF MONTGOMERY COUNTY, PENNSYLVANIA, IN PLAN BOOK _____ PAGE _____ ON THIS _____ DAY OF _____, 20____.

SURVEYOR'S STATEMENT
THE BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM A "RECORD PLAN" PREPARED BY CHAMBERS ASSOCIATES, INC., DATED 2-2-99, AS REVISED 3-31-2000 SHEET 1 OF 16. I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION SHOWN HEREON IS TRUE AND CORRECT, AND PER THAT INSTRUMENT OF RECORD.

(PROFESSIONAL REGISTERED SURVEYOR)
(REGISTRATION NUMBER)
(DATE)

ENGINEER'S CERTIFICATION:
THIS PLAN WAS PREPARED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER. ALL DATA CONCERNING EXISTING LAND, BUILDINGS, STREETS AND OTHER LOCATIONS ARE CORRECT AND THAT TO THE BEST OF MY KNOWLEDGE, THE PLAN COMPLIES WITH ALL ORDINANCES AND REGULATIONS OF THE TOWNSHIP.

(SIGNED) _____ (TITLE)

Legend

- Property Line
- Right-of-Way Line
- Setback Line
- Easement
- Existing Building
- Existing Building Overhang
- Existing Edge of Pavement
- Existing Curb
- Existing Wetlands
- Existing Stream
- Existing Concrete
- Existing Brick Paver
- Existing Gravel
- Proposed Building
- Proposed Asphalt
- Proposed Sidewalk
- Proposed Curb
- Proposed Wall
- Proposed Gravel

Site Data:

Address: 728 Norristown Rd.
Lower Gwynedd Township, PA 19002
Zoned: MF-3B - Multi-Family Residential District
Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:

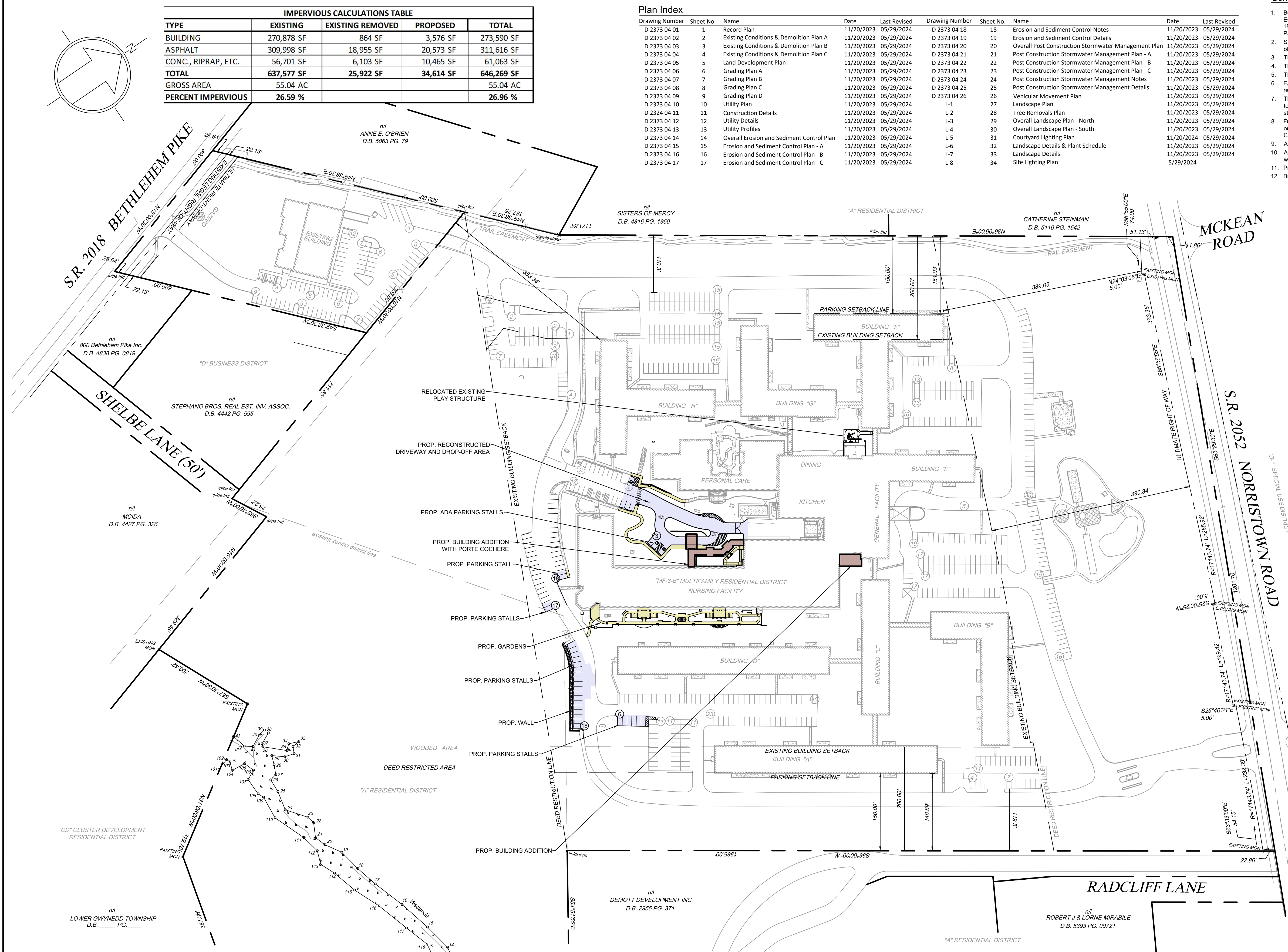
ACTS Retirement-Life Communities, Inc.
Corporate Services Center
423 Delaware Drive
P.O. Box 2222
Fort Washington, PA 19034

Parcel Information:

Parcel ID: 39-00-03025-00-5
Tax Map ID: 390170004

Waivers Requested:

- \$1230.46(o)(3) Partial waiver requested on March 20, 2024 for "Planting Islands shall be provided at the end of each parking row. The island should be 10 feet wide and curbed." Conditions are to provide planting in the islands, but curbs will not need to be installed since there are currently no curbs in the parking areas and will create tripping hazards.



ZONING DATA TABLE

DESCRIPTION	REQUIRED		EXISTING		PROPOSED	
	REQUIRED	EXISTING	EXISTING	PROPOSED	REQUIRED	EXISTING
LOWER GWYNEDD TOWNSHIP						
USE DESCRIPTION			MULTIFAMILY RESIDENTIAL			
LOT AREA	20 AC MIN.	55.04 AC		No Change		
LOT WIDTH	200 FT MIN.	1210.97 FT		No Change		
FRONT YARD	200 FT MIN.	389.69 FT		No Change		
SIDE YARD	200 FT MIN.	148.89 FT*		No Change		
REAR YARD	200 FT MIN.	358.34 FT		No Change		
MAXIMUM BUILDING COVERAGE	20%	11.13%		11.29%		
MAXIMUM IMPERVIOUS COVERAGE	45%	26.55%		26.93%		
MAXIMUM BUILDING HEIGHT	35 FT, 2 STORIES	30 FT, 2 STORIES		No Change		
PARKING REQUIREMENT	0.85 SPACE PER UNIT + EMPLOYEE	572 **		595 **		
DENSITY REQUIREMENT	UNITS PER ACRE = 7.3 MAX.	328 UNITS / 55.04 AC = 5.96		No Change		
NURSING BEDS TO UNITS		96 UNITS		No Change		
PERSONAL CARE UNITS		52 UNITS		No Change		
OPEN SPACE	5 AC MIN.	29.9 AC		No Change		

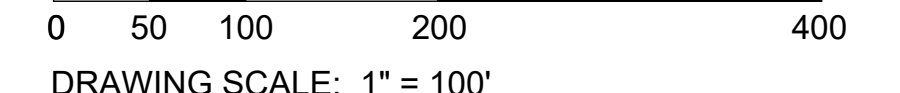
PARKING DATA

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
PARKING SETBACKS (PSBL)			
FRONT, SIDE, REAR - ADJACENT RESIDENTIAL	150 FT	110.3' AND 119.5' *	No Change
FRONT, SIDE, REAR - ADJACENT OTHER DISTRICT	100 FT	N/A	No Change
PARKING REQUIREMENT	3.85 SPACE PER UNIT + EMPLOYEE	532	No Change
REQUIRED PARKING STALL DIMENSIONS	9' X 18'	10' X 18' **	9' X 19'
REQUIRED ADA PARKING STALL DIMENSIONS	12.5' X 19'	N/A	17.5' X 19'
PARKING SPACE TYPE			
CAR	9' X 19'	551 (9'X18')	574
VAN/BUSSES		12 (9'5' X 19')	No Change
BUSSES		4 (10' X 38')	No Change
MAX (9'5' X 25')		6 (9'5' X 25')	No Change
TOTAL		572 SPACES	595

* Existing Non-Conforming

** Car spacing existing non-conforming

GRAPHIC SCALE



DRAWING SCALE: 1" = 100'

SHEET 1 OF 34



Act 287
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.

3	08/09/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
2	05/29/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

Record Plan

ACTS SPRING HOUSE ESTATES

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

EUSTACE
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

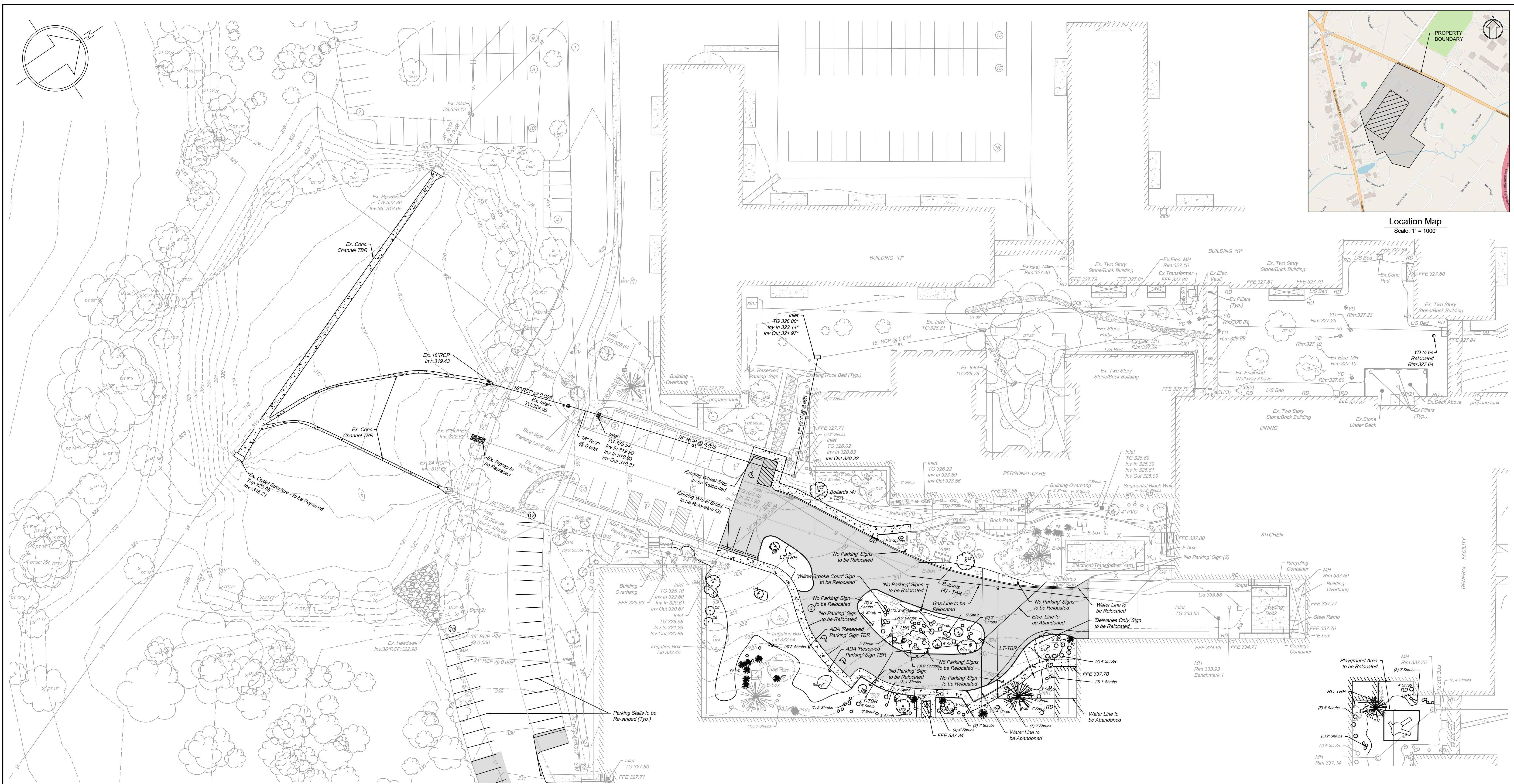
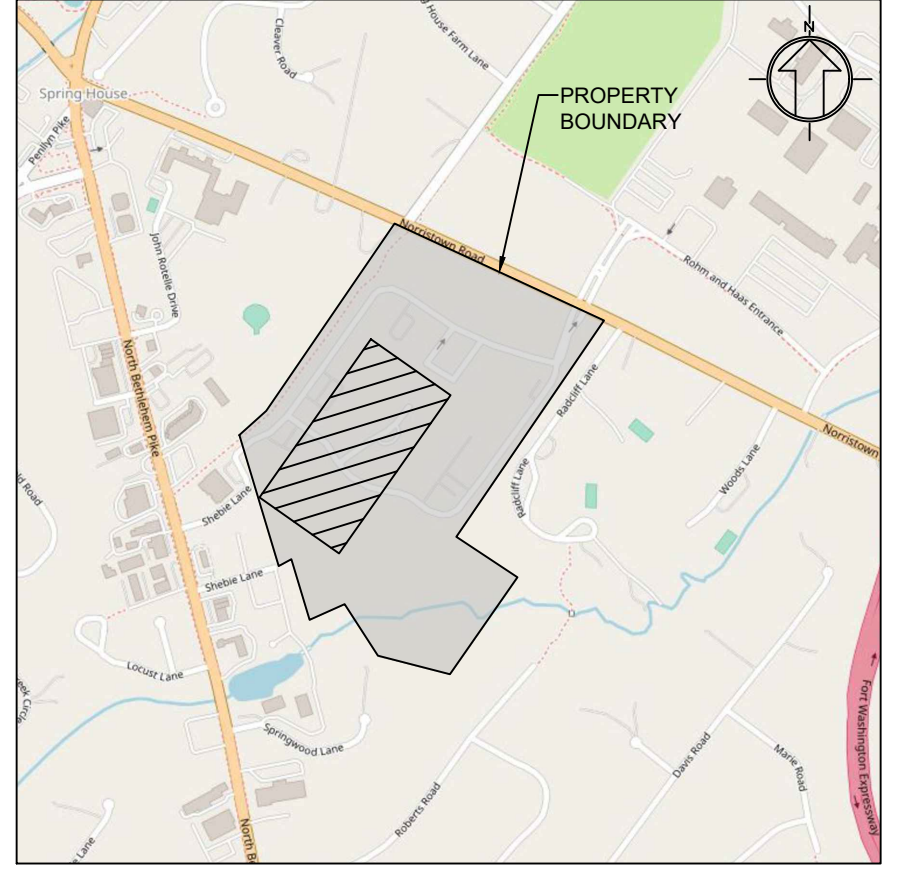
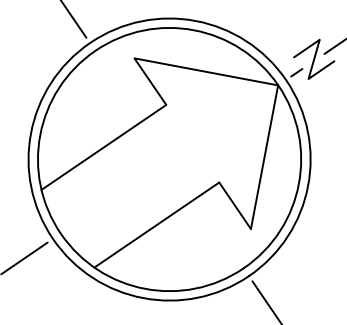
MARTIN J. EUSTACE, III, P.E.
307 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090
Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

DRAWN BY YG

CHECKED BY MJE

DATE 11-20-2023

DRAWING No. D 2373 04 01

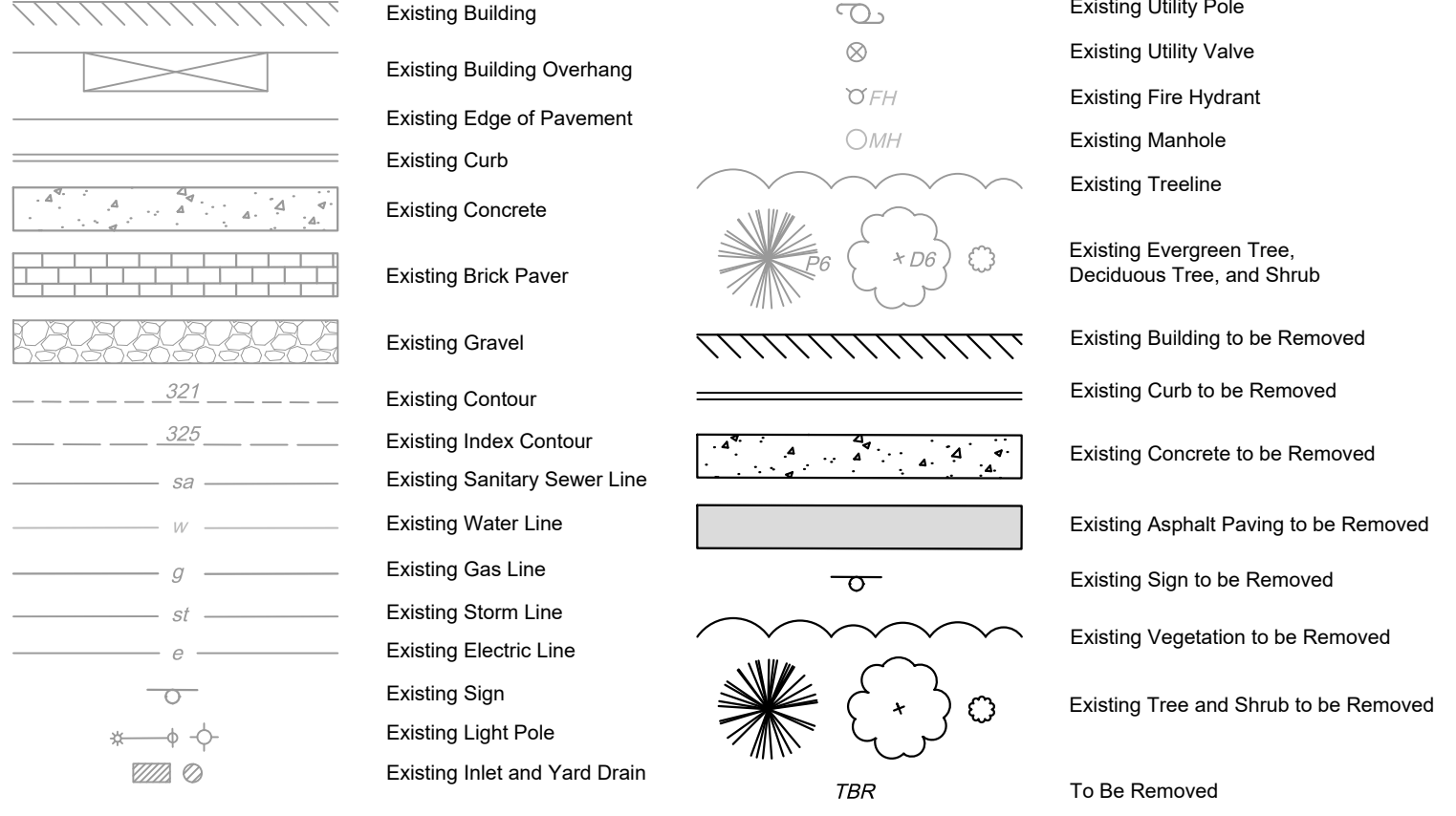


General Notes:

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- Supplemental field survey of areas to be improved performed by Eustace Engineering of Willow Grove on March 11, 2021.
- This Plan does not represent a Boundary Survey.
- This Plan was prepared in accordance with the instructions of the Client.
- This property is subject to all easements, restrictions and agreements of record.
- Easements if shown are done so to the best of our abilities given the quality of the reference documents.
- This Plan was prepared without the benefit of a Title Report. This property is subject to all easements, restrictions, and agreements of record as they may apply and any stated facts that a current Title Report would reveal.
- Future development of this property is subject to all rules, regulations, codes and ordinances of the Lower Gwynedd Township, Montgomery County, and the Commonwealth of Pennsylvania as they may apply.
- Attention is called to the Lower Gwynedd Township Zoning Code as amended.
- A building and/or zoning permit is required for any changes to the conditions that exist within this property.
- Property corners were not set.
- Building setback lines are not shown hereon.
- To the best of our knowledge this property is served by or has the ability to be served by public sanitary sewer, public water, electric, telephone, and gas. The location of service connections are unable to be determined. Utility information shown is a composite of information obtained from the Pennsylvania One Call System Serial Number, 2021112739 and field locations by Eustace Engineering. The location of utility features and the feature information is only approximate

- and where information was readily available. All information is to be verified via a field markout and is subject to the findings that the markout and further research would reveal. Eustace Engineering does not guarantee that all subsurface utility structures and information are shown hereon.
- The subject property shown hereon is subject to underground utilities and pipes. Information regarding location, direction, depth, size and slope is shown to the best of our ability due to site conditions at the time of the survey and the availability of records and information.
- To the best of our knowledge, utilities enter the premises from public streets or rights of way.
- The location of the above and below surface utilities shown hereon are only approximate. Prior to any development of this property, verification needs to be obtained from the appropriate utility authorities to confirm their location, easement locations, development restrictions and regulations.
- This property lies within Flood Hazard Zone-X (areas determined to be outside of 0.2% annual chance flood plain) as per the Federal Emergency Management Agency Flood Insurance Rate Map number 42091C0286G, dated March 2, 2016 for Montgomery County, community 420953, Panel No. 286 of 451.
- Vegetation as shown hereon is approximate and is for graphic depiction purposes only and may not represent exact field locations or conditions.
- Items shown with an asterisk (*) are: (a) items that are a composite of field data and/or reference material; (b) items not able to be obtained and/or determine due to field conditions. These items are not to be considered absolute and are subject to the findings that further verification would reveal.
- Vertical information if shown is based on NAVD88 vertical as established.
- Benchmark 1: Sanitary Manhole Rim, located on asphalt in loading dock area, Elevation: 333.93
- Benchmark 2: Sanitary Manhole Rim, located at bottom of courtyard area, Elevation: 336.65.

Legend



Site Data:

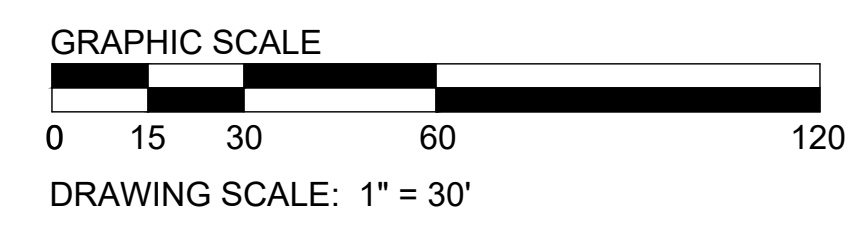
Address: 728 Norristown Rd.
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 Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:

ACTS Retirement-Life Communities, Inc.
 Corporate Services Center
 420 Delaware Drive
 P.O. Box 2222
 Fort Washington, PA 19034

Parcel Information:

Parcel ID: 39-00-03025-00-5
 Tax Map ID: 390170004



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Existing Conditions & Demolition Plan A
ACTS SPRING HOUSE ESTATES

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

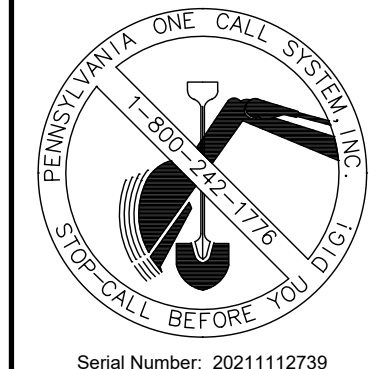
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Martin J. Eustace, III, P.E.
 PA Lic. PE048891E

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CHECKED BY	MJE
DATE	11-20-2023
DRAWING No.	D 2373 04 02

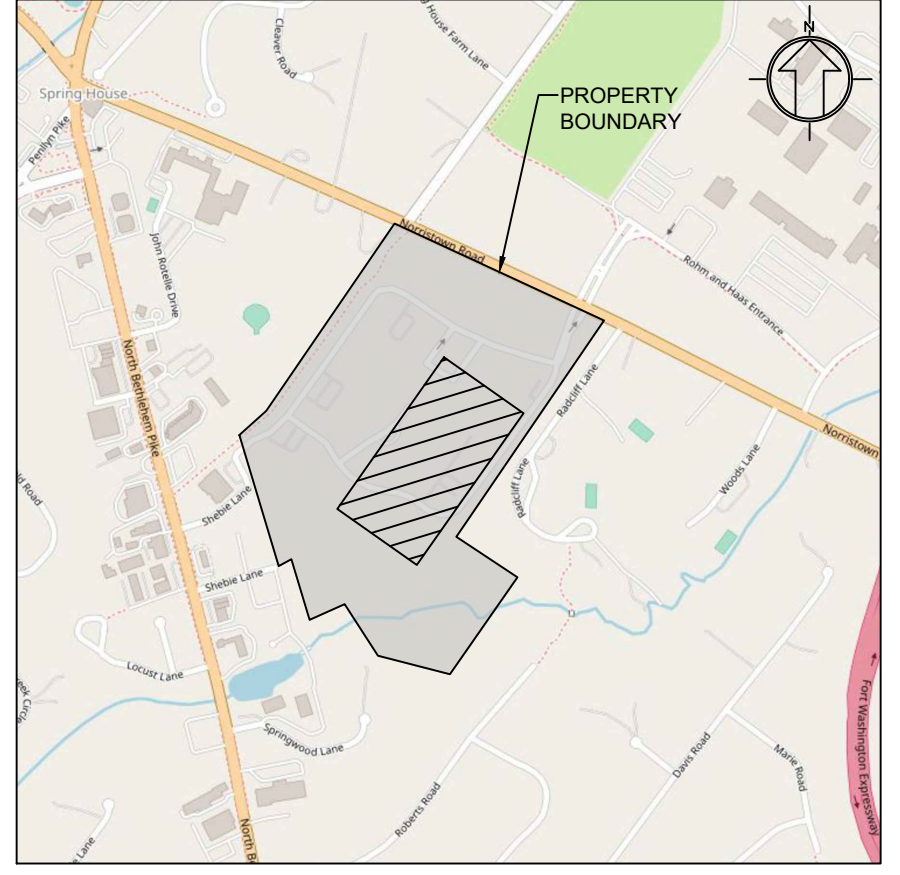
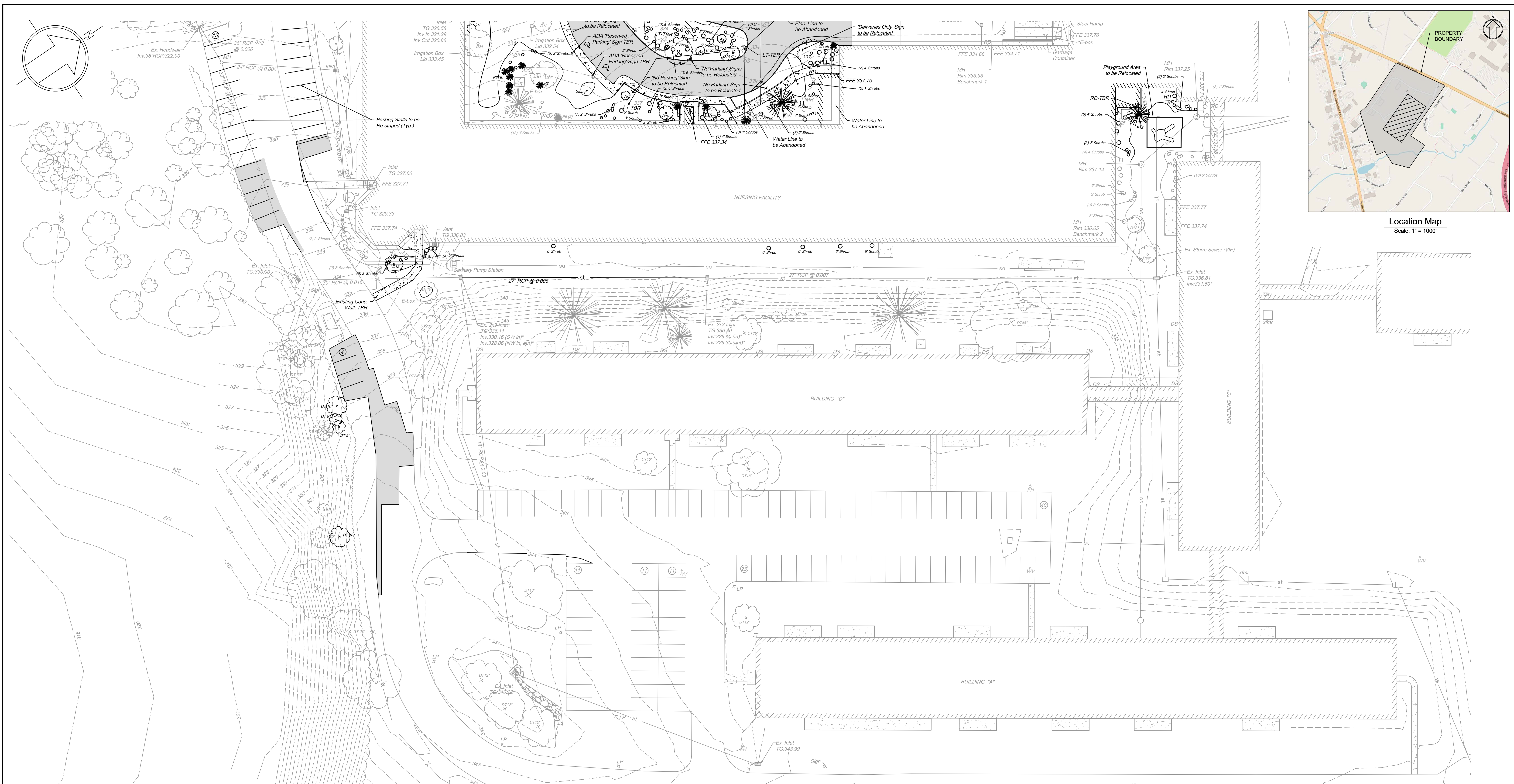
X:\PROJECTS\237304 Acts - Spring House Estates\DRAWINGS\Land Development\02a-existing conditions.dwg May 17, 2024



Act 287

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X:\PROJECTS\237304 Acts - Spring House Estates\DRAWINGS\Land Development\02b-existing conditions.dwg May 17, 2024



Location Map
Scale: 1" = 1000'

Legend

- Existing Building
- Existing Building Overhang
- Existing Edge of Pavement
- Existing Curb
- Existing Concrete
- Existing Brick Paver
- Existing Gravel
- Existing Contour
- Existing Index Contour
- Existing Sanitary Sewer Line
- Existing Water Line
- Existing Gas Line
- Existing Storm Line
- Existing Electric Line
- Existing Sign
- Existing Light Pole
- Existing Inlet and Yard Drain
- Existing Utility Pole
- Existing Utility Valve
- Existing Fire Hydrant
- Existing Manhole
- Existing Treeline
- Existing Evergreen Tree, Deciduous Tree, and Shrub
- Existing Building to be Removed
- Existing Curb to be Removed
- Existing Concrete to be Removed
- Existing Asphalt Paving to be Removed
- Existing Sign to be Removed
- Existing Vegetation to be Removed
- Existing Tree and Shrub to be Removed
- To be Removed

Site Data:

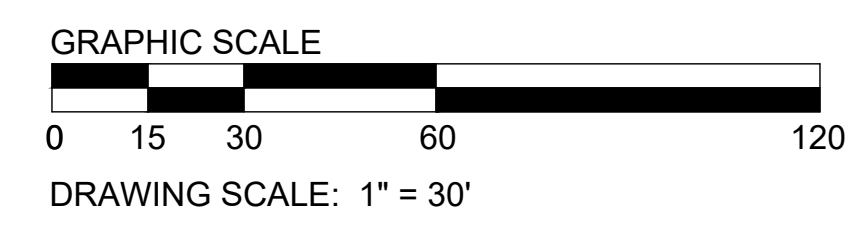
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Parcel Information:

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Existing Conditions & Demolition Plan B
ACTS SPRING HOUSE ESTATES

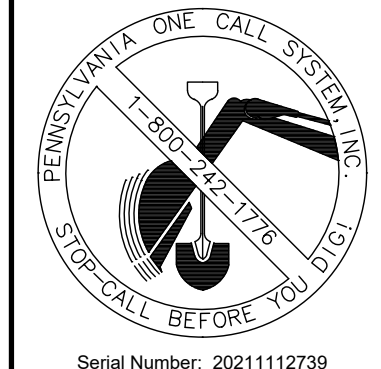
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

EUSTACE
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

307 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090
Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

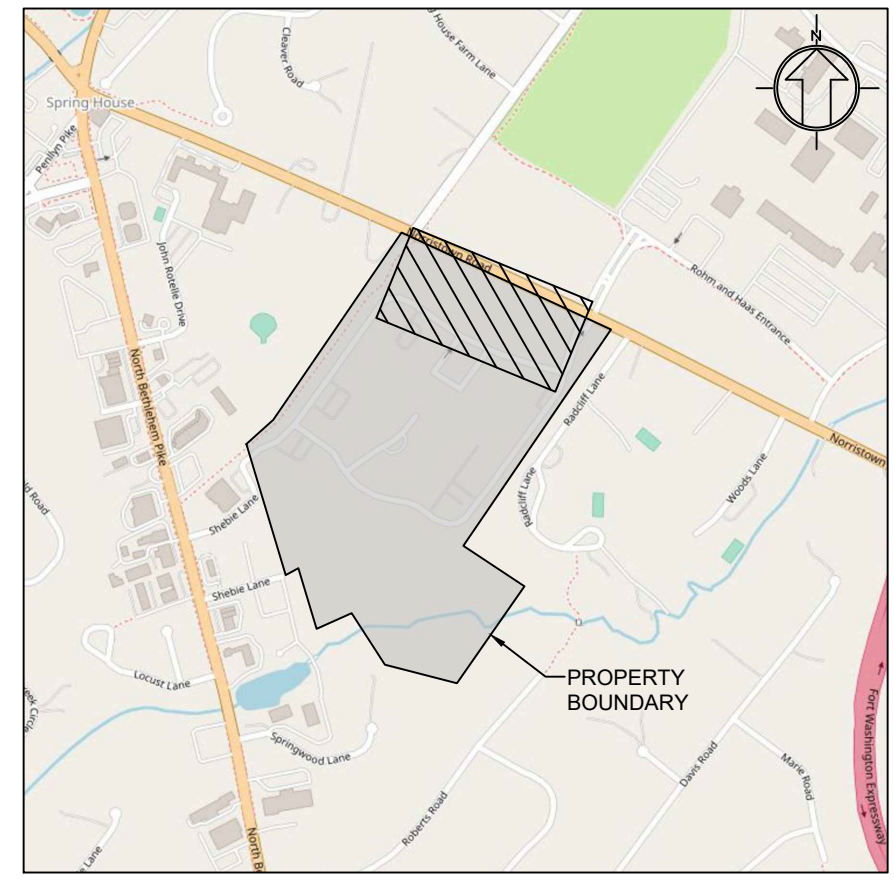
Martin J. Eustace, III, P.E.
PA Lic. PE048891E

DRAWN BY: YG
CHECKED BY: MJE
DATE: 11-20-2023
DRAWING No.: D 2373 04 03

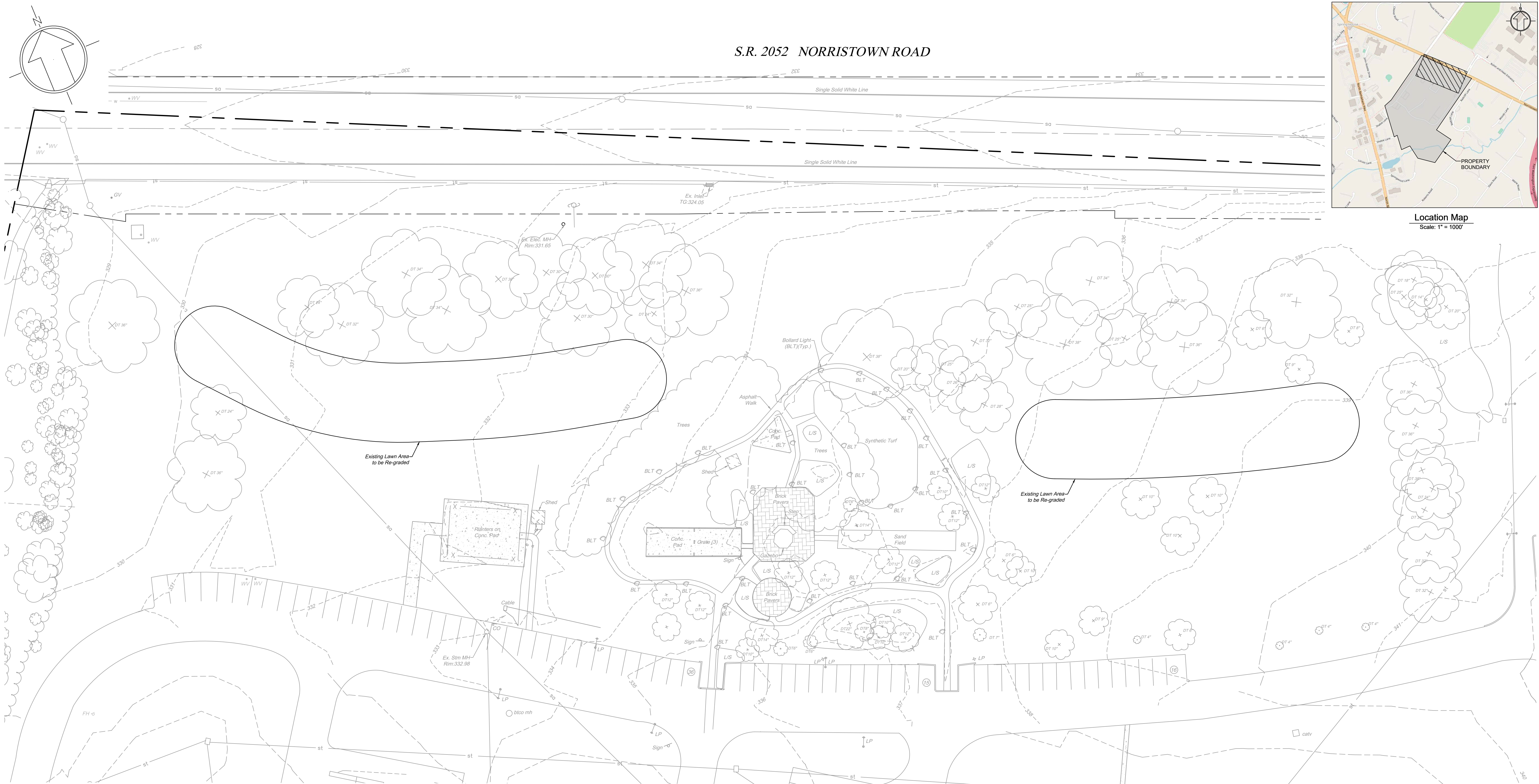


Act 287
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.

S.R. 2052 NORRISTOWN ROAD



Location Map
Scale: 1" = 1000'



Legend

	Existing Building		Existing Utility Pole
	Existing Building Overhang		Existing Utility Valve
	Existing Edge of Pavement		Existing Fire Hydrant
	Existing Curb		Existing Manhole
	Existing Concrete		Existing Tree
	Existing Brick Paver		Existing Evergreen Tree, Deciduous Tree, and Shrub
	Existing Gravel		Existing Building to be Removed
	Existing Contour		Existing Curb to be Removed
	Existing Index Contour		Existing Concrete to be Removed
	Existing Sanitary Sewer Line		Existing Asphalt Paving to be Removed
	Existing Water Line		Existing Sign to be Removed
	Existing Gas Line		Existing Vegetation to be Removed
	Existing Storm Line		Existing Tree and Shrub to be Removed
	Existing Electric Line		To be Removed
	Existing Sign		
	Existing Light Pole		
	Existing Inlet and Yard Drain		

Site Data:

Address: 728 Norristown Rd.
Lower Gwynedd Township, PA 19002
Zoned: MF-3B - Multi-Family Residential District
Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:

ACTS Retirement-Life Communities, Inc.
Corporate Services Center
420 Delaware Drive
P.O. Box 2222
Fort Washington, PA 19034

Parcel Information:

Parcel ID: 39-00-03025-00-5
Tax Map ID: 390170004



DRAWING SCALE: 1" = 30'

SHEET 4 OF 34

3	08/09/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
2	05/29/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTED TO TOWNSHIP.

Existing Conditions & Demolition Plan C
ACTS SPRING HOUSE ESTATES

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

MARTIN J. EUSTACE, III
PROFESSIONAL ENGINEER
LANDSCAPE ARCHITECTS

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DRAWN BY: YG
CHECKED BY: MJE
DATE: 11-20-2023
DRAWING No.: D 2373 04 04

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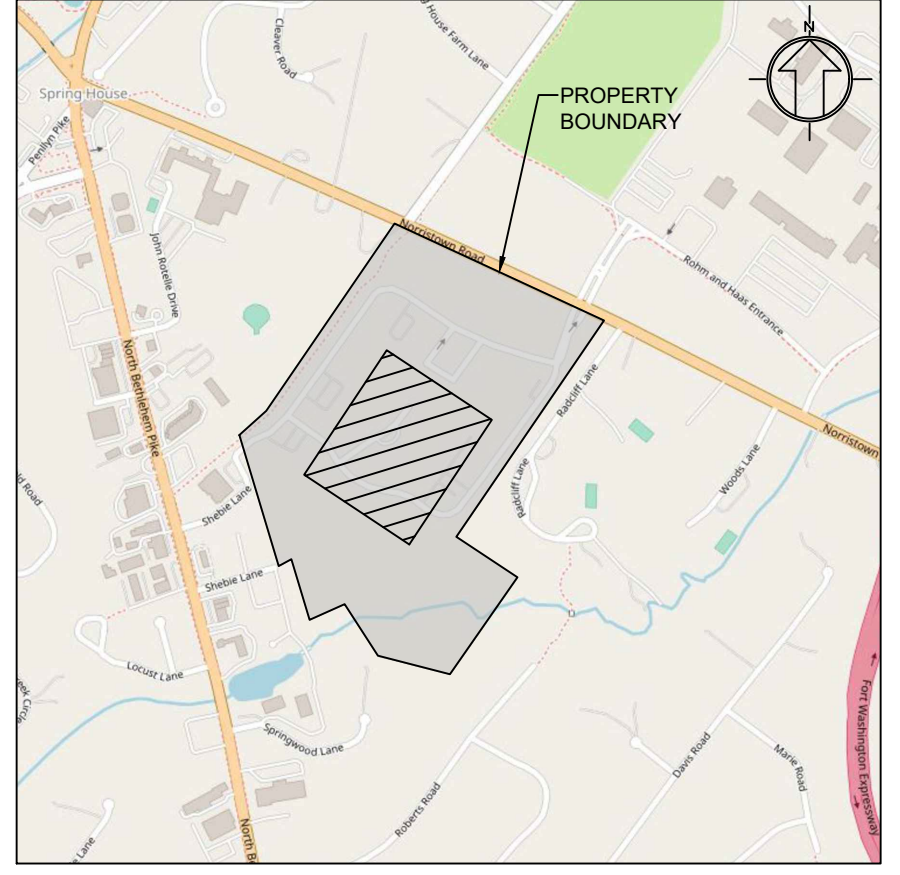
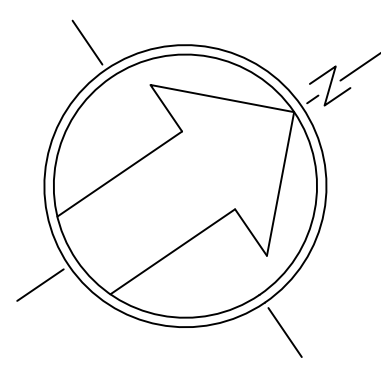


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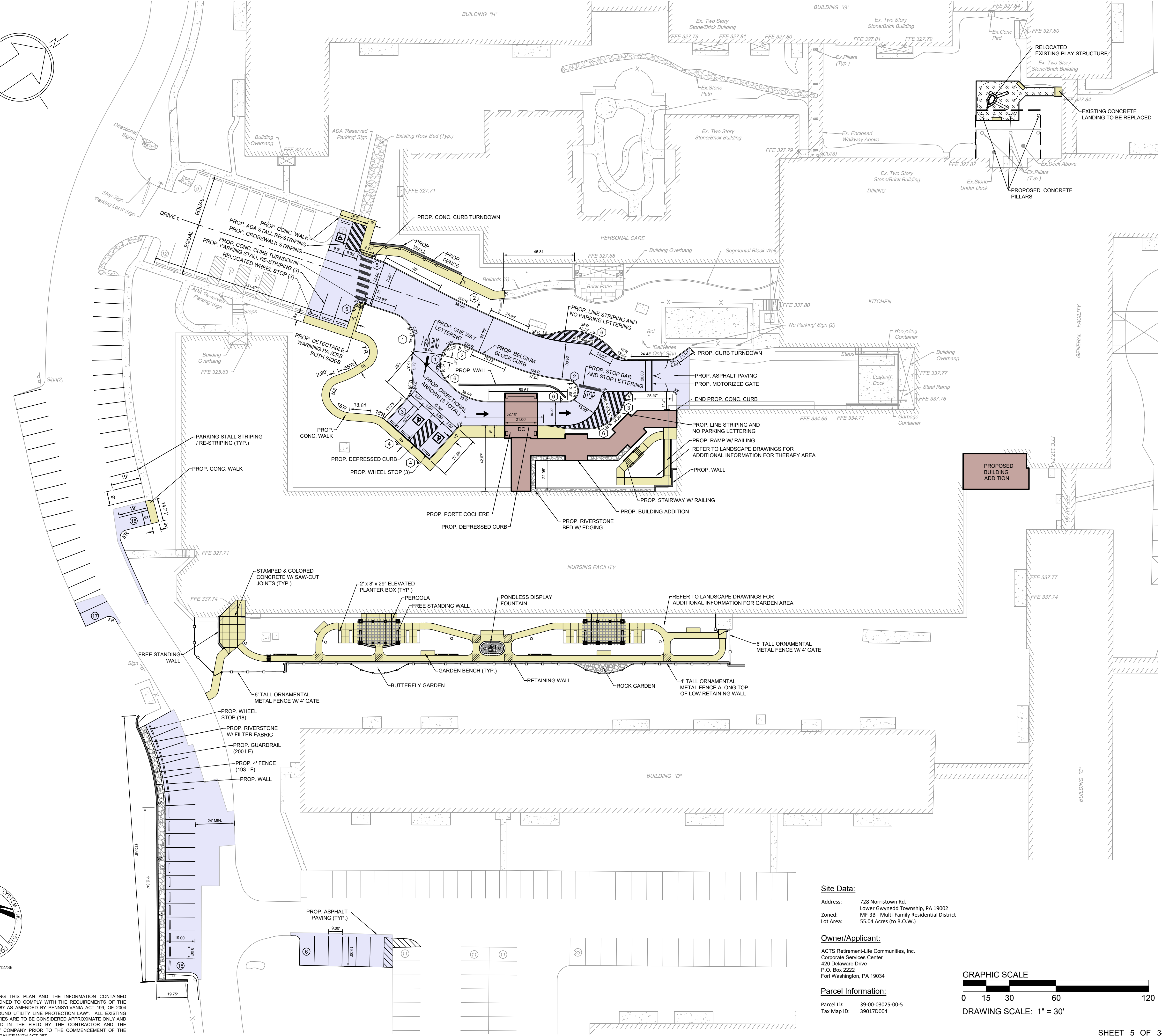
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X:\PROJECTS\237304 Acts - Spring House Estates\DRAWINGS\Land Development\03-land development.dwg August 8, 2024



Location Map
Scale: 1" = 100'

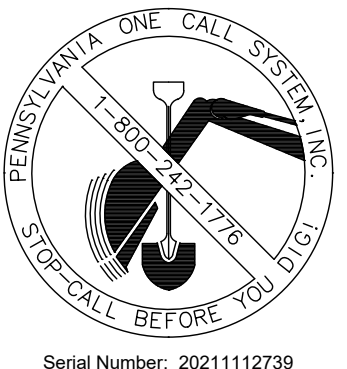


Legend

- Existing Building
- Existing Building Overhang
- Existing Edge of Pavement
- Existing Curb
- Existing Concrete
- Existing Brick Paver
- Existing Gravel
- Existing Sign
- Existing Light Pole
- Existing Utility Pole
- Proposed Building
- Proposed Asphalt
- Proposed Sidewalk
- Proposed Curb
- Proposed Wall
- Proposed Gravel

Sign Legend

- 1 "ONE WAY" SIGN (R6-1R)
- 2 "DO NOT ENTER" SIGN (RS-1)
- 3 "DO NOT ENTER" AND "STOP" SIGN (R1-1, RS-1)
- 4 ADA PARKING SIGNS (R7-8)
- 5 PEDESTRIAN CROSSING SIGN (W11A-2, W16-7PL)
- 6 "NO PARKING BY ORDER OF FIRE MARSHAL" SIGN

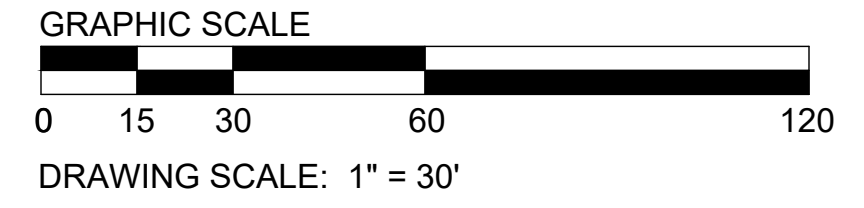


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 Lower Gwynedd Township, PA 19002
 Zoned: MF-3B - Multi-Family Residential District
 Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:
 ACTS Retirement-Life Communities, Inc.
 Corporate Services Center
 420 Delaware Drive
 P.O. Box 2222
 Fort Washington, PA 19034

Parcel Information:
 Parcel ID: 39-00-03025-00-5
 Tax Map ID: 39017D004



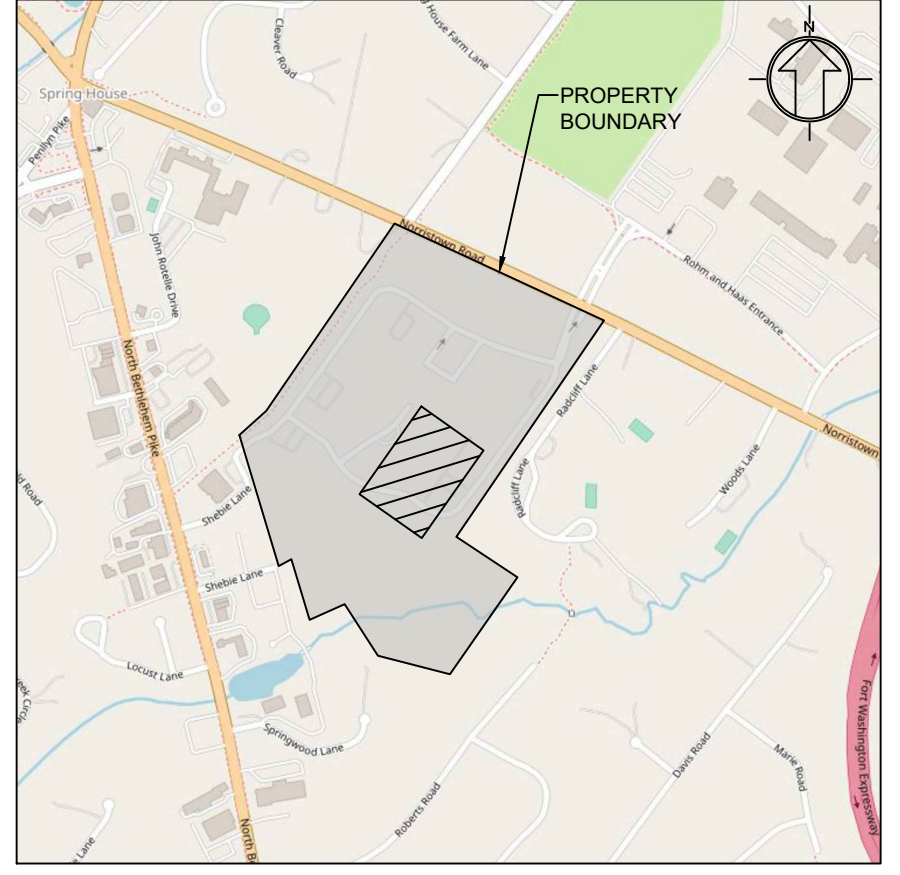
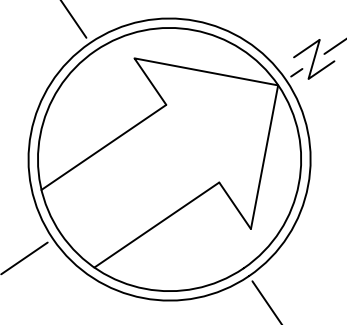
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2	05/29/2024	MJU	TOWNSHIP AND MCD RESUBMISSION
1	01/28/2024	YG	REVISED PER MCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

Land Development Plan
ACTS SPRING HOUSE ESTATES
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

EUSTACE
 ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

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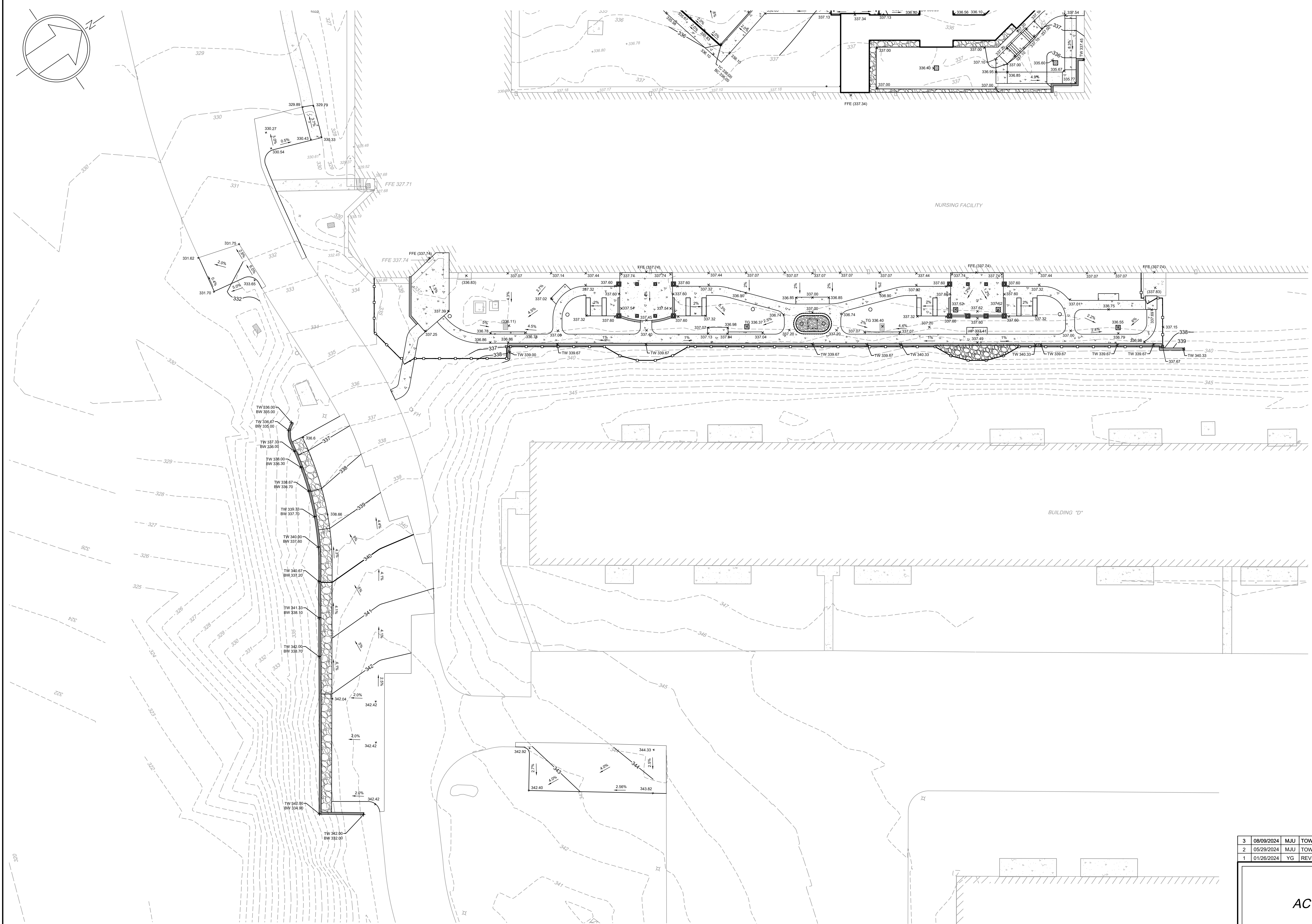
DRAWN BY: YG
 CHECKED BY: MJE
 DATE: 11-20-2023
 DRAWING No.: D 2373 04 05



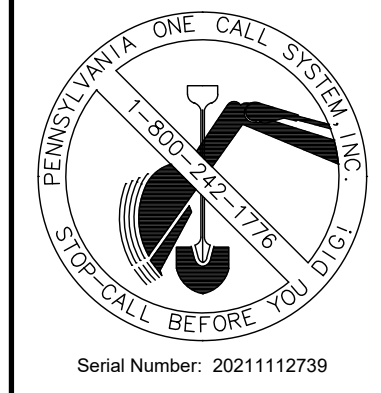
Location Map
Scale: 1" = 1000'

Legend

- Existing Building
- Existing Building Overhang
- Existing Edge of Pavement
- Existing Curb
- Existing Concrete
- Existing Brick Paver
- Existing Gravel
- Existing Contour
- Existing Index Contour
- Existing Sign
- Existing Light Pole
- Existing Inlet and Yard Drain
- Existing Utility Pole
- Proposed Building
- Proposed Sidewalk
- Proposed Curb
- Proposed Wall
- Proposed Gravel
- Proposed Contour
- Proposed Index Contour
- Proposed Spot Grade
- Proposed Top and Bottom of Curb Grade
- Proposed Top and Bottom of Wall Grade
- Elevation to Match Existing
- Proposed Inlet and Yard Drain



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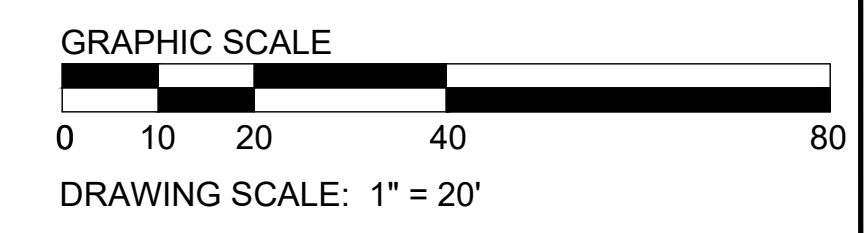


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 Lower Gwynedd Township, PA 19002
 Zoned: MF-28 - Multi-Family Residential District
 Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:
 ACTS Retirement-Life Communities, Inc.
 Corporate Services Center
 420 Delaware Drive
 P.O. Box 2222
 Fort Washington, PA 19034

Parcel Information:
 Parcel ID: 39-00-03025-00-5
 Tax Map ID: 39017D004



3	08/09/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
2	05/29/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

Grading Plan B
ACTS SPRING HOUSE ESTATES
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

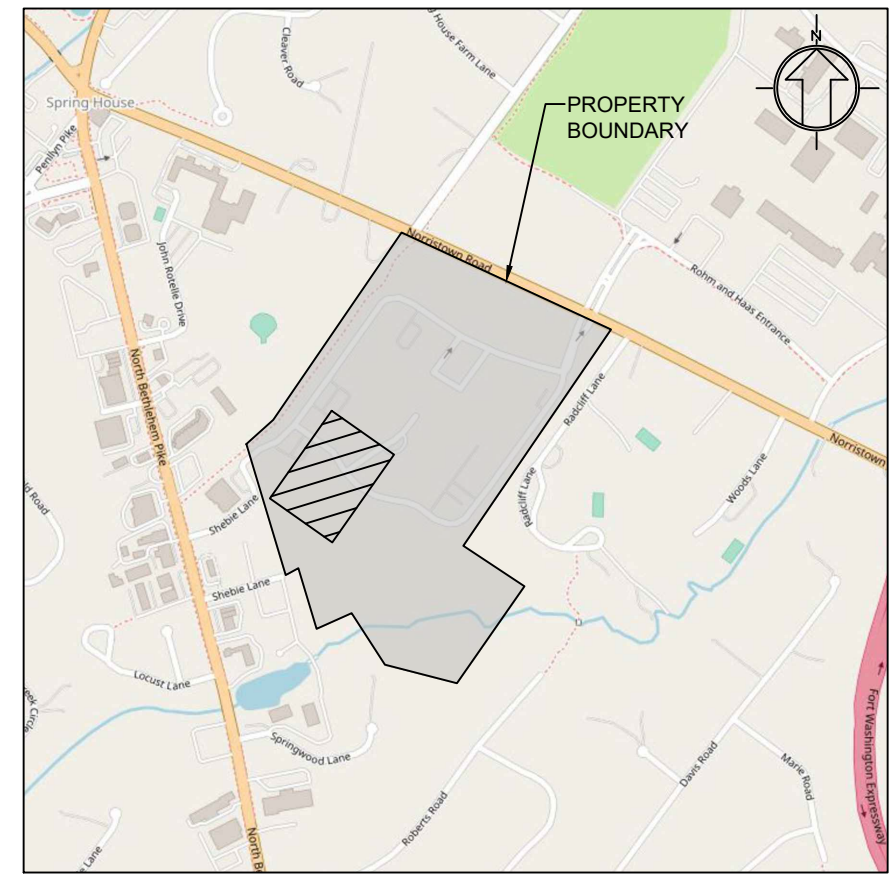
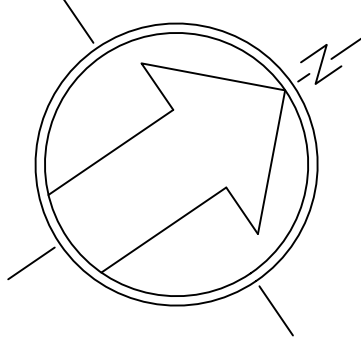
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MARTIN J. EUSTACE, III
 PROFESSIONAL ENGINEER
 LICENSE NO. 04889-E

307 Easton Road
 Building B - 2nd Floor
 Willow Grove, PA 19090

Tel: (215) 346-8757
 Fax: (215) 346-8759
 www.eustaceeng.com

DRAWN BY: YG
 CHECKED BY: MJE
 DATE: 11-20-2023
 DRAWING No.: D 2373 04 07



Location Map
Scale: 1" = 1000'

Legend

- Existing Building
- Existing Building Overhang
- Existing Edge of Pavement
- Existing Curb
- Existing Concrete
- Existing Brick Paver
- Existing Gravel
- Existing Contour
- Existing Index Contour
- Existing Sign
- Existing Light Pole
- Existing Inlet and Yard Drain
- Existing Utility Pole
- Proposed Building
- Proposed Sidewalk
- Proposed Curb
- Proposed Wall
- Proposed Gravel
- Proposed Contour
- Proposed Index Contour
- Proposed Spot Grade
- Proposed Top and Bottom of Curb Grade
- Proposed Top and Bottom of Wall Grade
- Elevation to Match Existing
- Proposed Inlet and Yard Drain



* BASIN BOTTOM = 317.00

Building Overhang FFE 327.77

FFE 327.71

Building Overhang FFE 325.63

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1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

Grading Plan C
ACTS SPRING HOUSE ESTATES
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

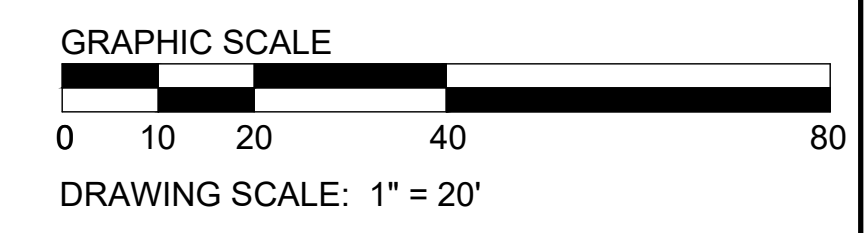
EUSTACE
 ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS
 307 Easton Road
 Willow Grove, PA 19090
 Tel: (215) 346-8757
 Fax: (215) 346-8759
 www.eustaceeng.com

DRAWN BY	YG
CHECKED BY	MJE
DATE	11-20-2023
DRAWING No.	D 2373 04 08

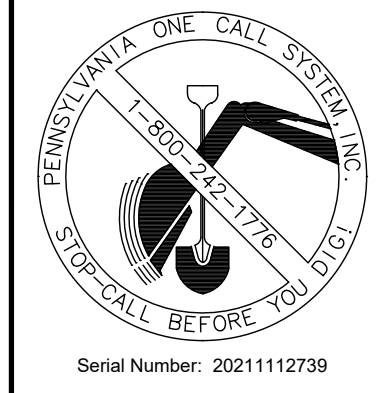
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 Zoned: MF-3B - Multi-Family Residential District
 Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:
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 Corporate Services Center
 420 Delaware Drive
 P.O. Box 2222
 Fort Washington, PA 19034

Parcel Information:
 Parcel ID: 39-00-03025-00-5
 Tax Map ID: 390170004



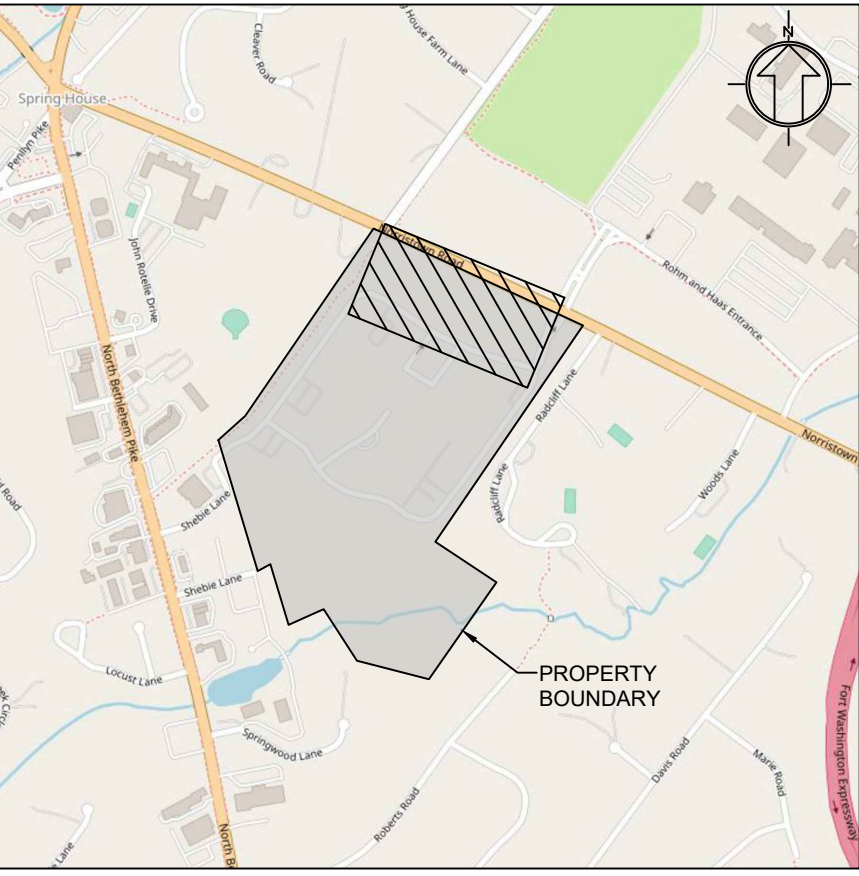
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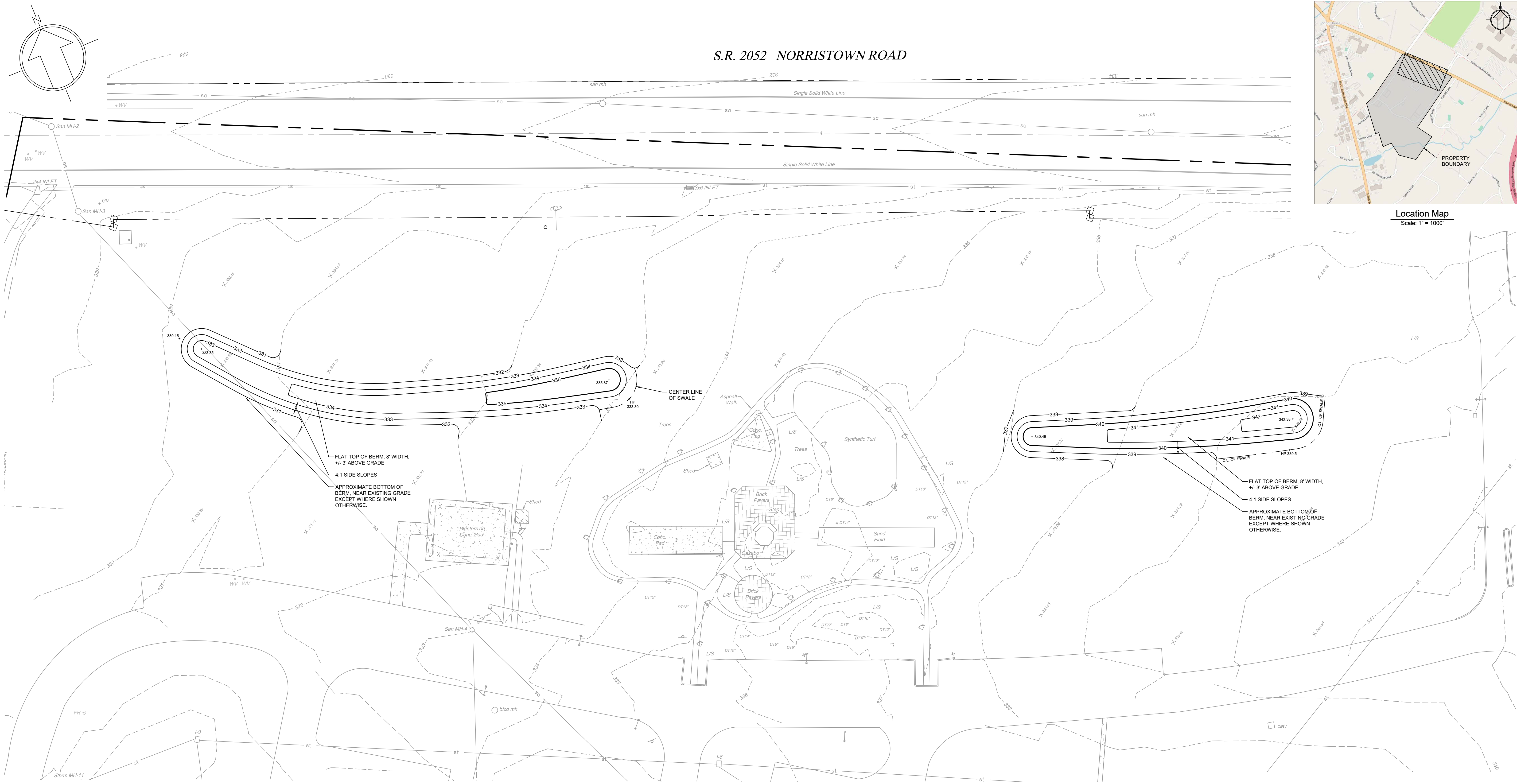
Act 287
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Serial Number: 20211112739

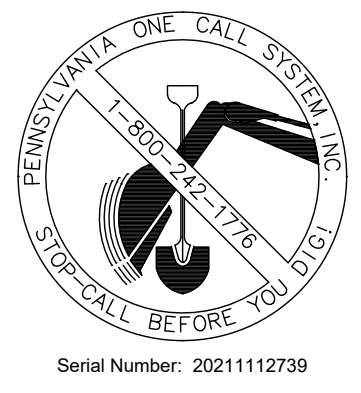
S.R. 2052 NORRISTOWN ROAD



Location Map
Scale: 1" = 1000'



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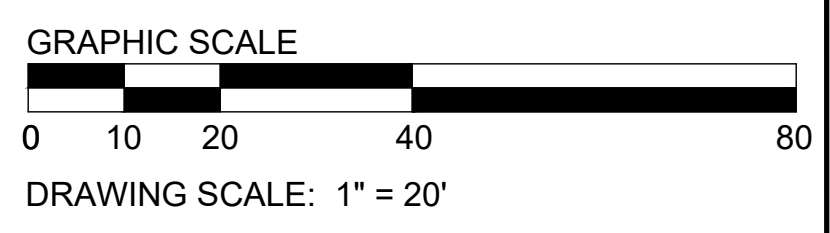
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Legend	
	Existing Building
	Existing Building Overhang
	Existing Edge of Pavement
	Existing Curb
	Existing Concrete
	Existing Brick Paver
	Existing Gravel
	Existing Contour
	Existing Index Contour
	Existing Sign
	Existing Light Pole
	Existing Inlet and Yard Drain
	Existing Utility Pole
	Proposed Building
	Proposed Sidewalk
	Proposed Curb
	Proposed Wall
	Proposed Gravel
	Proposed Contour
	Proposed Index Contour
	Proposed Spot Grade
	Proposed Top and Bottom of Curb Grade
	Proposed Top and Bottom of Wall Grade
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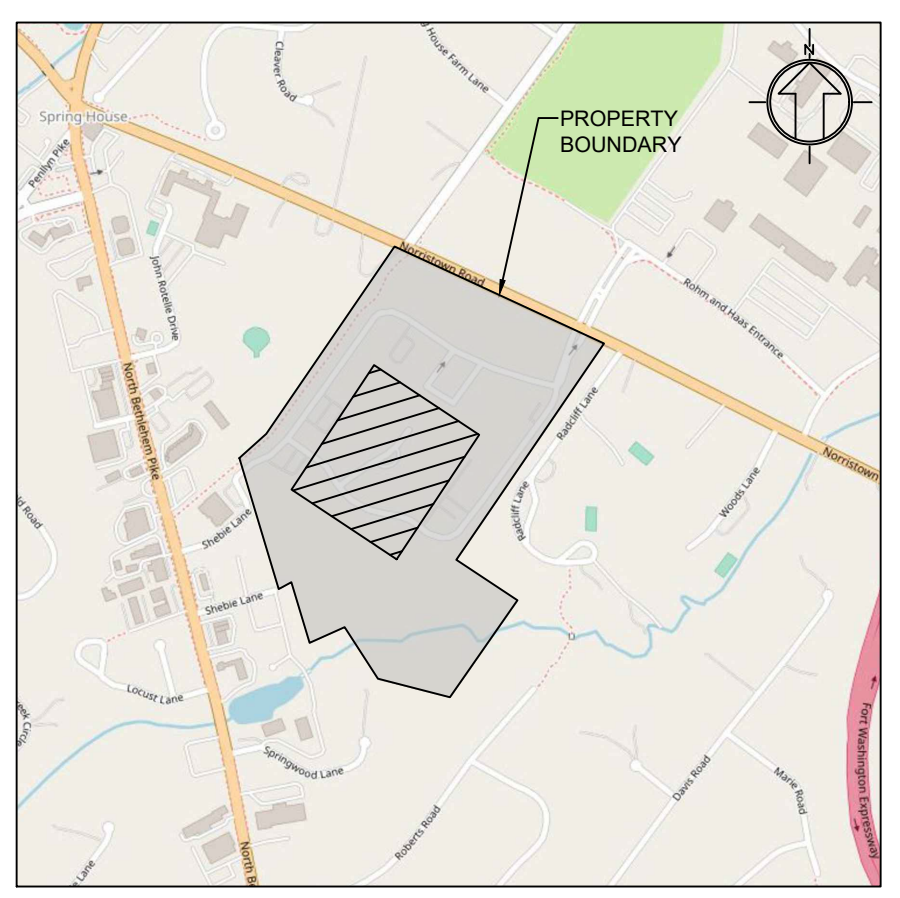
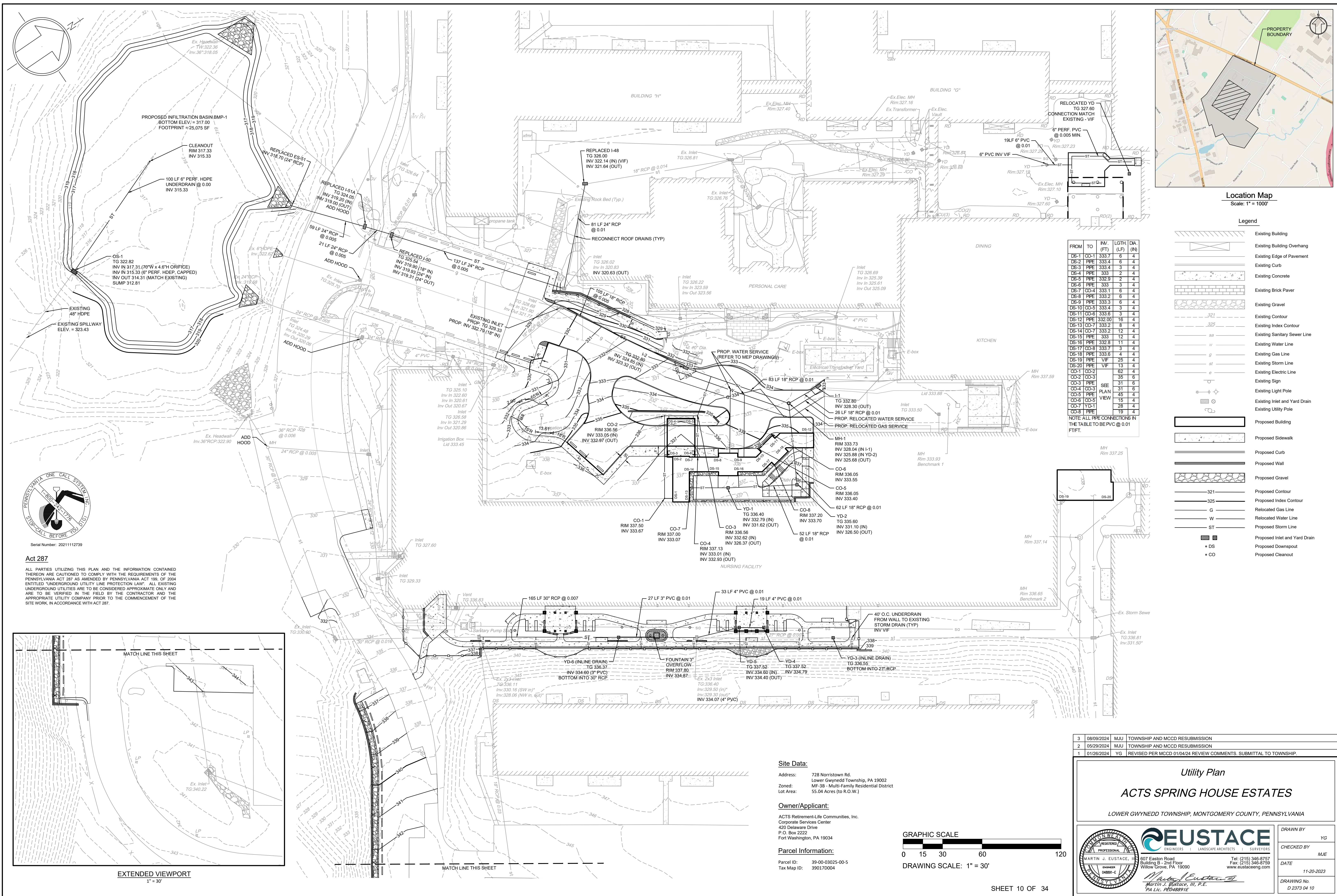
Grading Plan D
ACTS SPRING HOUSE ESTATES
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

Martin J. Eustace, III, P.E.
PA Lic. PE048891E

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DRAWN BY: YG
CHECKED BY: MJE
DATE: 11-20-2023
DRAWING No.: D 2373 04 09

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Location Map
Scale: 1" = 1000'

Legend

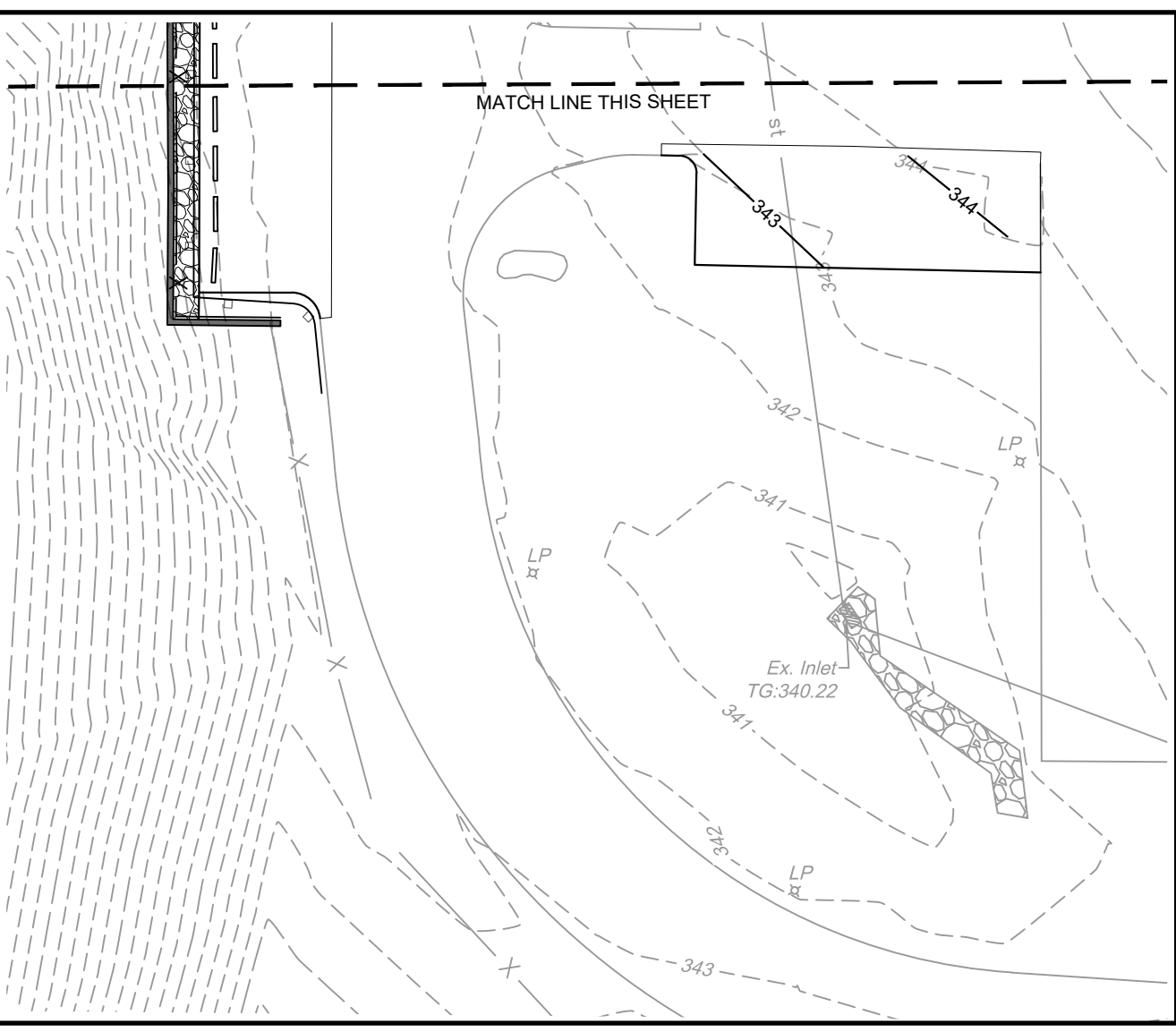
- Existing Building
- Existing Building Overhang
- Existing Edge of Pavement
- Existing Curb
- Existing Concrete
- Existing Brick Paver
- Existing Gravel
- Existing Contour
- Existing Index Contour
- Existing Sanitary Sewer Line
- Existing Water Line
- Existing Gas Line
- Existing Storm Line
- Existing Electric Line
- Existing Sign
- Existing Light Pole
- Existing Inlet and Yard Drain
- Existing Utility Pole
- Proposed Building
- Proposed Sidewalk
- Proposed Curb
- Proposed Wall
- Proposed Gravel
- Proposed Contour
- Proposed Index Contour
- Relocated Gas Line
- Relocated Water Line
- Proposed Storm Line
- Proposed Storm Line
- Proposed Inlet and Yard Drain
- Proposed Downspout
- Proposed Cleanout

FROM	TO	IN. (FT)	LGTH (LF)	DI. (IN)
DS-1	CO-1	333.7	6	4
DS-2	PIPE	333.4	6	4
DS-3	PIPE	333.4	3	4
DS-4	PIPE	333.3	2	4
DS-5	PIPE	332.9	2	4
DS-6	PIPE	333	3	4
DS-7	CO-4	333.1	6	4
DS-8	PIPE	333.2	6	4
DS-9	PIPE	333.3	6	4
DS-10	CO-5	333.4	3	4
DS-11	CO-6	333.6	3	4
DS-12	PIPE	332.00	16	4
DS-13	CO-7	333.2	8	4
DS-14	CO-7	333.2	12	4
DS-15	PIPE	333	12	4
DS-16	PIPE	332.8	11	4
DS-17	CO-8	333.7	3	4
DS-18	PIPE	332.6	4	4
DS-19	PIPE	VIF	25	4
DS-20	PIPE	VIF	13	4
CO-1	CO-2		62	4
CO-2	CO-3		35	6
CO-3	FLAN		31	6
CO-4	CO-3	SEE PLAN	31	6
CO-5	VIEW		45	4
CO-6	CO-5		15	4
CO-7	YD-1		38	4
CO-8	PIPE		19	4

NOTE ALL PIPE CONNECTIONS IN THE TABLE TO BE PVC @ 0.01 FITF.



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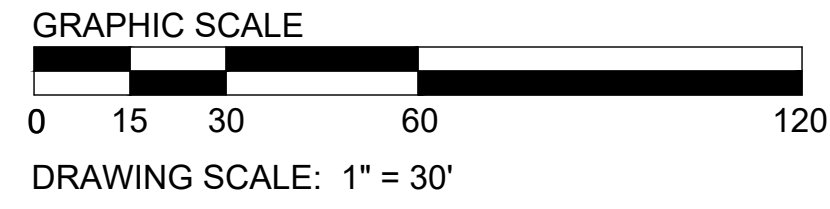


EXTENDED VIEWPORT
1" = 30'

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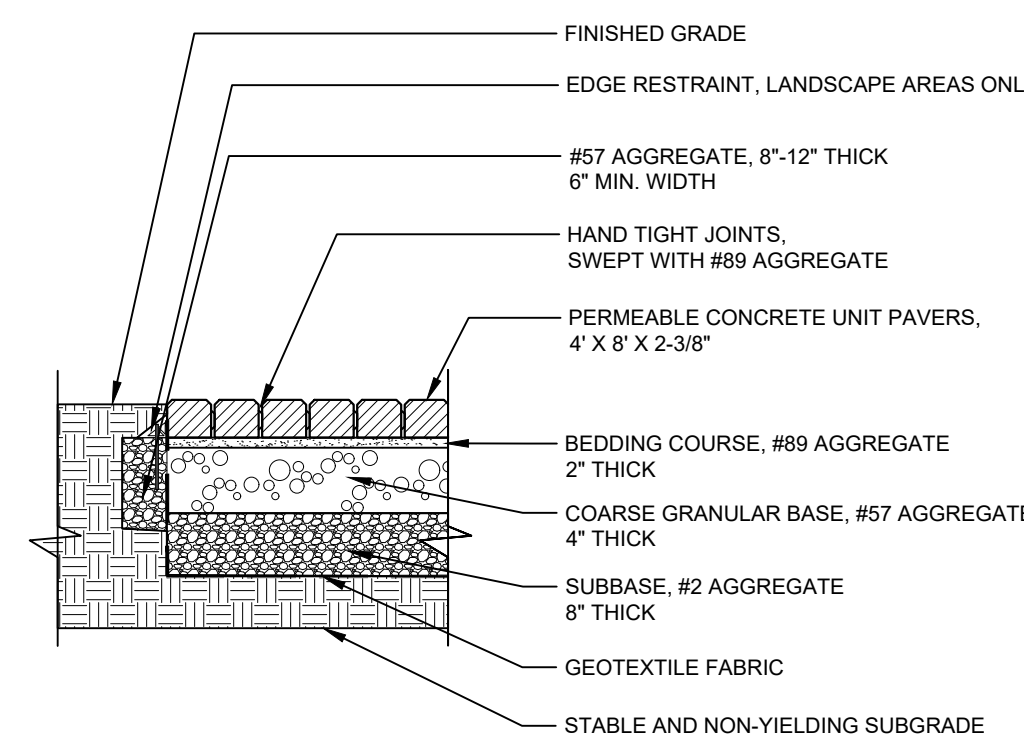
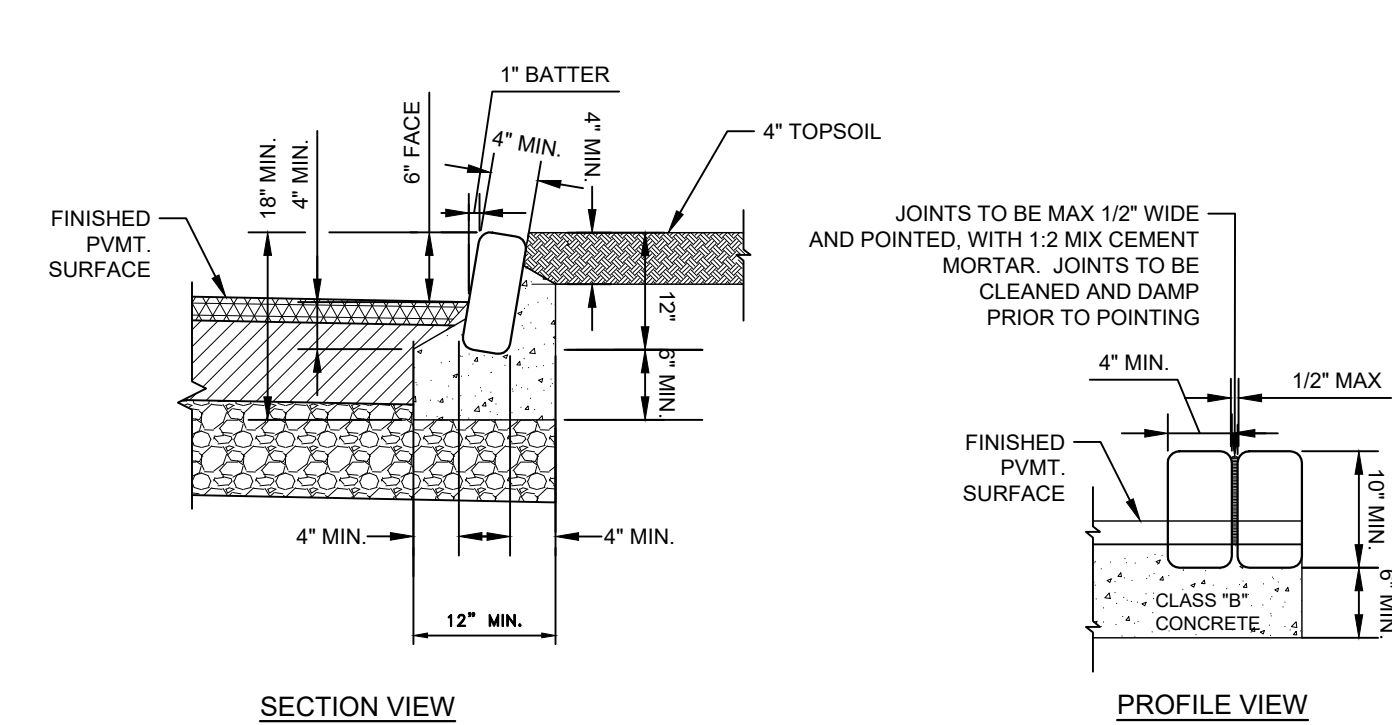
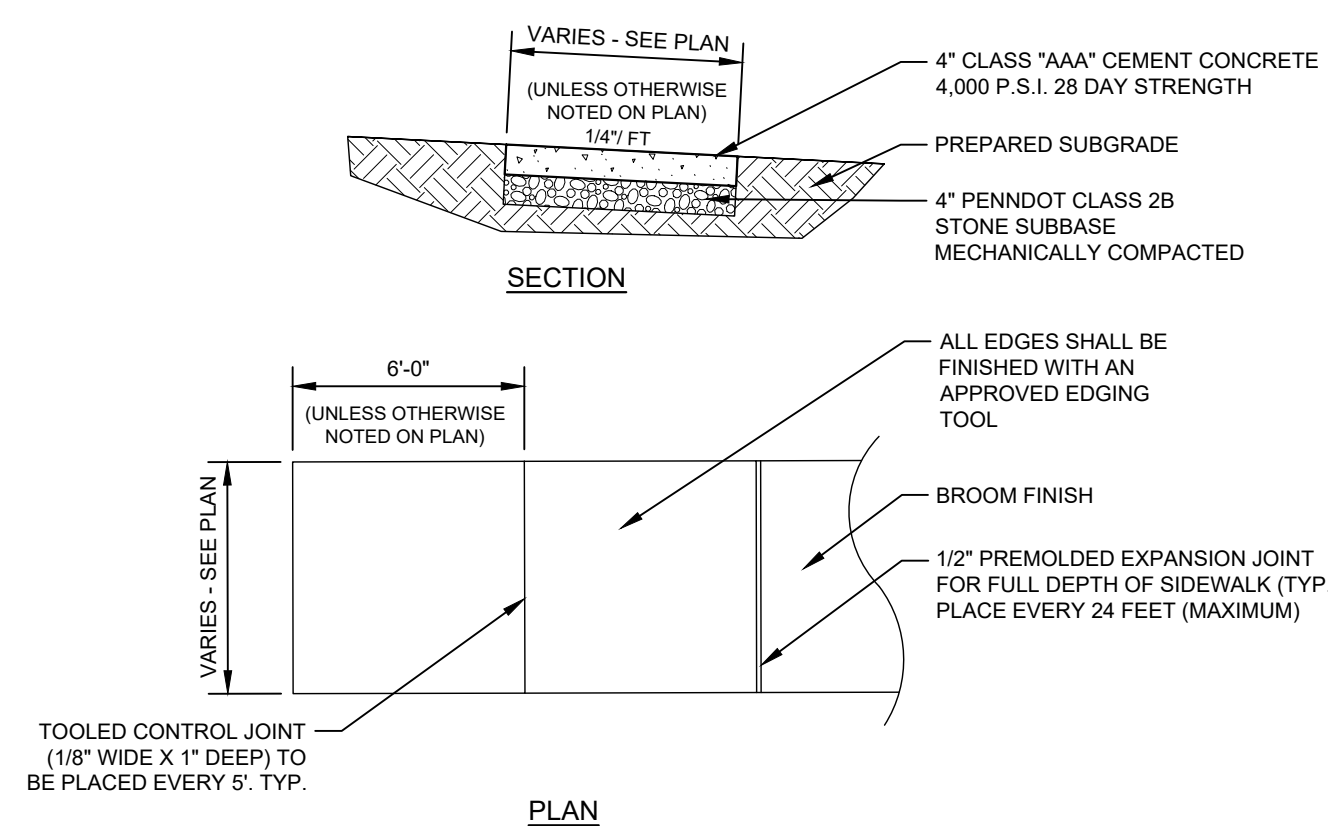
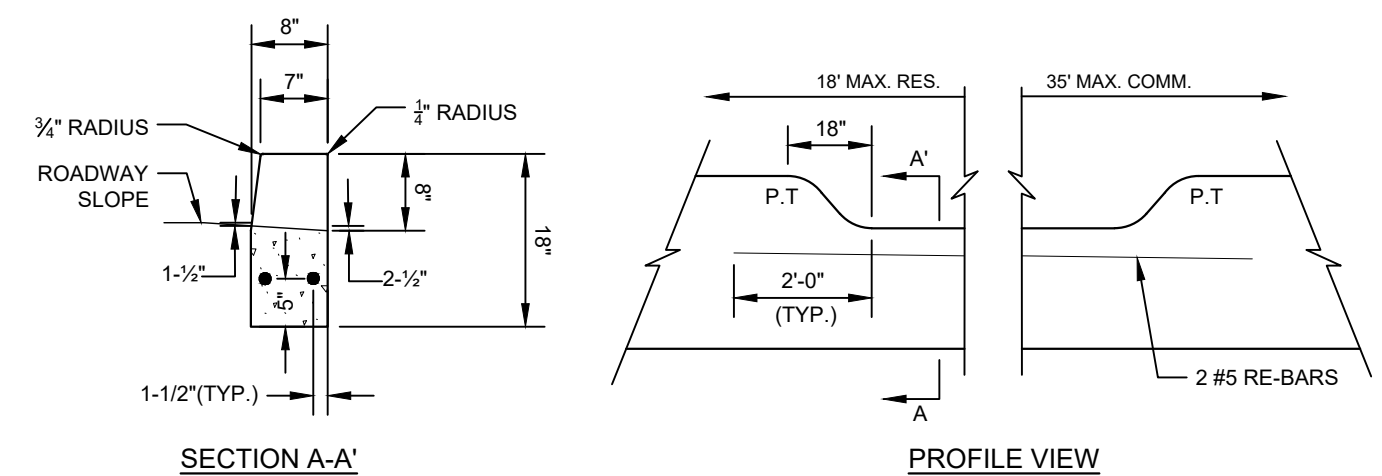
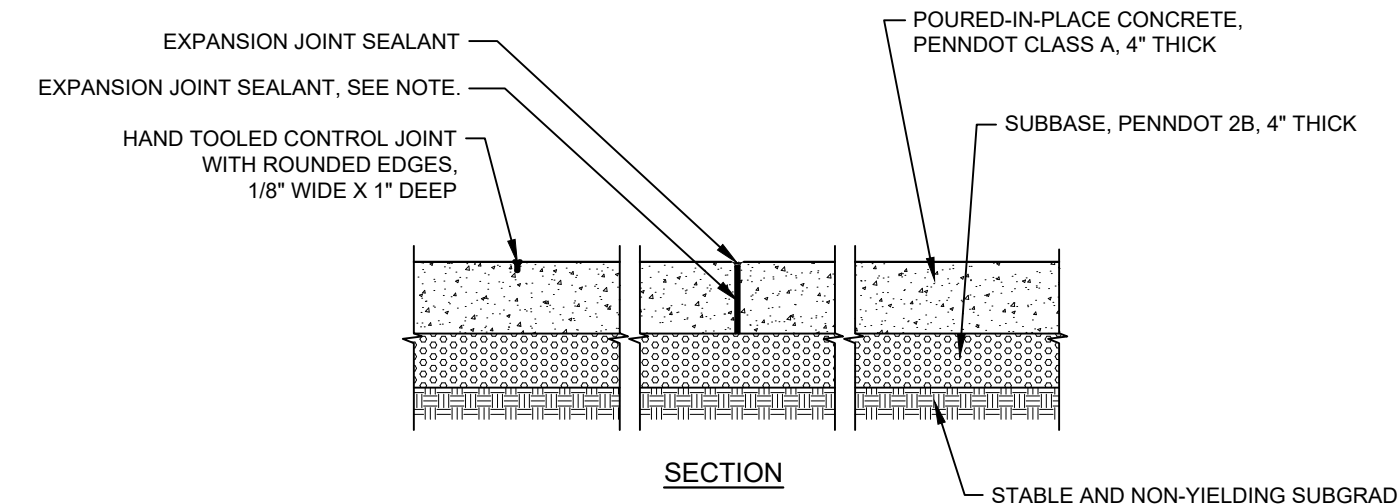
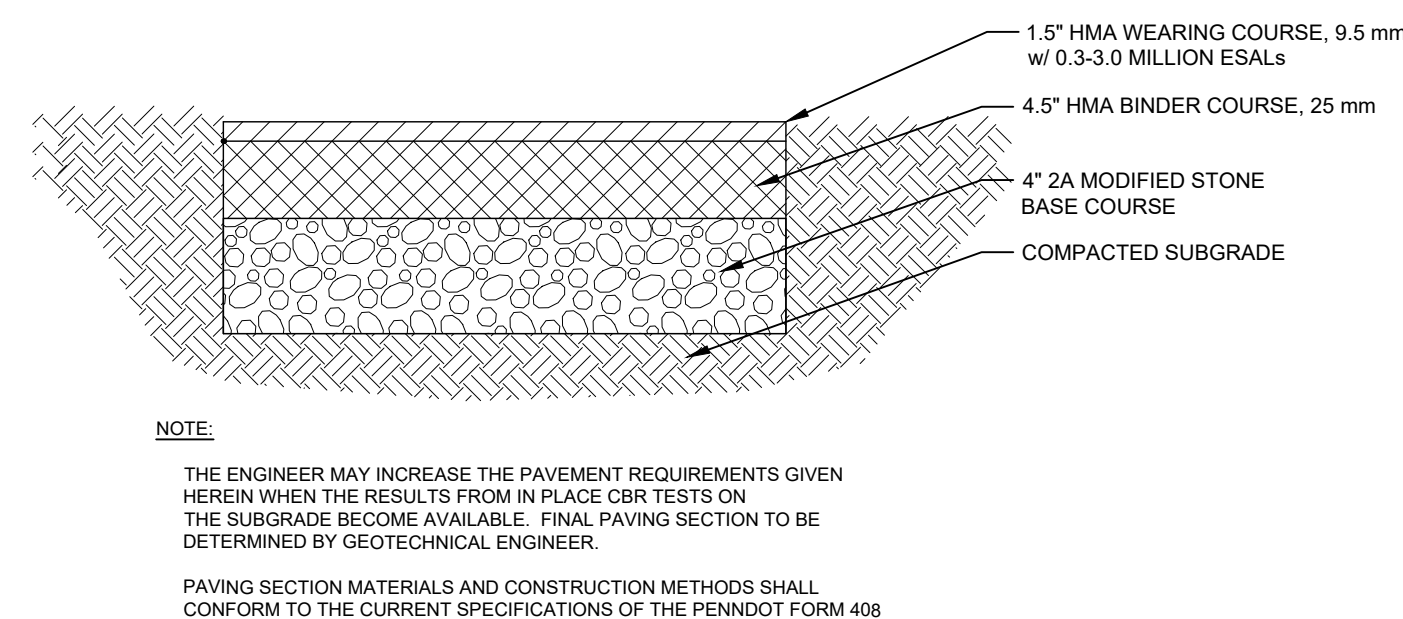
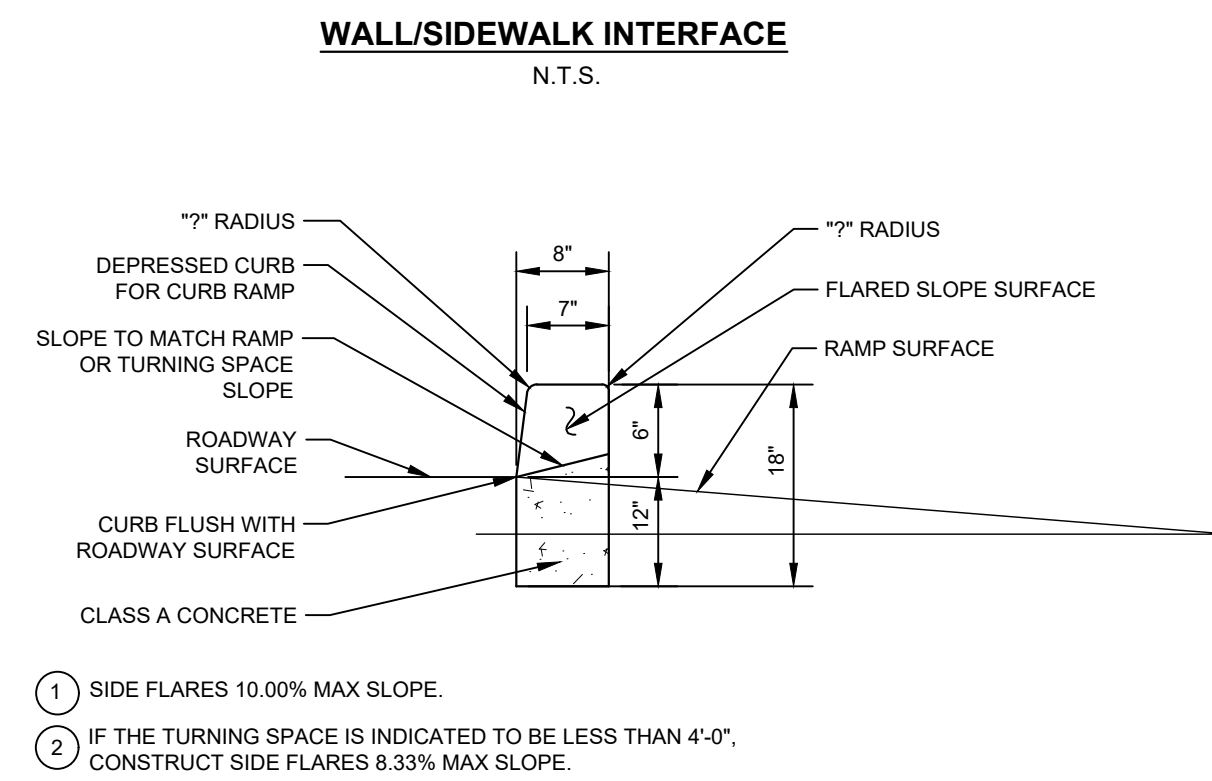
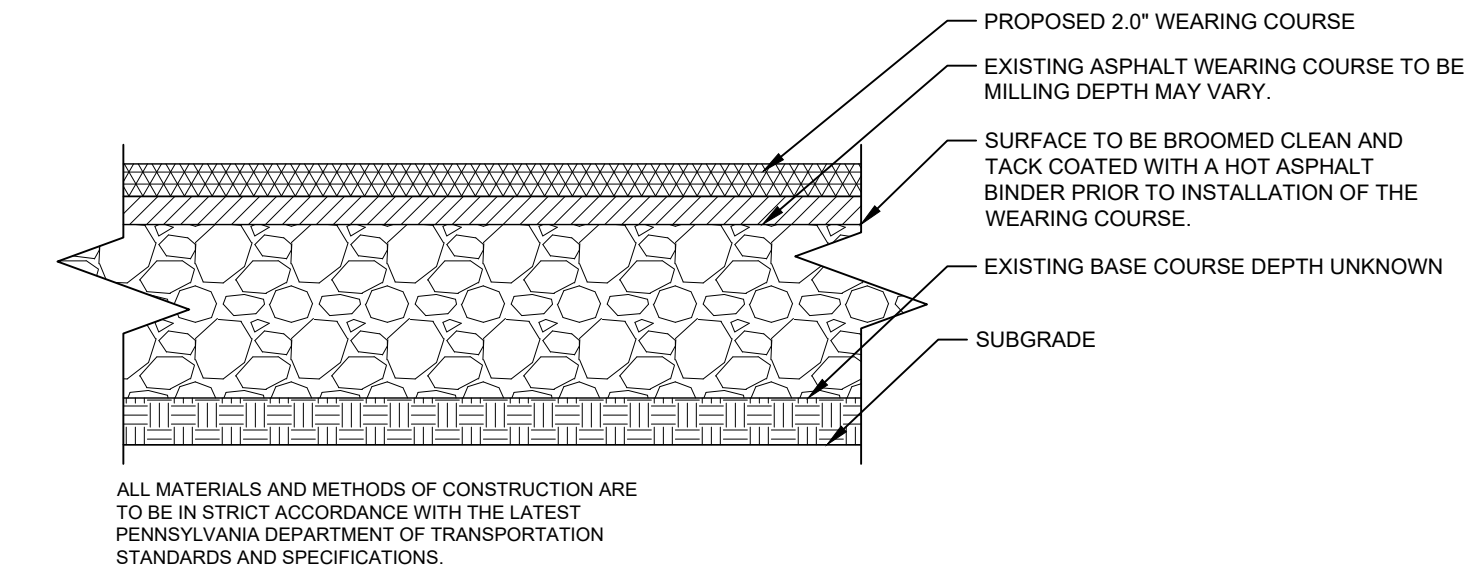
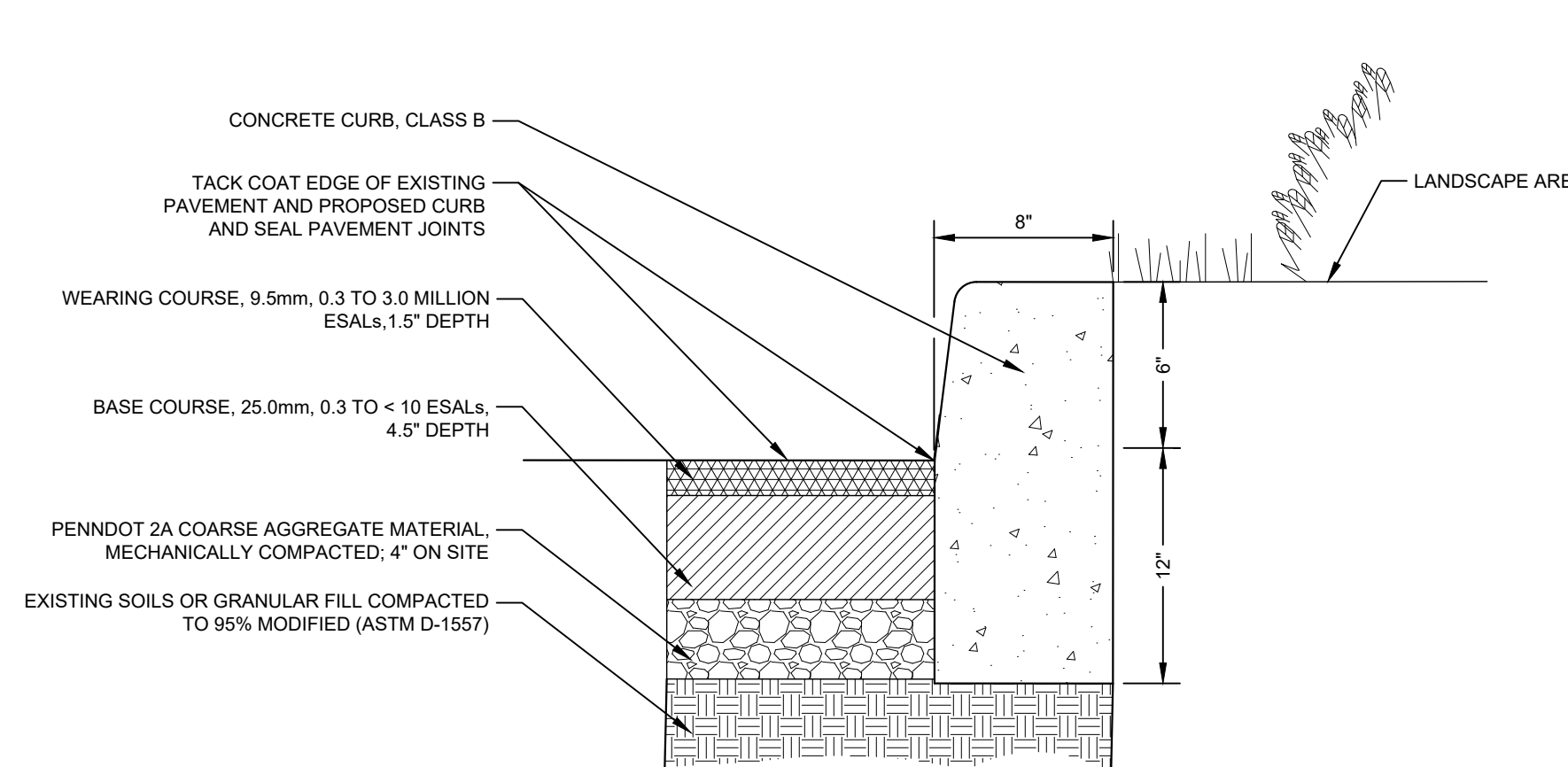
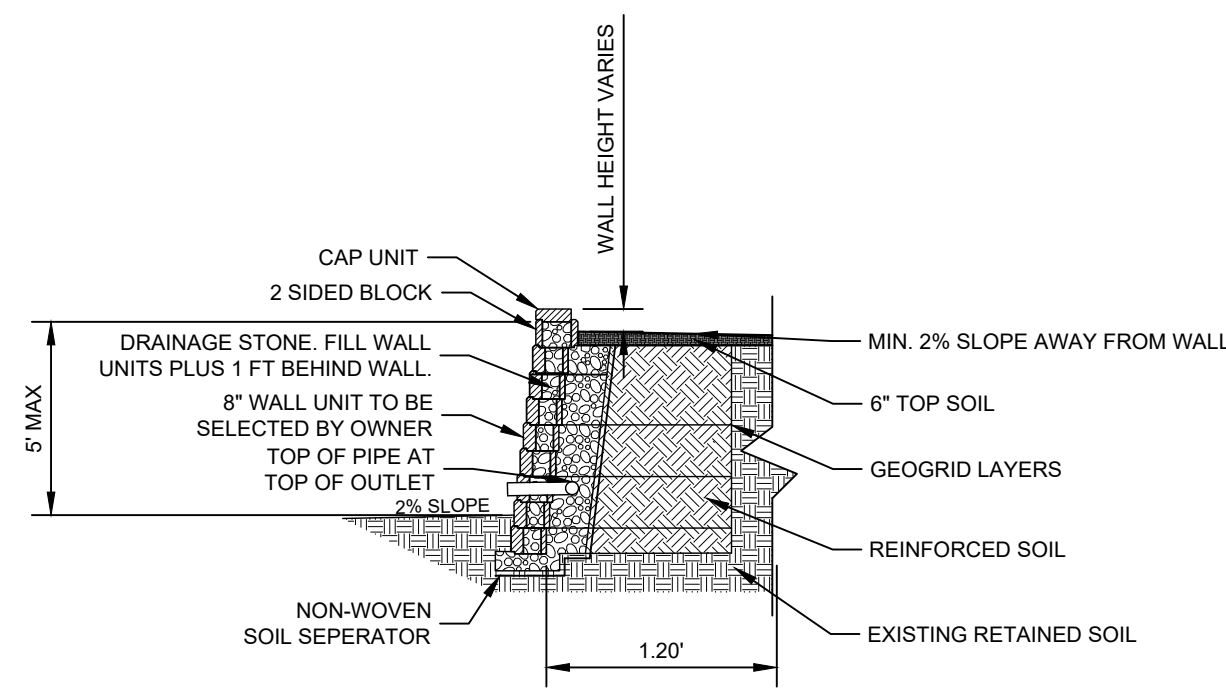
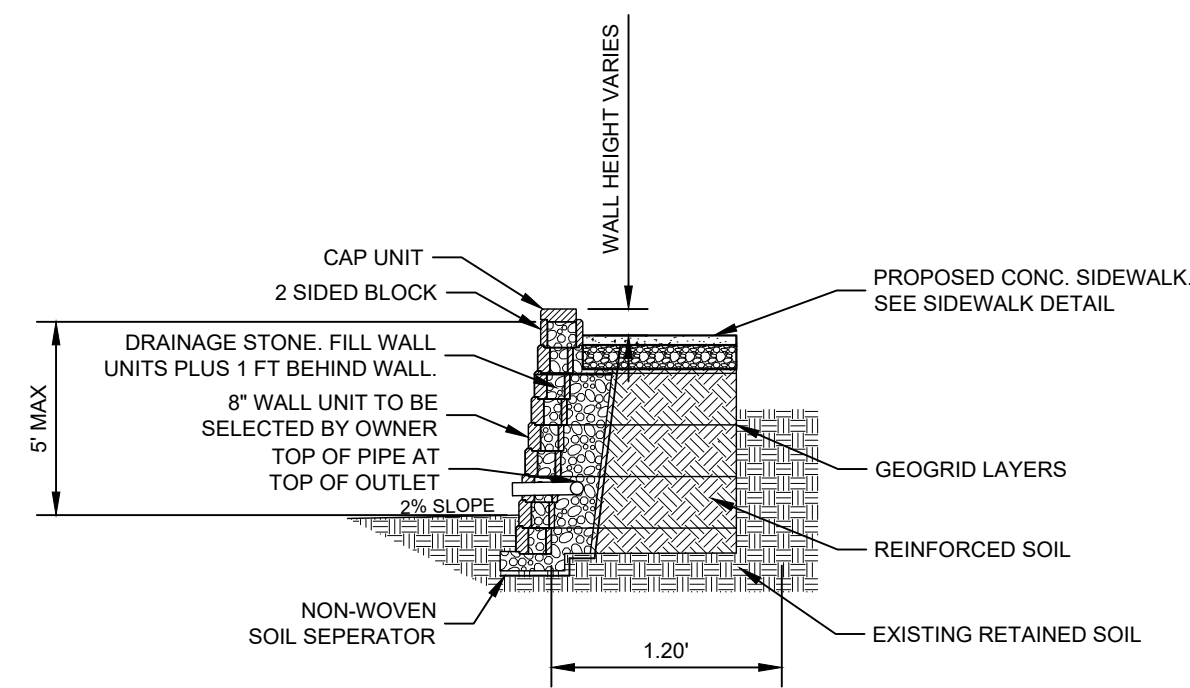
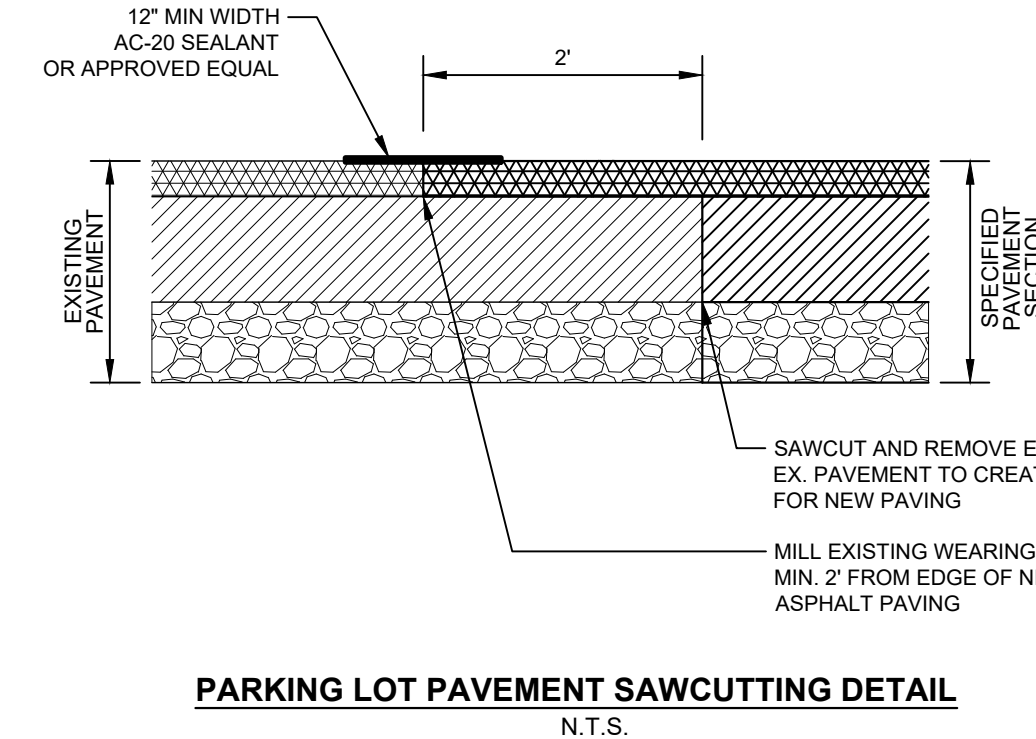
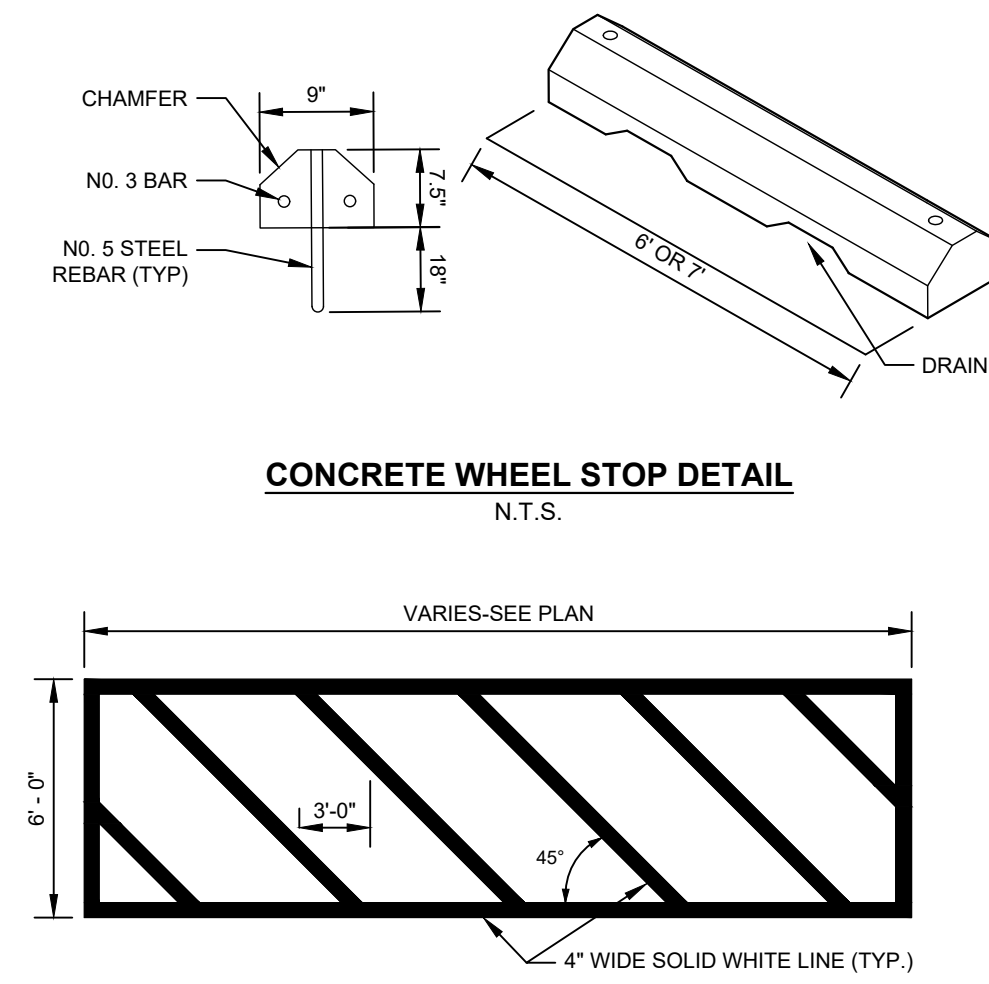
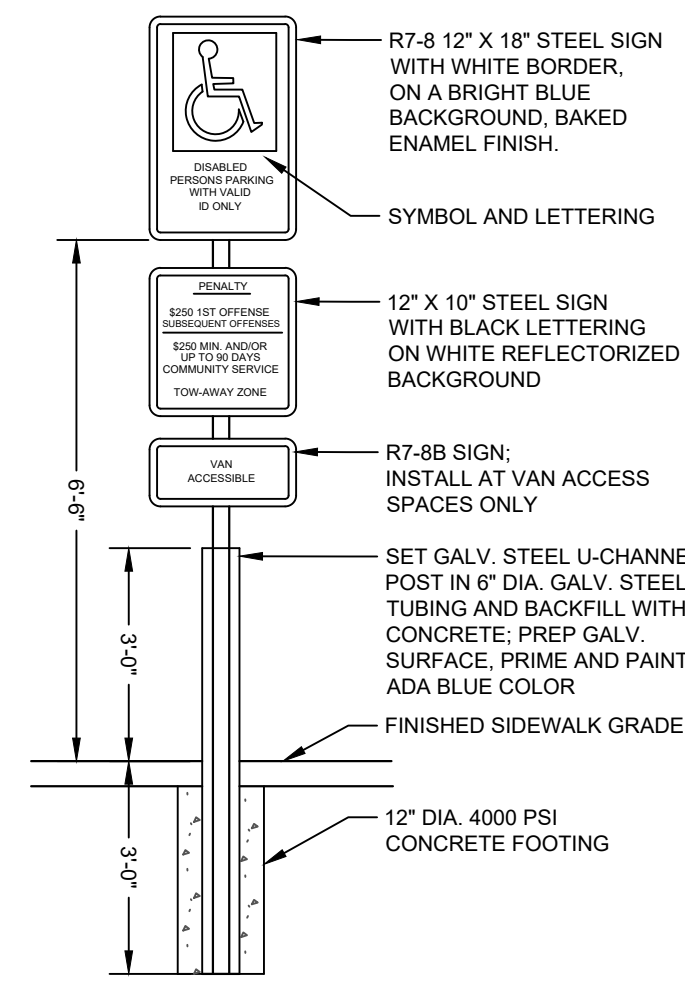
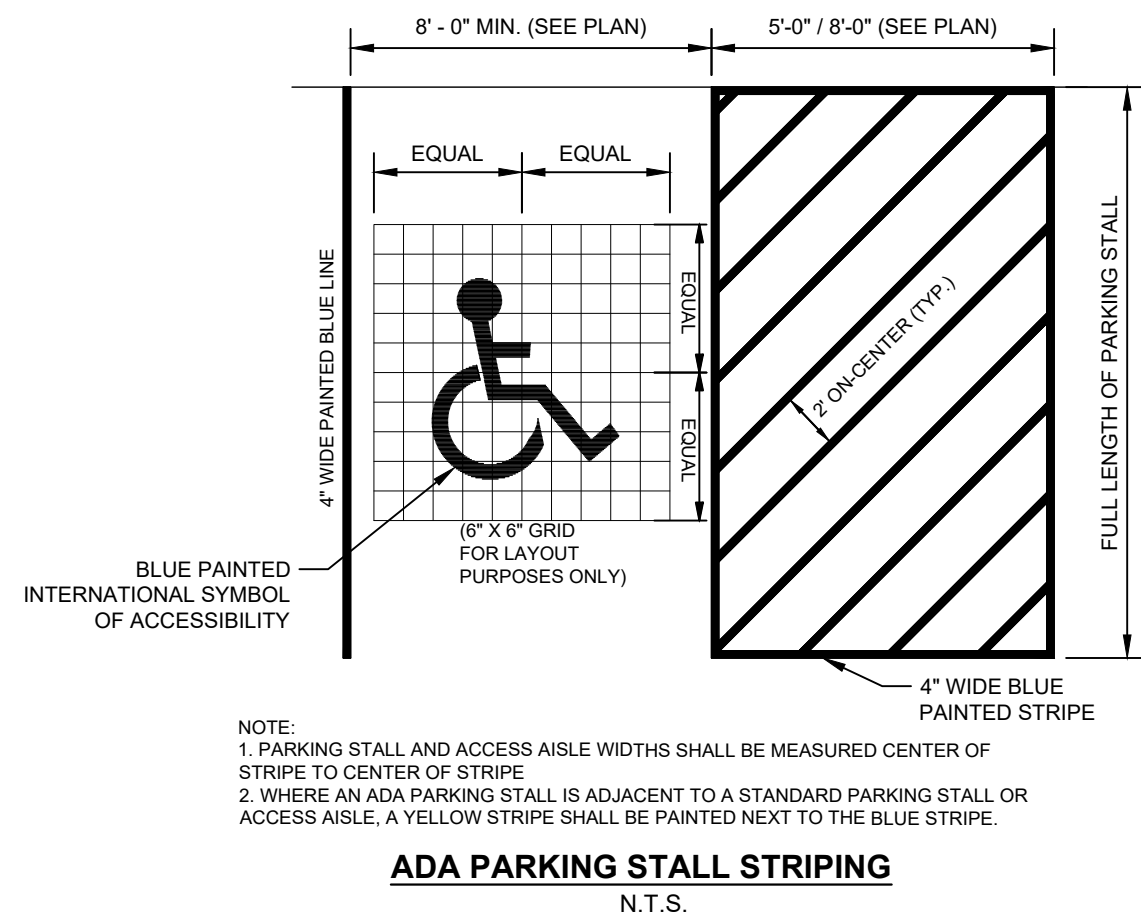
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2	05/29/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

Utility Plan
ACTS SPRING HOUSE ESTATES
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

Martin J. Eustace, III, P.E.
PA Lic. PE048891E

307 Easton Road
 Building B - 2nd Floor
 Willow Grove, PA 19090
 Tel: (215) 346-8757
 Fax: (215) 346-8759
 www.eustaceeng.com

DRAWN BY: YG
 CHECKED BY: MJE
 DATE: 11-20-2023
 DRAWING No.: D 2373 04 10



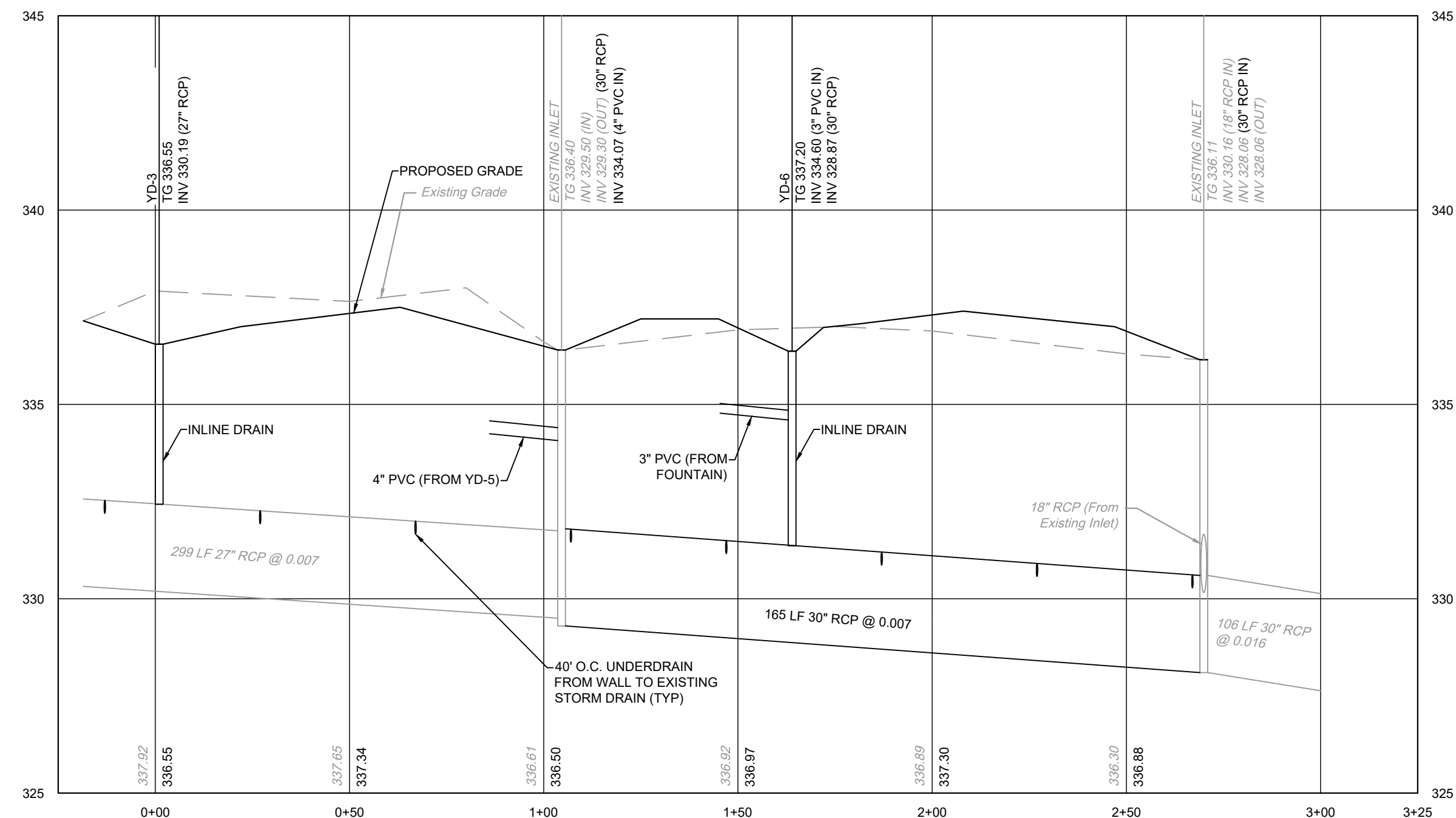
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2	05/29/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
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Construction Details
ACTS SPRING HOUSE ESTATES
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

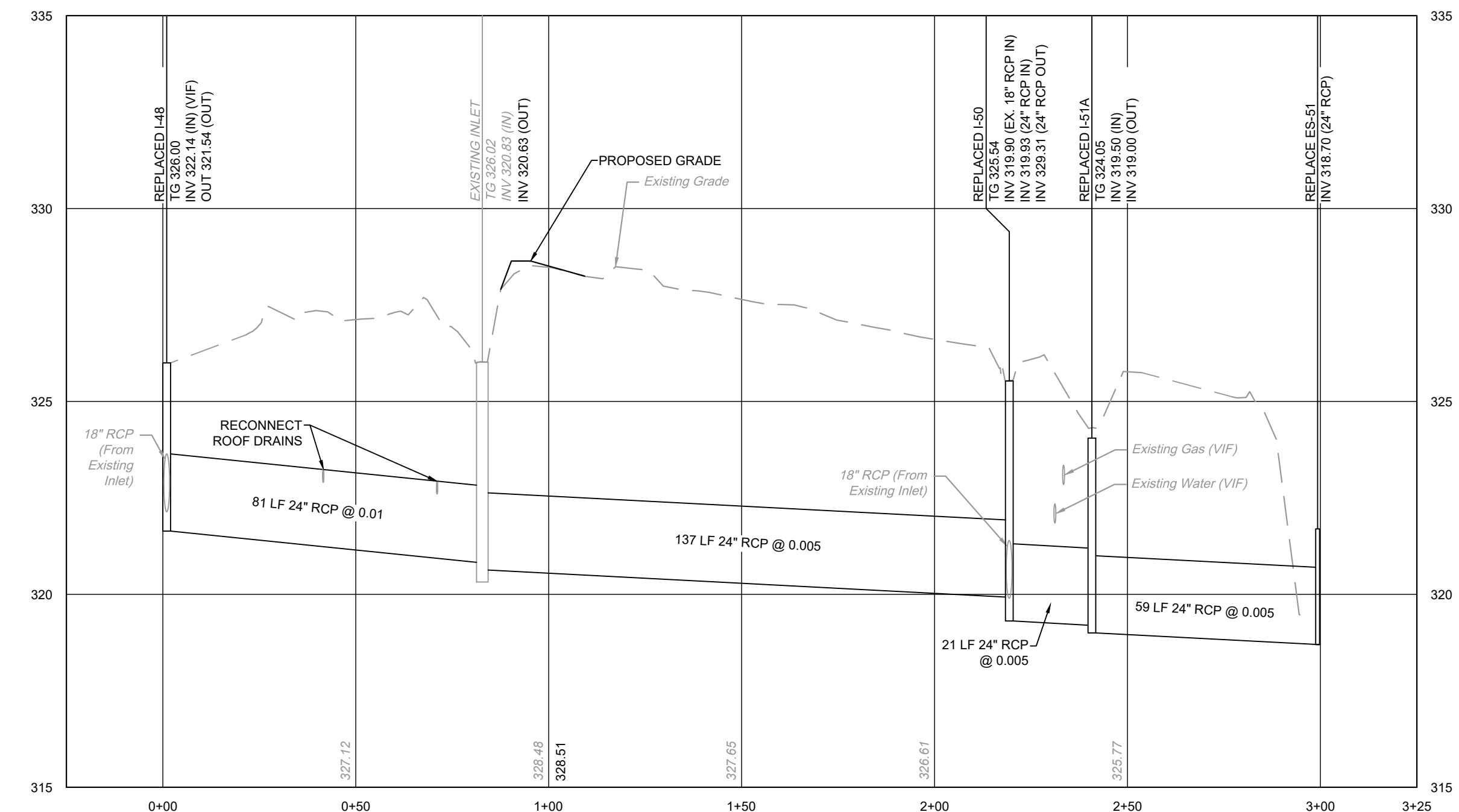
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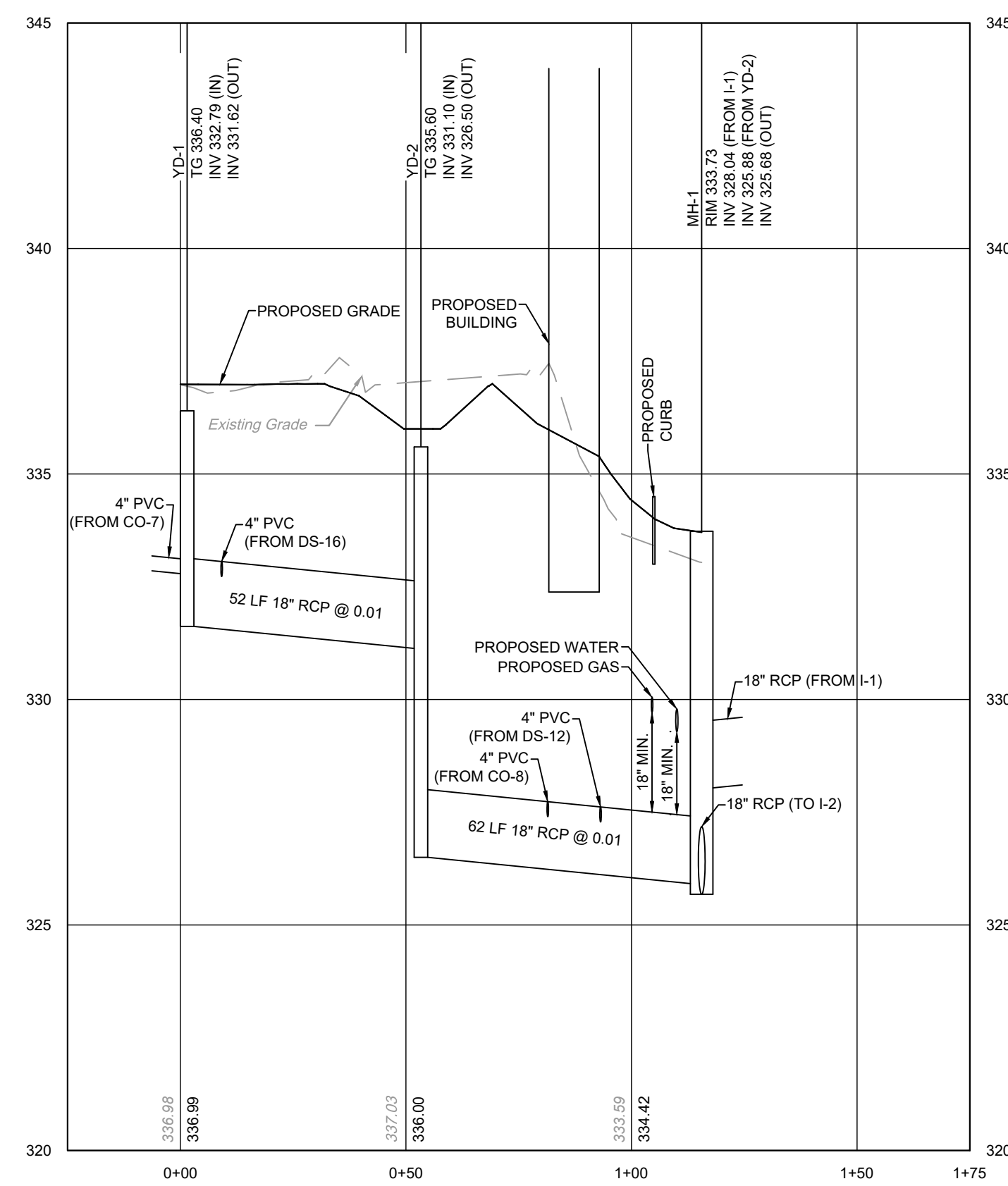
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CHECKED BY: MJE
DATE: 11-20-2023
DRAWING No.: D 2324 04 11



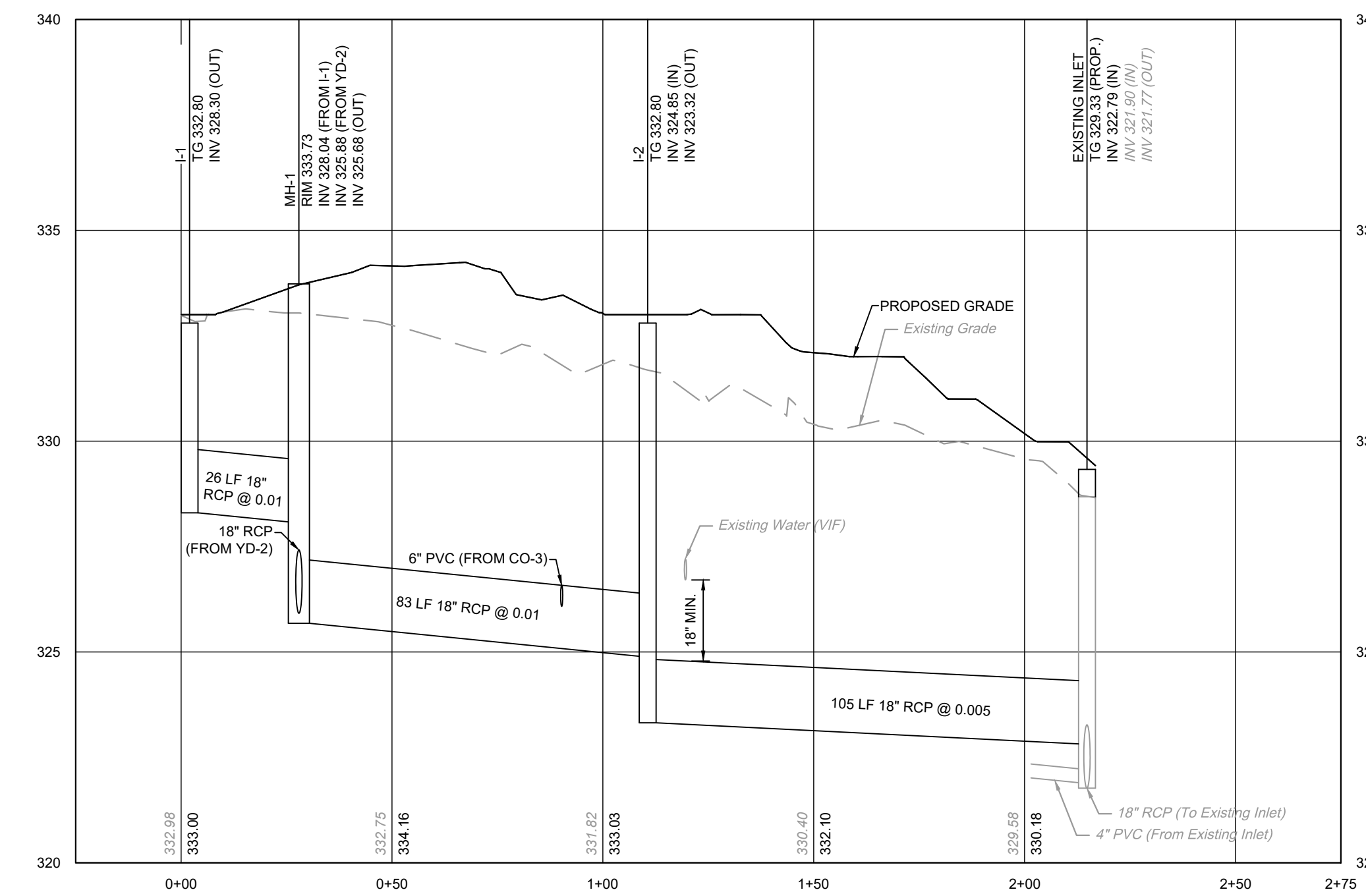
YD-3 TO EXISTING INLET
V: 1" = 3'
H: 1" = 30'



REPLACED I-48 TO REPLACED ES-51
V: 1" = 3'
H: 1" = 30'



YD-1 TO MH-1
V: 1" = 3'
H: 1" = 30'



I-1 TO EXISTING INLET
V: 1" = 3'
H: 1" = 30'

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Utility Profiles
ACTS SPRING HOUSE ESTATES
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

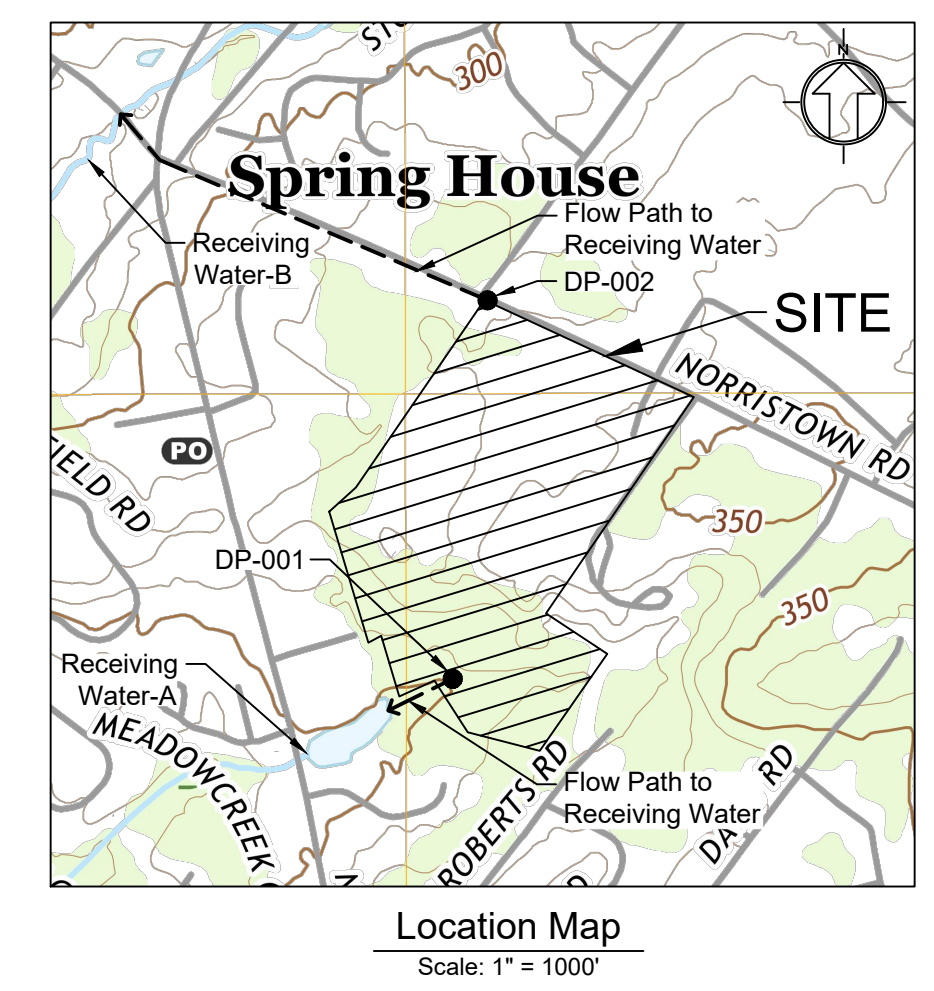
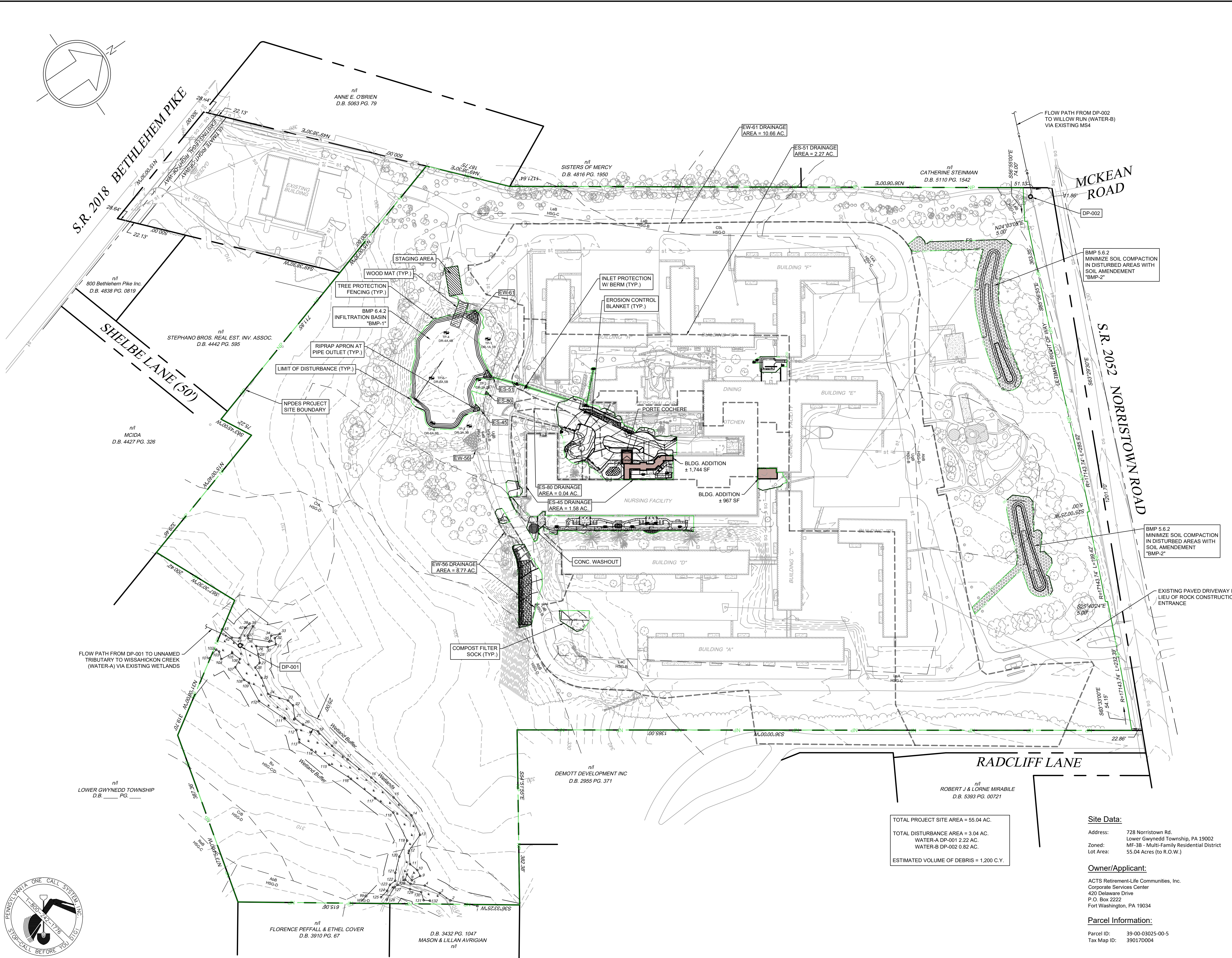
MARTIN J. EUSTACE, III
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DATE: 11-20-2023
DRAWING No.: D 2373 04 13

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- Legend**
- Property Line
 - Right-of-Way Line
 - Existing Building
 - Existing Curb
 - Existing Wetlands
 - Existing Stream
 - Existing Concrete
 - Existing Brick Paver
 - Existing Gravel
 - Existing Contour
 - Existing Index Contour
 - Existing Sanitary Sewer Line
 - Existing Gas Line
 - Existing Storm Line
 - Existing Electric Line
 - Proposed Building
 - Proposed Sidewalk
 - Proposed Curb
 - Proposed Wall
 - Proposed Gravel
 - Proposed Soil Amendment
 - Proposed Contour
 - Proposed Index Contour
 - Relocated Gas Line
 - Relocated Water Line
 - Proposed Storm Line
 - Proposed Inlet and Yard Drain
 - UgB
 - LeB
 - Soil Boundary
 - Wood Mat
 - Tree Protection Fencing
 - Compost Filter Sock
 - Pipe Outlet Drainage Area
 - Limit of Disturbance
 - NPDES Project Site Boundary
 - Discharge Point
 - Testing Pit Location

TOTAL PROJECT SITE AREA = 55.04 AC.
 TOTAL DISTURBANCE AREA = 3.04 AC.
 WATER-A DP-001 2.22 AC.
 WATER-B DP-002 0.82 AC.
 ESTIMATED VOLUME OF DEBRIS = 1,200 C.Y.

Site Data:
 Address: 728 Norristown Rd.
 Lower Gwynedd Township, PA 19002
 Zoned: MF-3B - Multi-Family Residential District
 Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:
 ACTS Retirement-Life Communities, Inc.
 Corporate Services Center
 420 Delaware Drive
 P.O. Box 2222
 Fort Washington, PA 19034

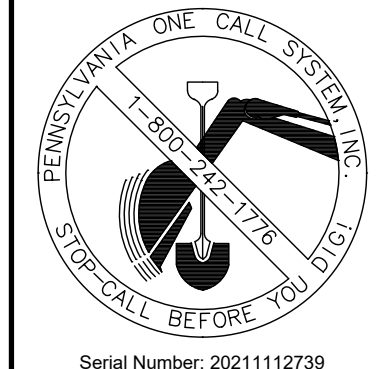
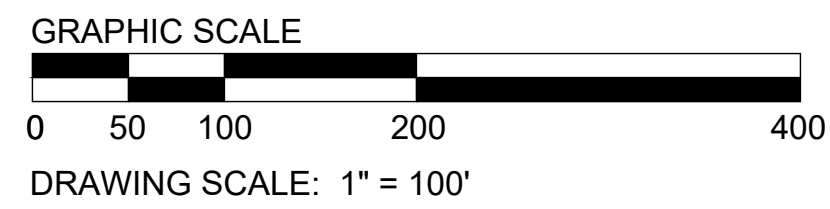
Parcel Information:
 Parcel ID: 39-00-03025-00-5
 Tax Map ID: 390170004

3	08/09/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
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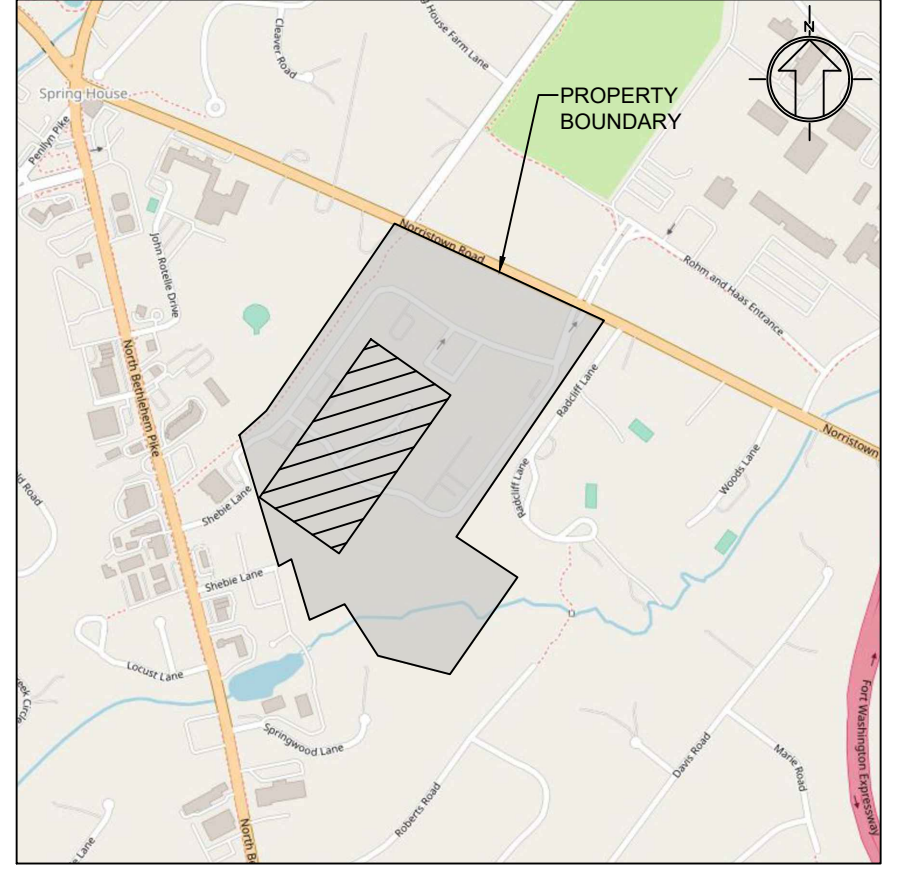
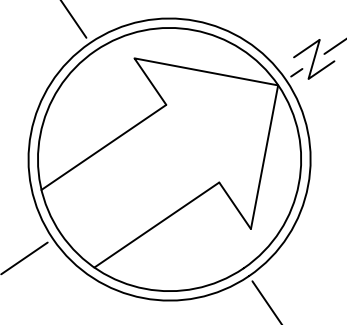
Overall Erosion and Sediment Control Plan
ACTS SPRING HOUSE ESTATES
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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DRAWN BY YG
CHECKED BY MJE
DATE 11-20-2023
DRAWING No. D 2373 04 14



Act 287
 ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.



Location Map
Scale: 1" = 1000'

BMP 6.4.2
INFILTRATION BASIN
"BMP-1"

STAGING AREA
TEMPORARILY ADJUST
CONTOURS TO BE
PARALLEL WITH TIMBERS

WOOD MAT
TP-4
(DR-4A, 4B)

TP-1
(DR-1A, 1B)

TP-5
(DR-5A, 5B)

TP-2
(DR-2A, 2B)

TP-3
(DR-3A, 3B)

EW-56
EXISTING
RIPRAP TO
REMAIN

FS-6A

FS-6B

Legend

	Existing Building		Proposed Curb
	Existing Curb		Proposed Wall
	Existing Concrete		Proposed Gravel
	Existing Brick Paver		Proposed Soil Amendment
	Existing Gravel		Proposed Contour
	Existing Contour		Proposed Index Contour
	Existing Index Contour		Relocated Gas Line
	Existing Sanitary Sewer Line		Relocated Water Line
	Existing Water Line		Proposed Storm Line
	Existing Gas Line		Proposed Inlet and Yard Drain
	Existing Storm Line		Soil Boundary
	Existing Electric Line		Wood Mat
	Existing Light Pole		Tree Protection Fencing
	Existing Inlet and Yard Drain		Composite Filter Sock
	Existing Utility Pole		Inlet Protection / Composite Filter Sock Trap Drainage Area
	Existing Fire Hydrant		Limit of Disturbance
	Existing Manhole		Testing Pit Location
	Proposed Building		
	Proposed Sidewalk		

Site Data:

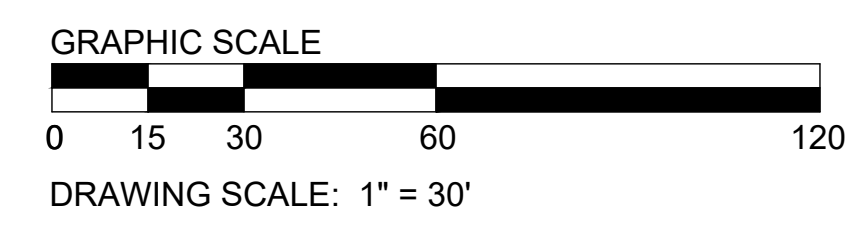
Address: 728 Norristown Rd.
Lower Gwynedd Township, PA 19002
Zoned: MF-3B - Multi-Family Residential District
Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:

ACTS Retirement-Life Communities, Inc.
Corporate Services Center
420 Delaware Drive
P.O. Box 2222
Fort Washington, PA 19034

Parcel Information:

Parcel ID: 39-00-03025-00-5
Tax Map ID: 390170004



DRAWING SCALE: 1" = 30'

MATCH LINE E&S PLAN - A
MATCH LINE E&S PLAN - B

3	08/09/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
2	05/29/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTED TO TOWNSHIP.

Erosion and Sediment Control Plan - A ACTS SPRING HOUSE ESTATES

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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Martin J. Eustace, III, P.E.
PA Lic. PE048891E

DRAWN BY	YG
CHECKED BY	MJE
DATE	11-20-2023
DRAWING No.	D 2373 04 15

X:\PROJECTS\237304 Acts - Spring House Estates\DRAWINGS\Land Development\10a-ES.dwg May 28, 2024

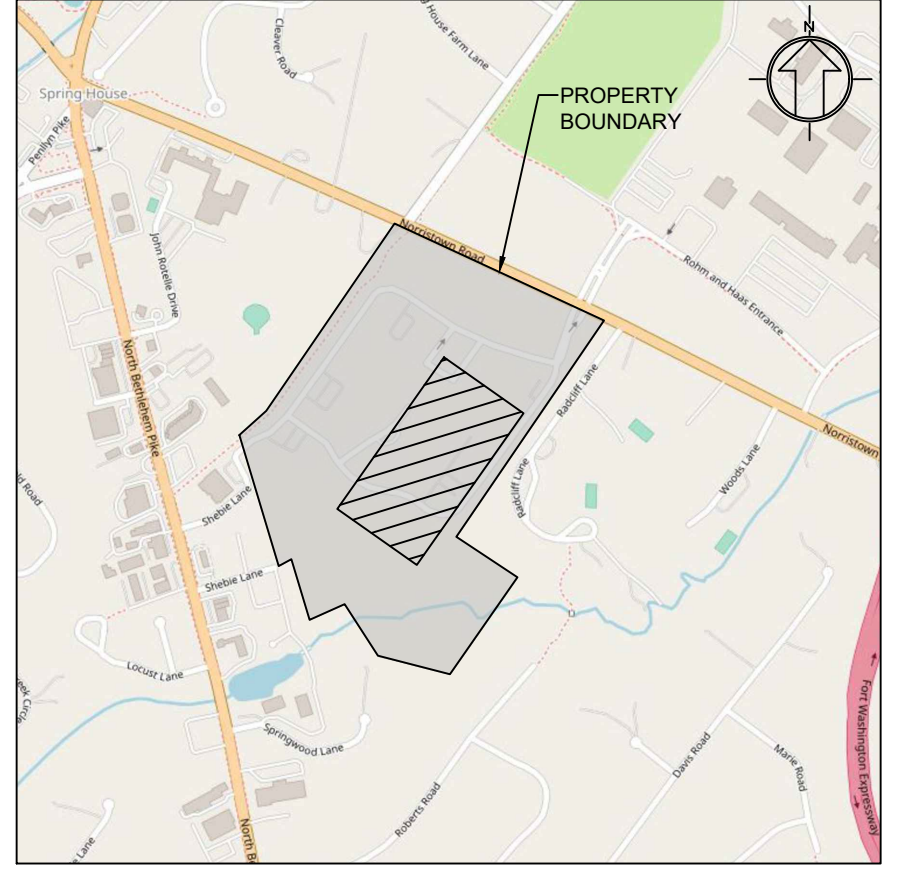
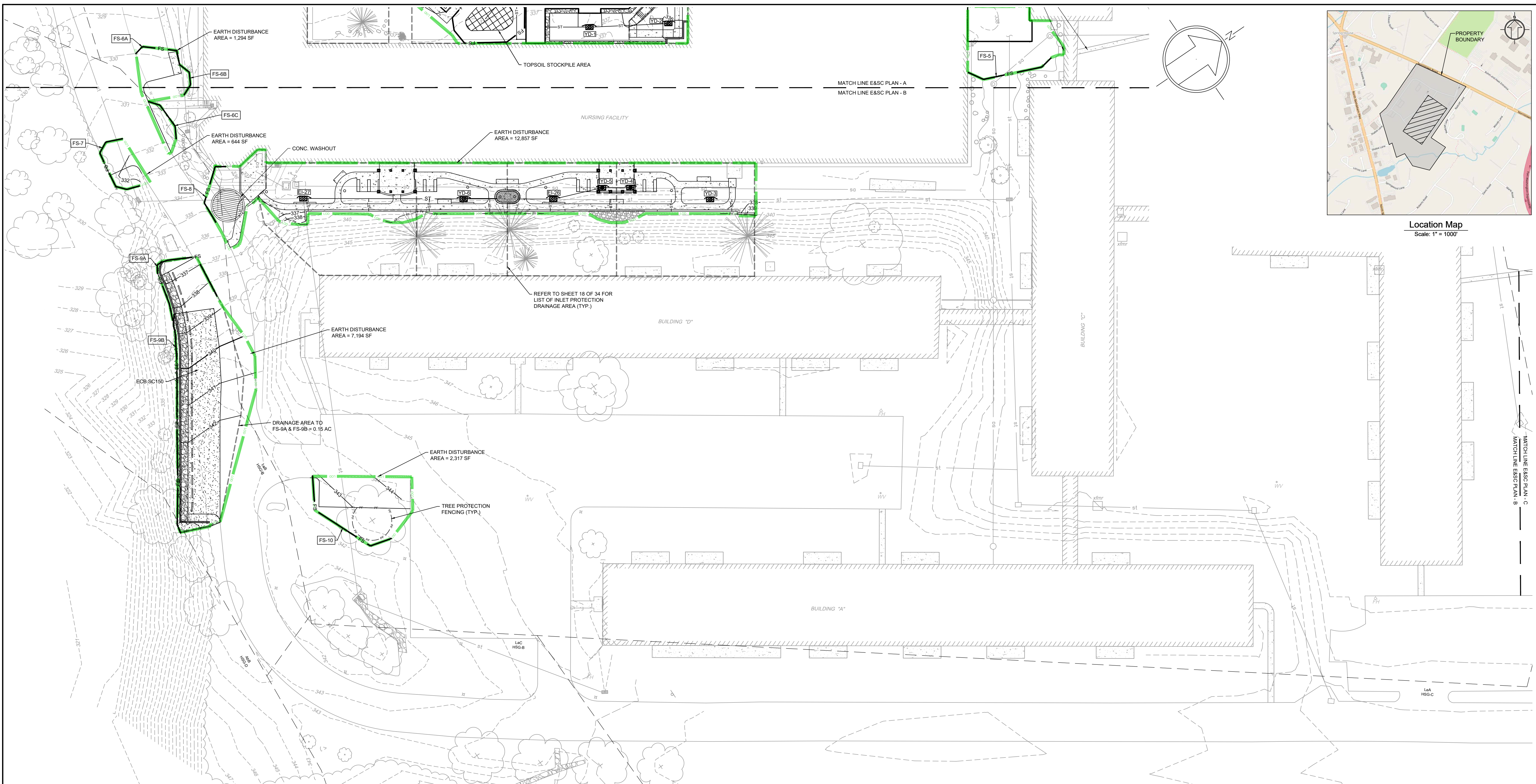


Serial Number: 2021112739

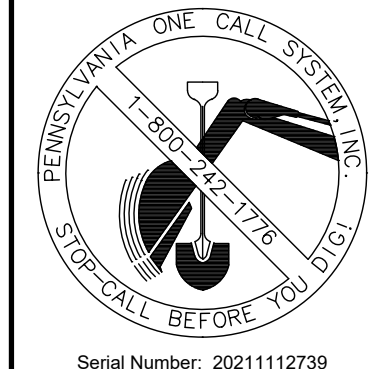
Act 287

ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.

X:\PROJECTS\237304 Acts - Spring House Estates\DRAWINGS\Land Development\10-ES.dwg May 28, 2024



Location Map
Scale: 1" = 1000'



Serial Number: 2021112739
Act 287
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Legend	
	Existing Building
	Existing Curb
	Existing Concrete
	Existing Brick Paver
	Existing Gravel
	Existing Contour
	Existing Index Contour
	Existing Sanitary Sewer Line
	Existing Water Line
	Existing Gas Line
	Existing Storm Line
	Existing Electric Line
	Existing Light Pole
	Existing Inlet and Yard Drain
	Existing Utility Pole
	Existing Fire Hydrant
	Existing Manhole
	Proposed Building
	Proposed Sidewalk
	Proposed Curb
	Proposed Wall
	Proposed Gravel
	Proposed Soil Amendment
	Proposed Contour
	Proposed Index Contour
	Relocated Gas Line
	Relocated Water Line
	Relocated Storm Line
	Proposed Inlet and Yard Drain
	Soil Boundary
	Wood Mat
	Tree Protection Fencing
	Compost Filter Sock
	Inlet Protection / Compost Filter Sock Trap Drainage Area
	Limit of Disturbance
	Testing Pit Location

Site Data:
Address: 728 Norristown Rd.
Lower Gwynedd Township, PA 19002
Zoned: MF-3B - Multi-Family Residential District
Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:
ACTS Retirement-Life Communities, Inc.
Corporate Services Center
420 Delaware Drive
P.O. Box 2222
Fort Washington, PA 19034

Parcel Information:
Parcel ID: 39-00-03025-00-5
Tax Map ID: 390170004

GRAPHIC SCALE
0 15 30 60 120
DRAWING SCALE: 1" = 30'

3	08/09/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
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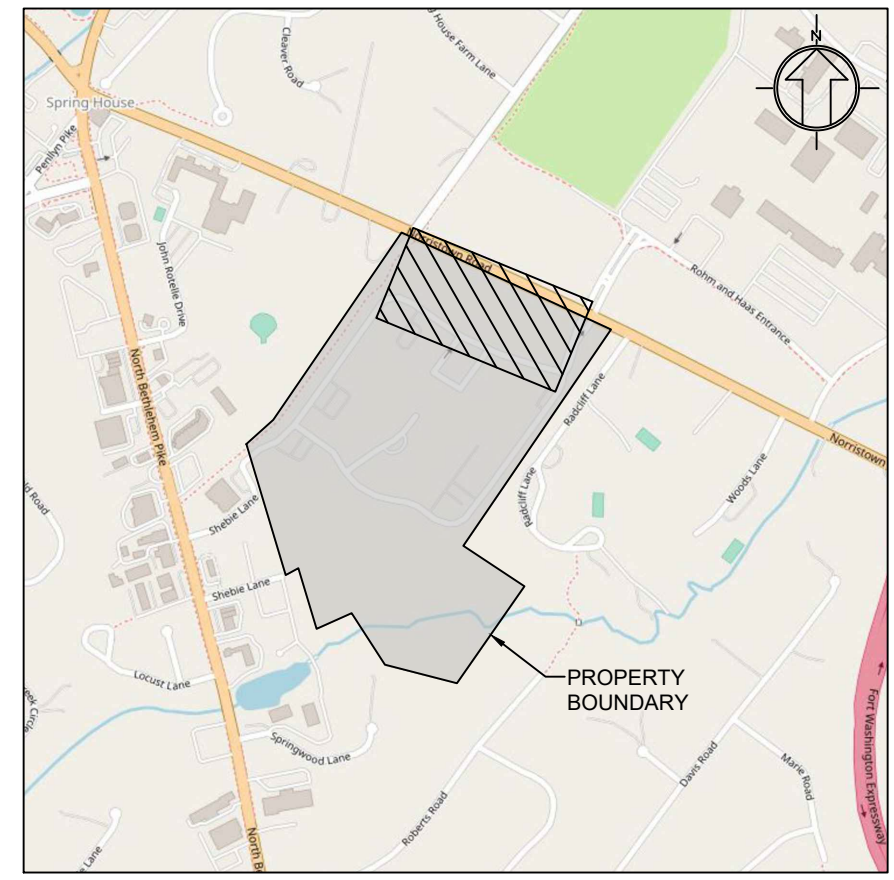
Erosion and Sediment Control Plan - B
ACTS SPRING HOUSE ESTATES
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

MARTIN J. EUSTACE, III
PROFESSIONAL ENGINEER
NO. 048891-E

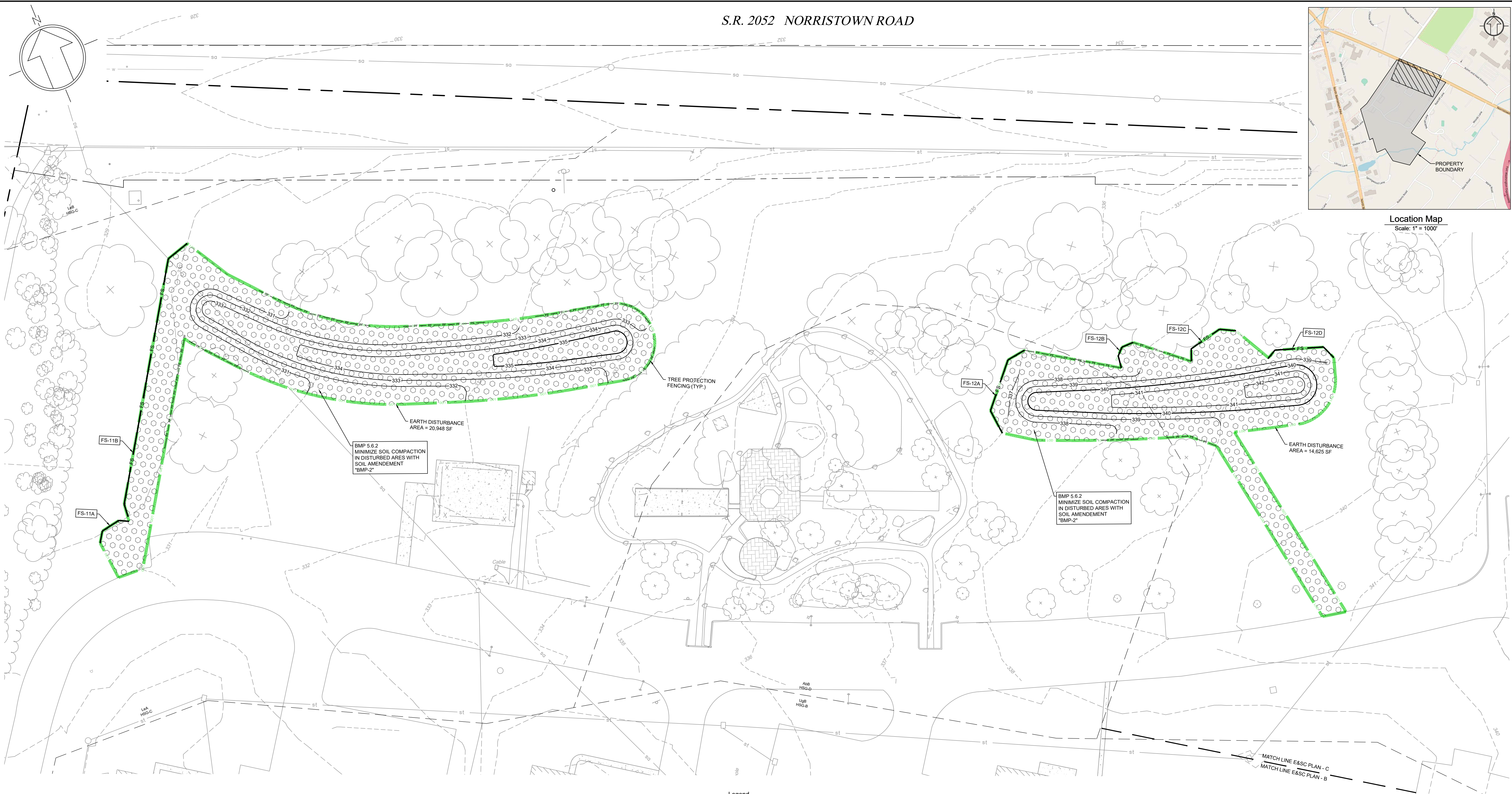
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Fax: (215) 348-8759
www.eustaceeng.com

DRAWN BY: YG
CHECKED BY: MJE
DATE: 11-20-2023
DRAWING No.: D 2373 04 16



Location Map
Scale: 1" = 1000'



Legend

	Existing Building		Proposed Curb
	Existing Contour		Proposed Wall
	Existing Sanitary Sewer Line		Proposed Gravel
	Existing Water Line		Proposed Soil Amendment
	Existing Gas Line		Proposed Contour
	Existing Storm Line		Proposed Index Contour
	Existing Electric Line		Relocated Gas Line
	Existing Light Pole		Relocated Water Line
	Existing Inlet and Yard Drain		Proposed Storm Line
	Existing Utility Pole		Proposed Inlet and Yard Drain
	Existing Fire Hydrant		Soil Boundary
	Existing Manhole		Wood Mat
	Proposed Building		Tree Protection Fencing
	Proposed Sidewalk		Compost Filter Sock
			Inlet Protection / Compost Filter Sock Trap Drainage Area
			Limit of Disturbance
			Testing Pit Location

Site Data:

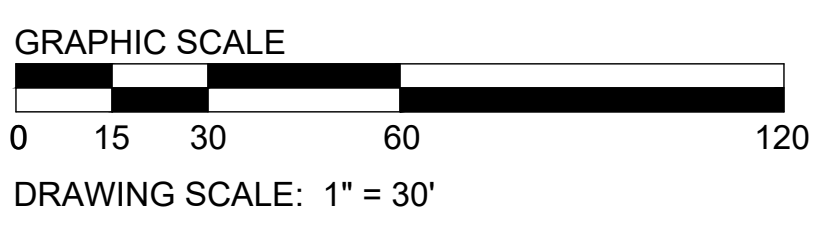
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1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

Erosion and Sediment Control Plan - C
ACTS SPRING HOUSE ESTATES
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

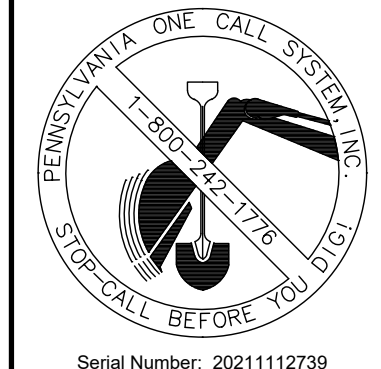
M. J. EUSTACE, III, P.E.
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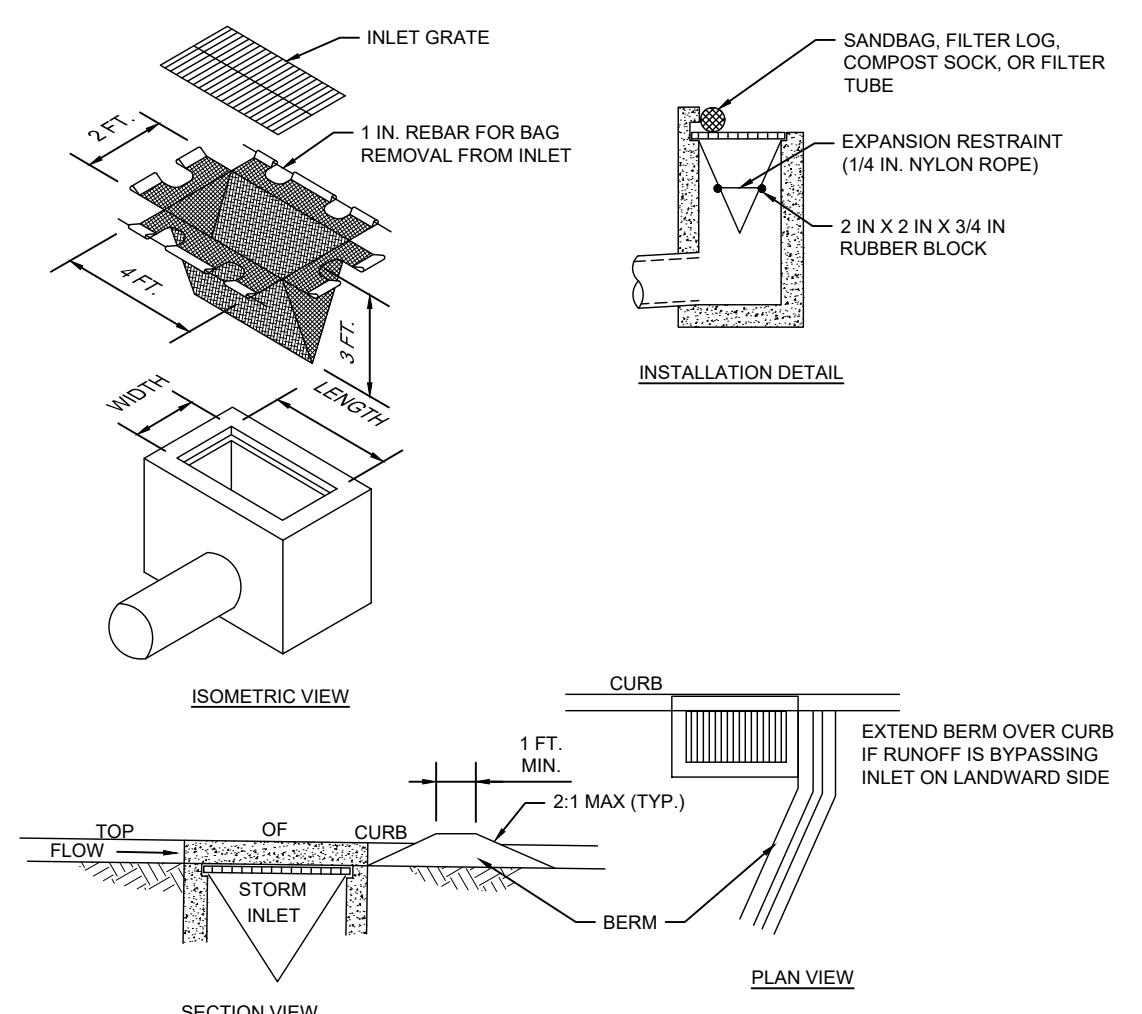
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Willow Grove, PA 19090
Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

DRAWN BY: YG
CHECKED BY: MJE
DATE: 11-20-2023
DRAWING No.: D 2373 04 17

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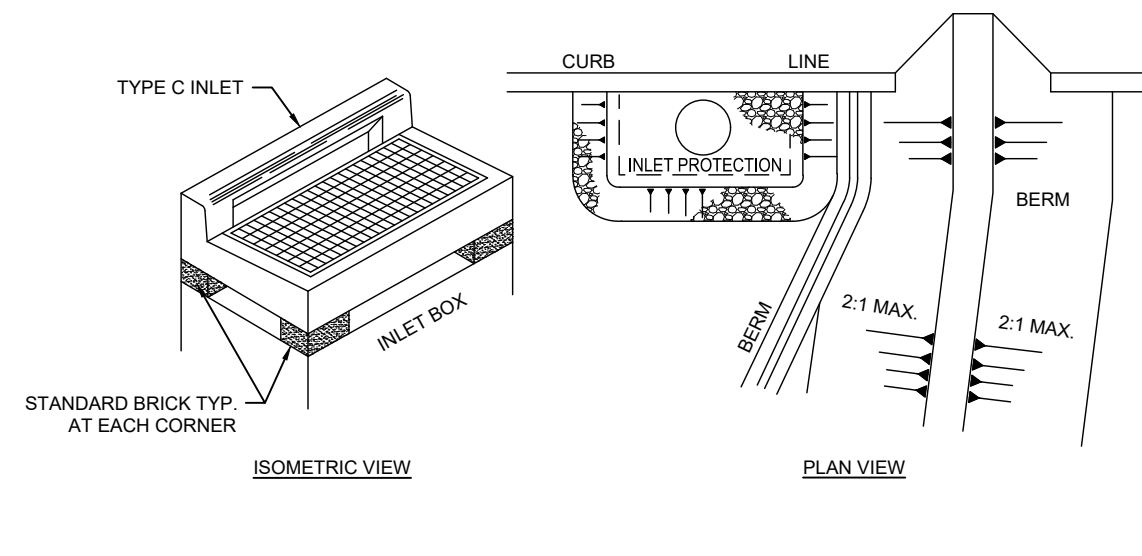
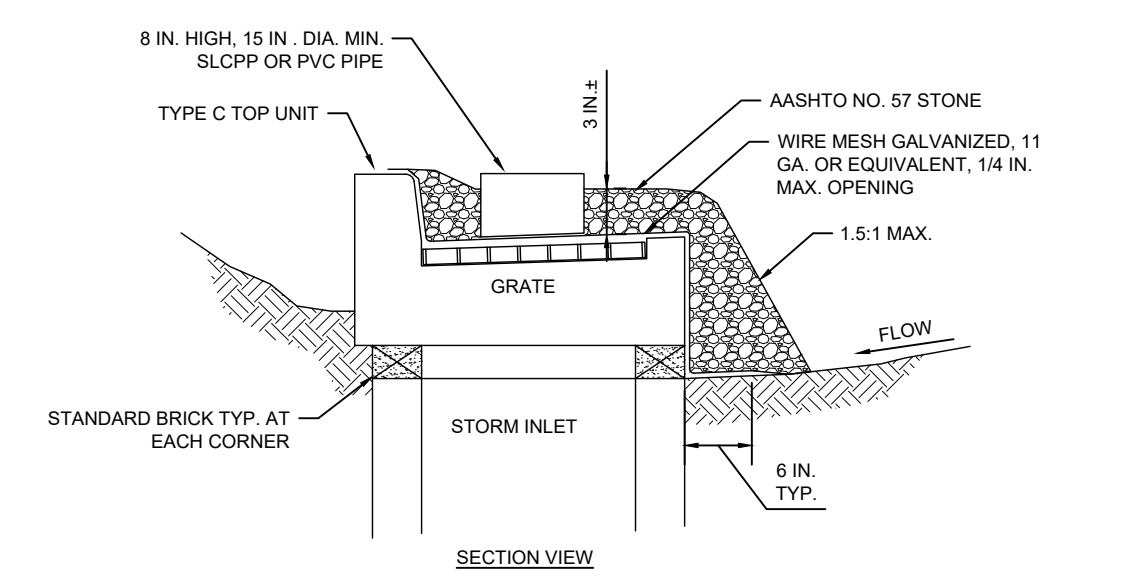


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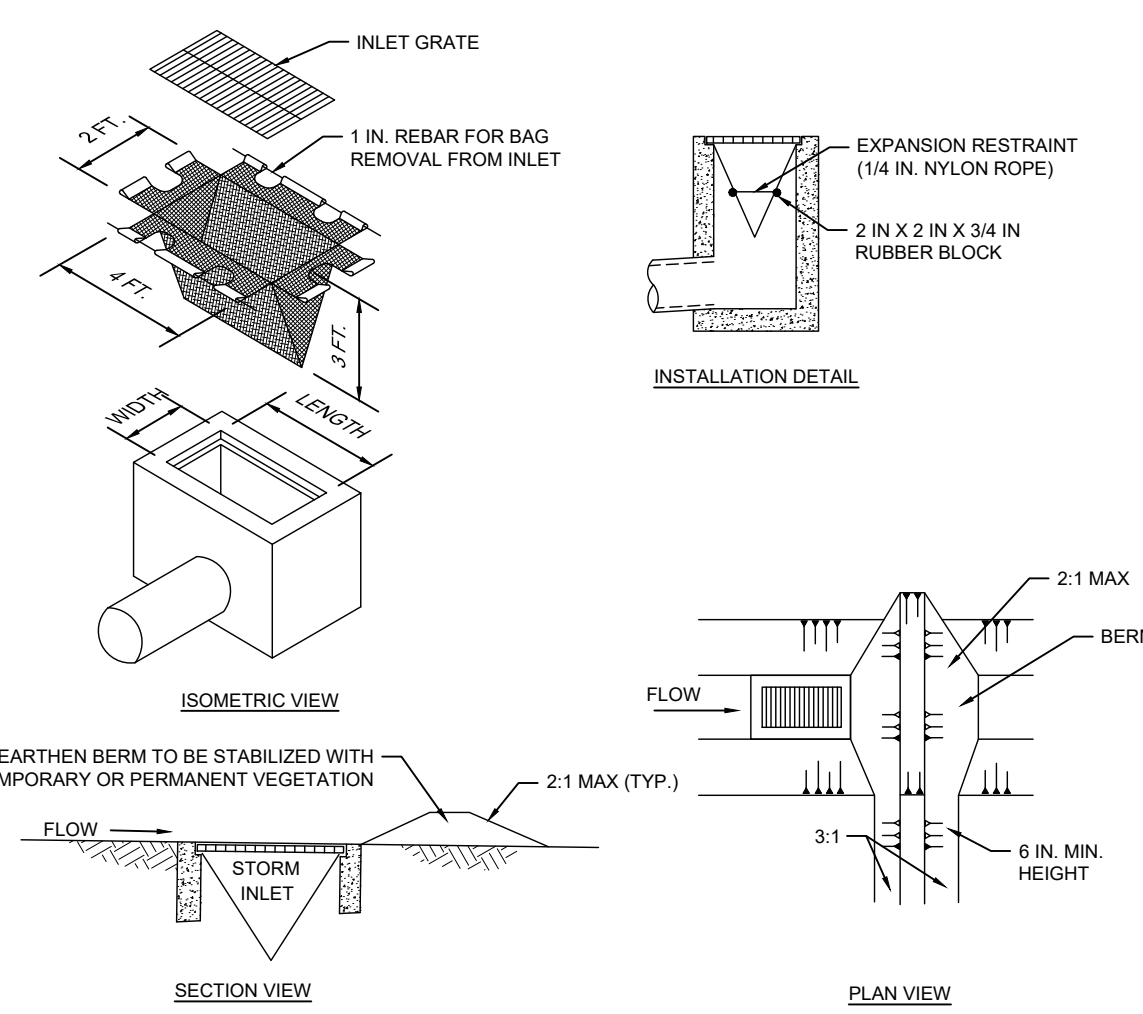
NOTES:
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-15
 FILTER BAG INLET PROTECTION - TYPE C INLET**
 NOT TO SCALE



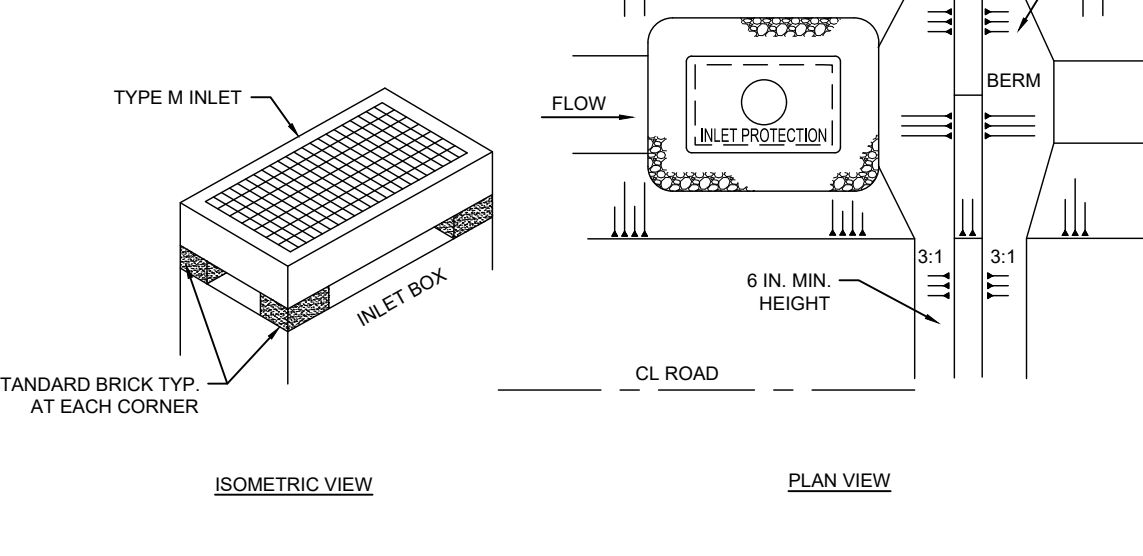
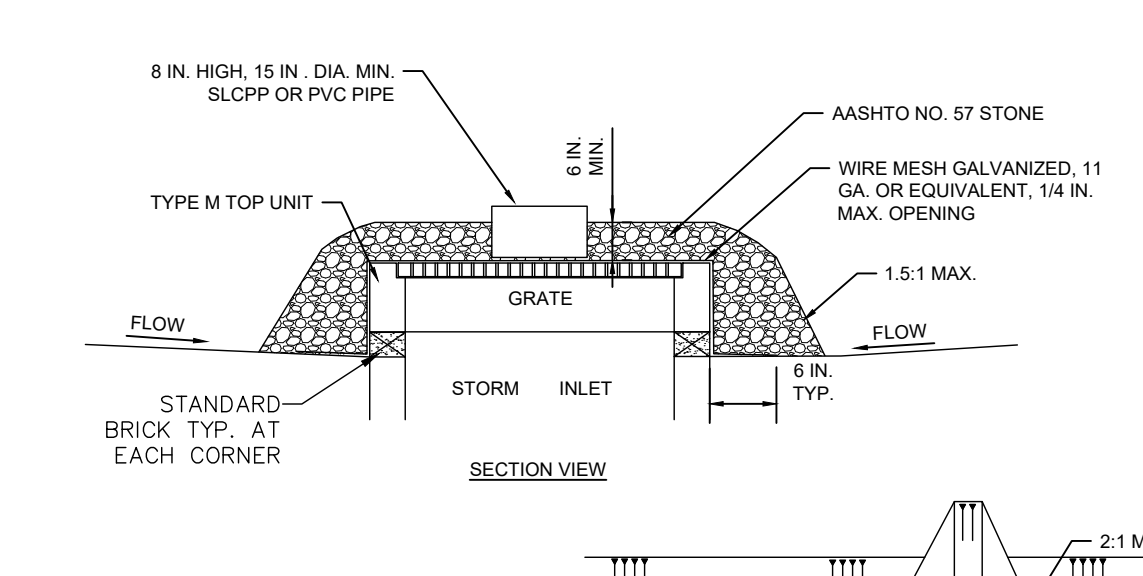
NOTES:
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLETS TRIBUTARY TO SEDIMENT BASINS OR SEDIMENT TRAPS. ALTERNATE TYPE C INLET PROTECTION CAN BE USED ON ONE ACRE MAXIMUM DRAINAGE AREA WITH 15 IN. OVERFLOW PIPE AND 4 IN. HEAD.
 BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT LOW POINTS. EARTHEN BERMS SHALL BE STABILIZED WITH VEGETATION AND MAINTAINED UNTIL ROADWAY IS STONED OR TRIBUTARY AREA IS PERMANENTLY VEGETATED. ROAD SUBBASE BERMS SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED.
 INLETS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 FOR SYSTEMS DISCHARGING TO HQ, EV, OR IMPAIRED SURFACE WATER, A 6 INCH THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

**STANDARD CONSTRUCTION DETAIL #4-22
 ALTERNATE TYPE C INLET PROTECTION - NOT AT GRADE**
 NOT TO SCALE



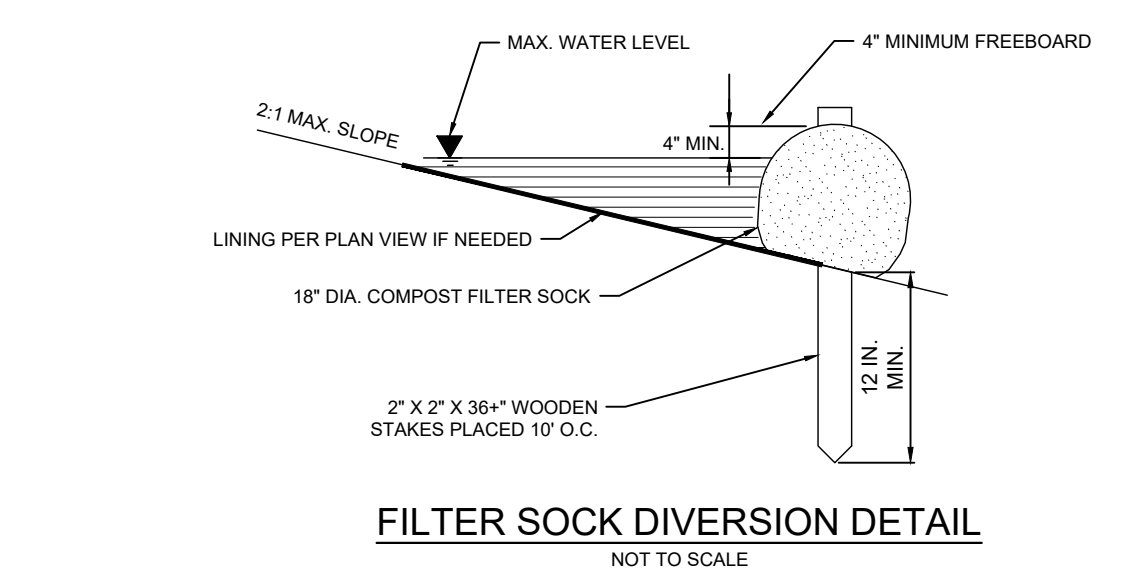
NOTES:
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAINS PERMANENTLY.
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-16
 FILTER BAG INLET PROTECTION - TYPE M INLET**
 NOT TO SCALE

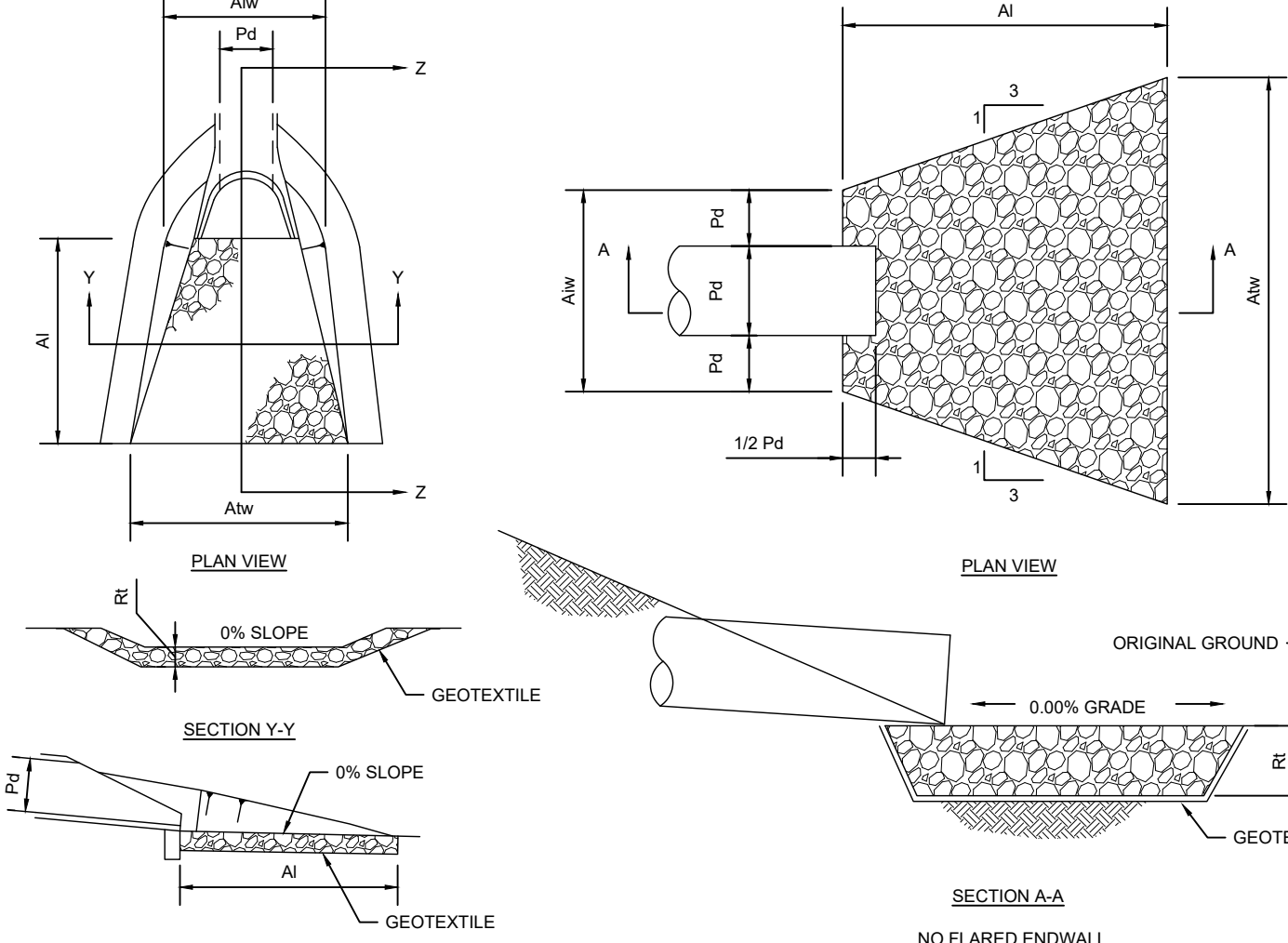


NOTES:
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLETS TRIBUTARY TO SEDIMENT BASINS OR SEDIMENT TRAPS. ALTERNATE TYPE C INLET PROTECTION CAN BE USED ON ONE ACRE MAXIMUM DRAINAGE AREA WITH 15 IN. OVERFLOW PIPE AND 4 IN. HEAD.
 BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT LOW POINTS. EARTHEN BERMS SHALL BE STABILIZED WITH VEGETATION AND MAINTAINED UNTIL ROADWAY IS STONED OR TRIBUTARY AREA IS PERMANENTLY VEGETATED. ROAD SUBBASE BERMS SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED.
 INLETS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 FOR SYSTEMS DISCHARGING TO HQ, EV, OR IMPAIRED SURFACE WATER, A 6 INCH THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

**STANDARD CONSTRUCTION DETAIL #4-23
 ALTERNATE TYPE M INLET PROTECTION - NOT AT GRADE**
 NOT TO SCALE



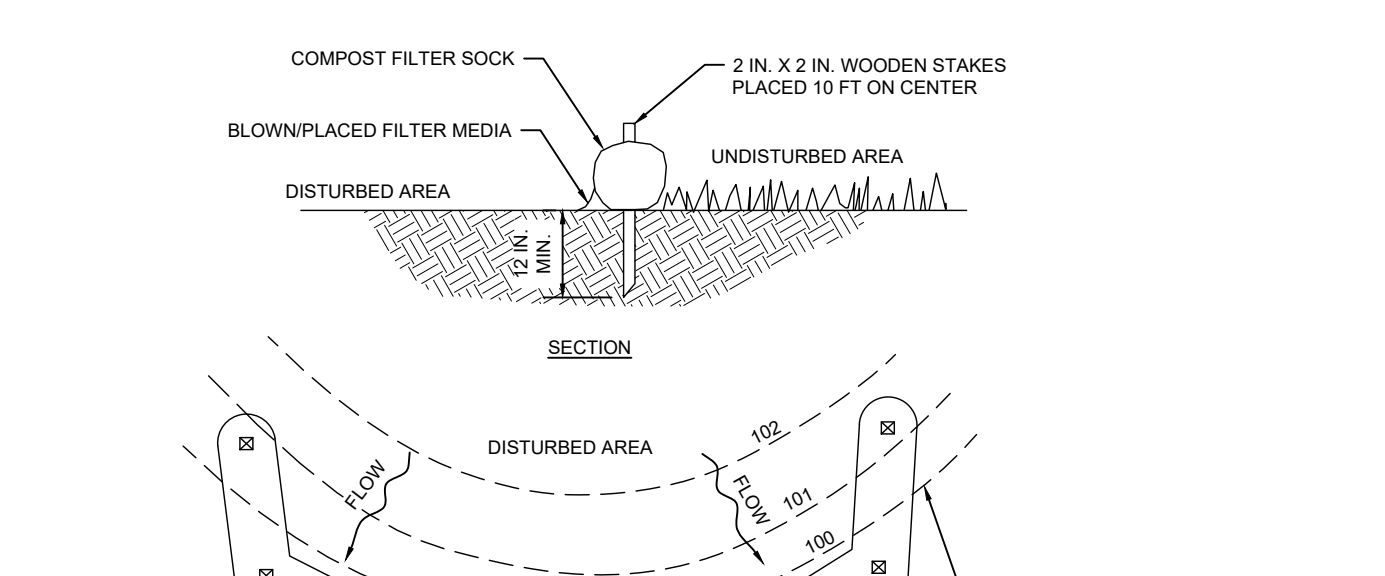
FILTER SOCK DIVERSION DETAIL
 NOT TO SCALE



OUTLET NO.	PIPE DIA (IN)	RIPRAP SIZE (IN)	RIPRAP THICK RT (IN)	LENGTH AI (FT)	INITIAL WIDTH Aw (FT)	TERMINAL WIDTH Atw (FT)
EW-61	36	5	27	21	9.0	30.0
ES-51	24	4	18	12	6.0	18.0
ES-80	6	3	9	6	1.5	7.5
ES-45	24	4	18	12	6.0	18.0
EW-56*	36	5	27	20	9.0	29.0

* EXISTING RIPRAP AT EW-56 MEETS THE CRITERIA IN THIS TABLE AND SHALL REMAIN.

**STANDARD CONSTRUCTION DETAIL #9-1, 9-2
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE

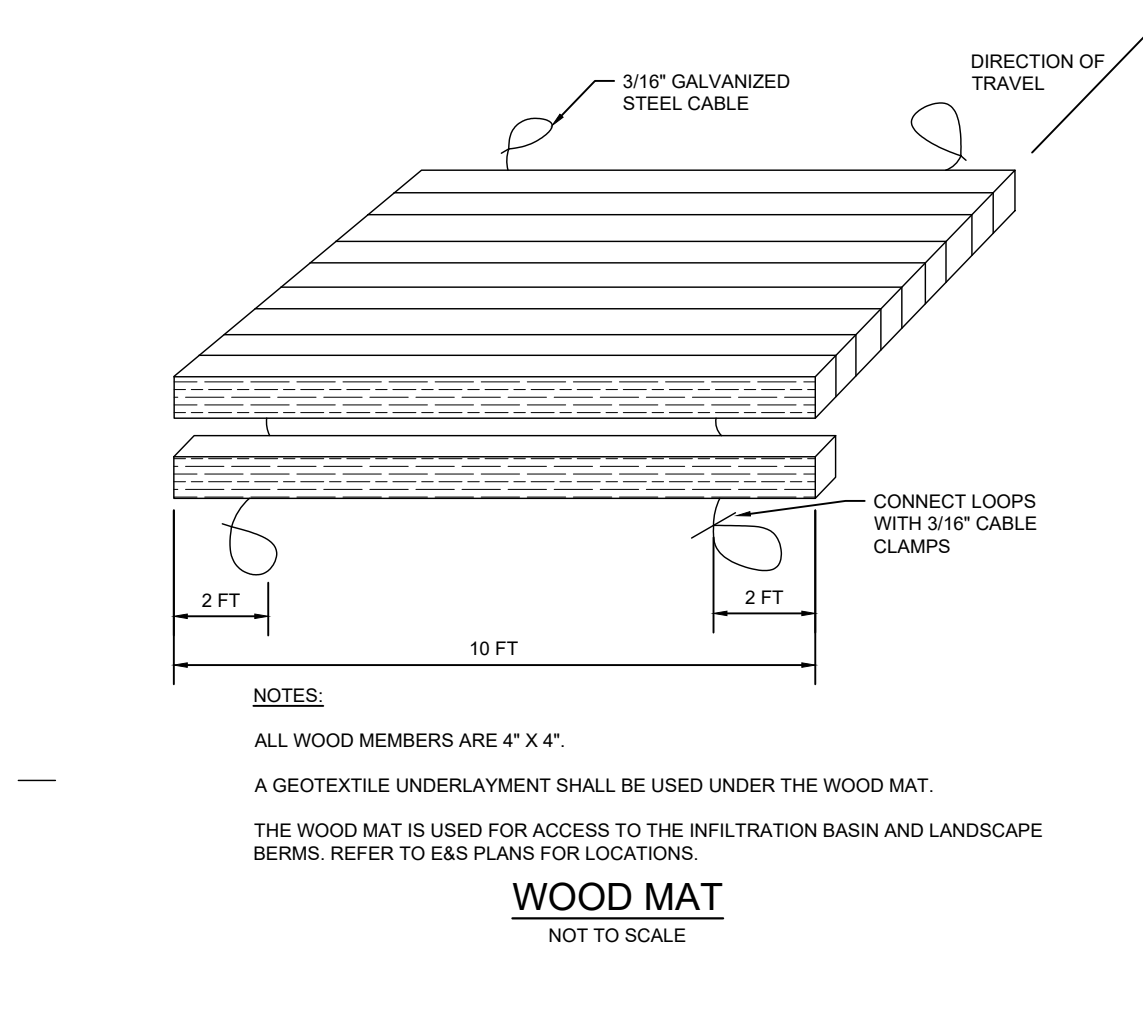


LOCATION	SOCK ID#	DIAMETER (IN) *
BETWEEN NURSING FACILITY AND PERSONAL CARE BUILDINGS	FS-1	12
	FS-2A, 2B, 2C, 2D	12
	FS-3	12
	FS-4	12
	FS-5	12
NEXT TO RELOCATED PLAYGROUND	FS-6A, 6B	12
	FS-6C	18
	FS-7	12
SOUTH OF NURSING FACILITY BUILDING	FS-8	12
	FS-9A	32" SOCK TRAP
SOUTH OF BUILDING D	FS-9B	18" DIVERSION SOCK
	FS-10	12
NEXT TO LANDSCAPE BERMS	FS-11A, 11B	12
	FS-12A, 12B, 12C, 12D	12

* REFER TO STANDARD WORKSHEET #1 FOR DETAILED CALCULATIONS OF COMPOST FILTER SOCK.
NOTES:
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

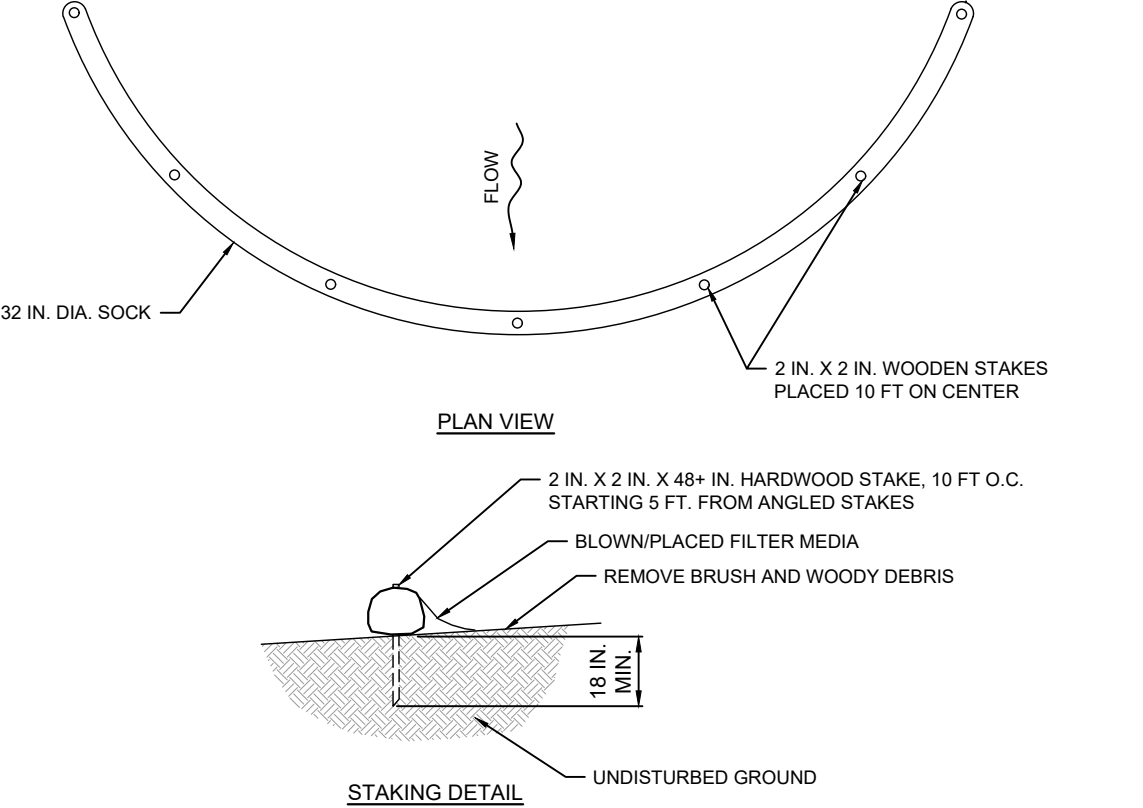
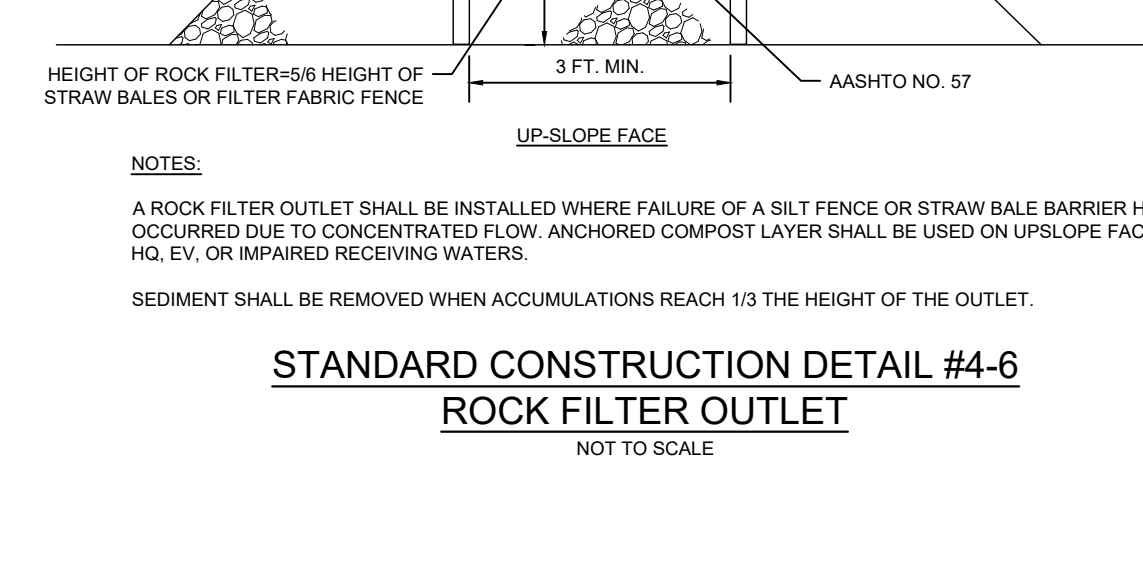
**STANDARD CONSTRUCTION DETAIL #4-1
 COMPOST FILTER SOCK**
 NOT TO SCALE

**STANDARD CONSTRUCTION DETAIL #3-11
 COMPOST SOCK SEDIMENT TRAP**
 NOT TO SCALE



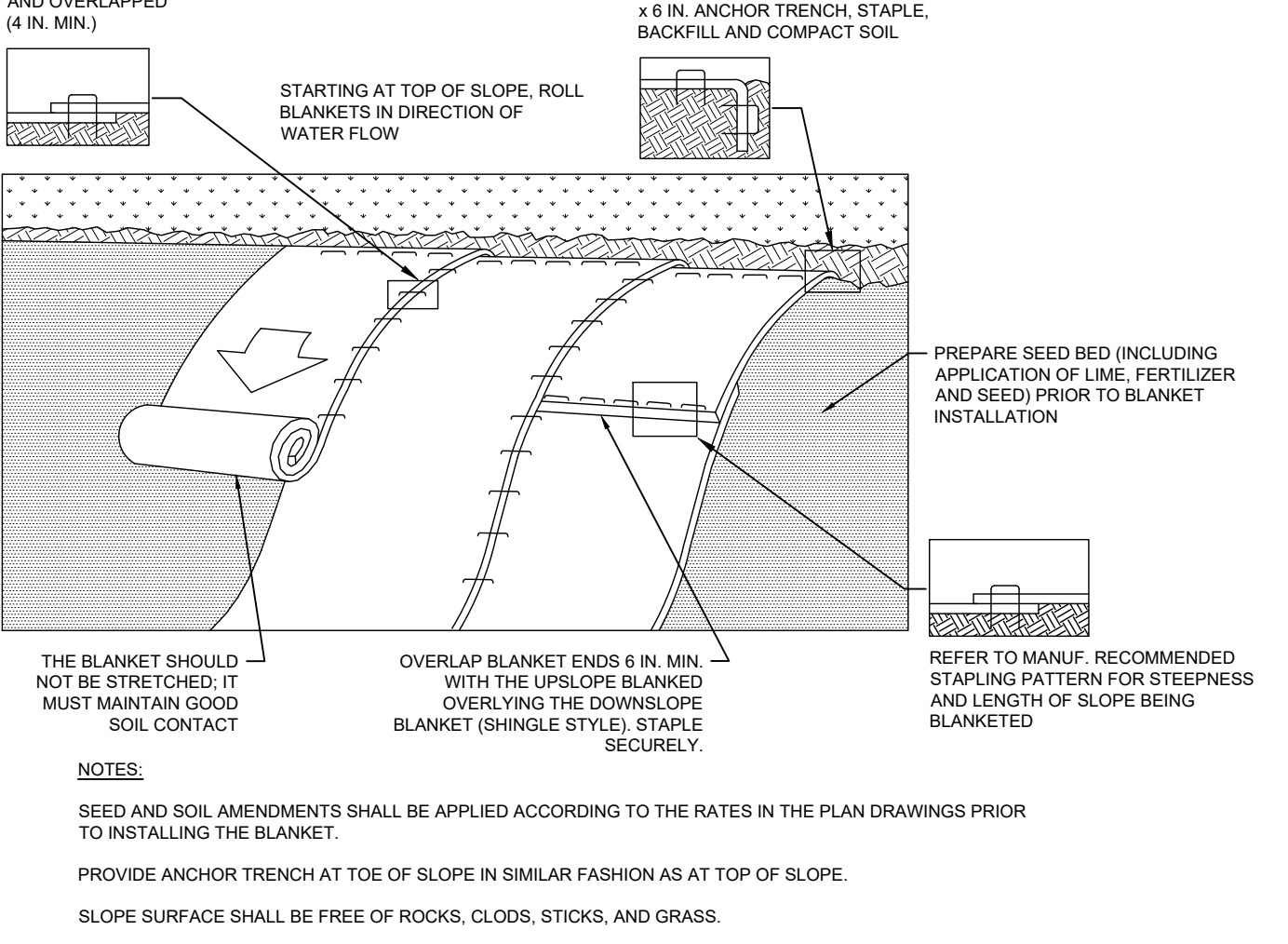
NOTES:
 ALL WOOD MEMBERS ARE 4" X 4".
 A GEOTEXTILE UNDERLAYMENT SHALL BE USED UNDER THE WOOD MAT.
 THE WOOD MAT IS USED FOR ACCESS TO THE INFILTRATION BASIN AND LANDSCAPE BERMS. REFER TO E&S PLANS FOR LOCATIONS.
 CONNECT LOOPS WITH 3/16" CABLE CLAMPS.
WOOD MAT
 NOT TO SCALE

**STANDARD CONSTRUCTION DETAIL #4-6
 ROCK FILTER OUTLET**
 NOT TO SCALE

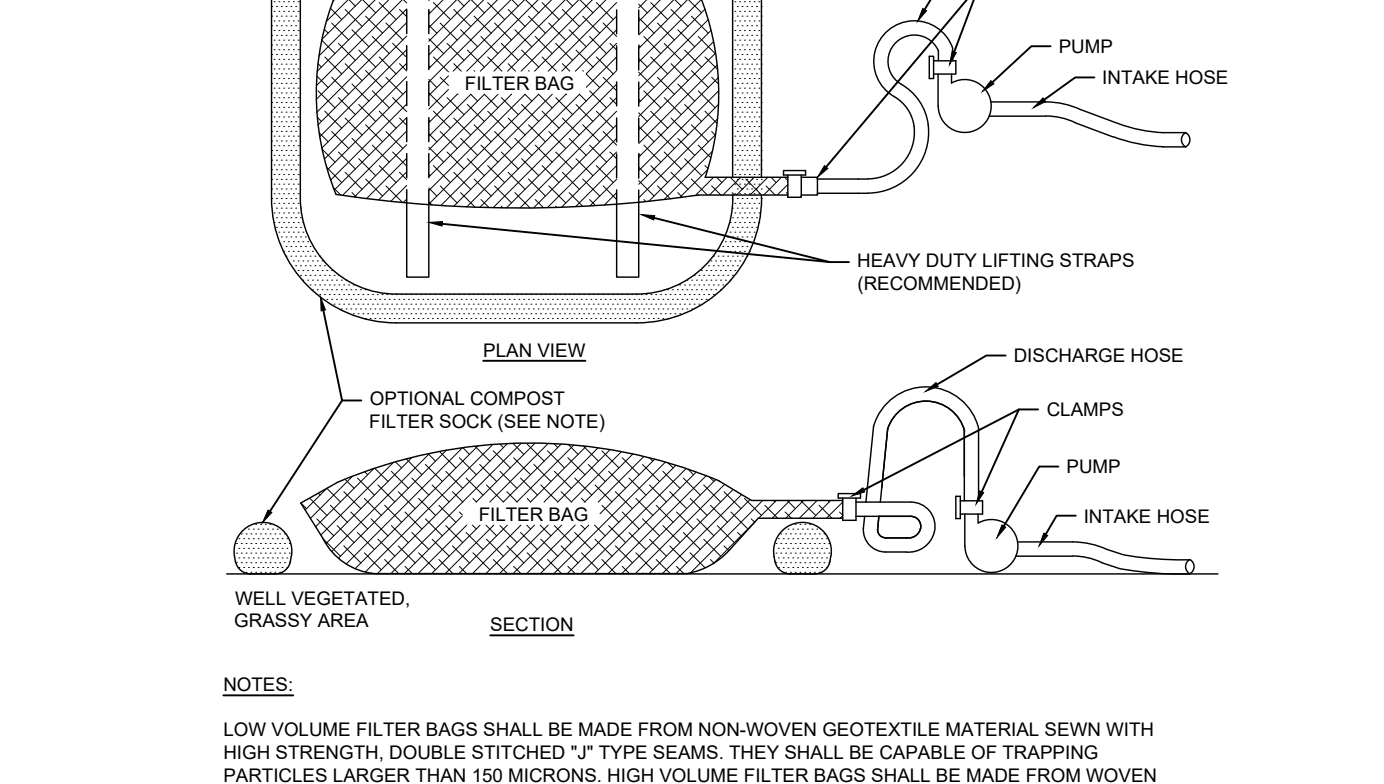


DESIGN NOTES:
 1. COMPOST SOCK SEDIMENT TRAP SHALL BE SIZED TO PROVIDE 2000 CUBIC FEET OF STORAGE CAPACITY FOR EACH ACRE TRIBUTARY TO THE TRAP.
 2. MINIMUM BASE WIDTH IS EQUAL TO THE HEIGHT.
 3. SEDIMENT ACCUMULATION SHALL NOT EXCEED 1/3 THE TOTAL HEIGHT OF THE TRAP.
 4. SOCKS SHALL BE OF LARGER DIAMETER AT THE BASE OF THE TRAP AND DECREASE IN DIAMETER FOR SUCCESSIVE LAYERS AS SHOWN ON THE PLAN VIEW.
 5. ENDS OF THE TRAP SHALL BE A MINIMUM OF 1 FOOT HIGHER IN ELEVATION THAN THE MID-SECTION, WHICH SHALL BE LOCATED AT THE POINT OF DISCHARGE.
NOTES:
 SOCK MATERIAL SHALL MEET THE STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST SOCK SEDIMENT TRAPS SHALL NOT EXCEED THREE SOCKS IN HEIGHT AND SHALL BE STACKED IN PYRAMIDAL FORM AS SHOWN ABOVE. MINIMUM TRAP HEIGHT IS ONE 24" DIAMETER SOCK. ADDITIONAL STORAGE MAY BE PROVIDED BY MEANS OF AN EXCAVATED SUMP 12" DEEP EXTENDING 1 TO 3 FEET UPSLOPE OF THE SOCKS ALONG THE LOWER SIDE OF THE TRAP.
 COMPOST SOCK SEDIMENT TRAPS SHALL PROVIDE 2000 CUBIC FEET STORAGE CAPACITY WITH 12" FREEBOARD FOR EACH TRIBUTARY DRAINAGE ACRE. (SEE MANUFACTURER FOR ANTICIPATED SETTLEMENT.)
 THE MAXIMUM TRIBUTARY DRAINAGE AREA IS 5.0 ACRES. SINCE COMPOST SOCKS ARE "FLOW-THROUGH," NO SPILLWAY IS REQUIRED.
 COMPOST SOCK SEDIMENT TRAPS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 THE HEIGHT OF THE SOCKS.
 PHOTODEGRADABLE AND BIODEGRADABLE SOCKS SHALL NOT BE USED FOR MORE THAN 1 YEAR.

**STANDARD CONSTRUCTION DETAIL #3-11
 COMPOST SOCK SEDIMENT TRAP**
 NOT TO SCALE



NOTES:
 SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
 PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
 SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
 BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
 THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.
**STANDARD CONSTRUCTION DETAIL #11-1
 EROSION CONTROL BLANKET INSTALLATION**
 NOT TO SCALE



PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4832	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
LOSS % RETAINED	ASTM D-4751	60 SIEVE

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:
 A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
 BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%. CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
 NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ, EV, OR IMPAIRED WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
 THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
 FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**STANDARD CONSTRUCTION DETAIL #3-16
 PUMPED WATER FILTER BAG**
 NOT TO SCALE

NO.	DATE	BY	DESCRIPTION
3	08/09/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
2	05/29/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

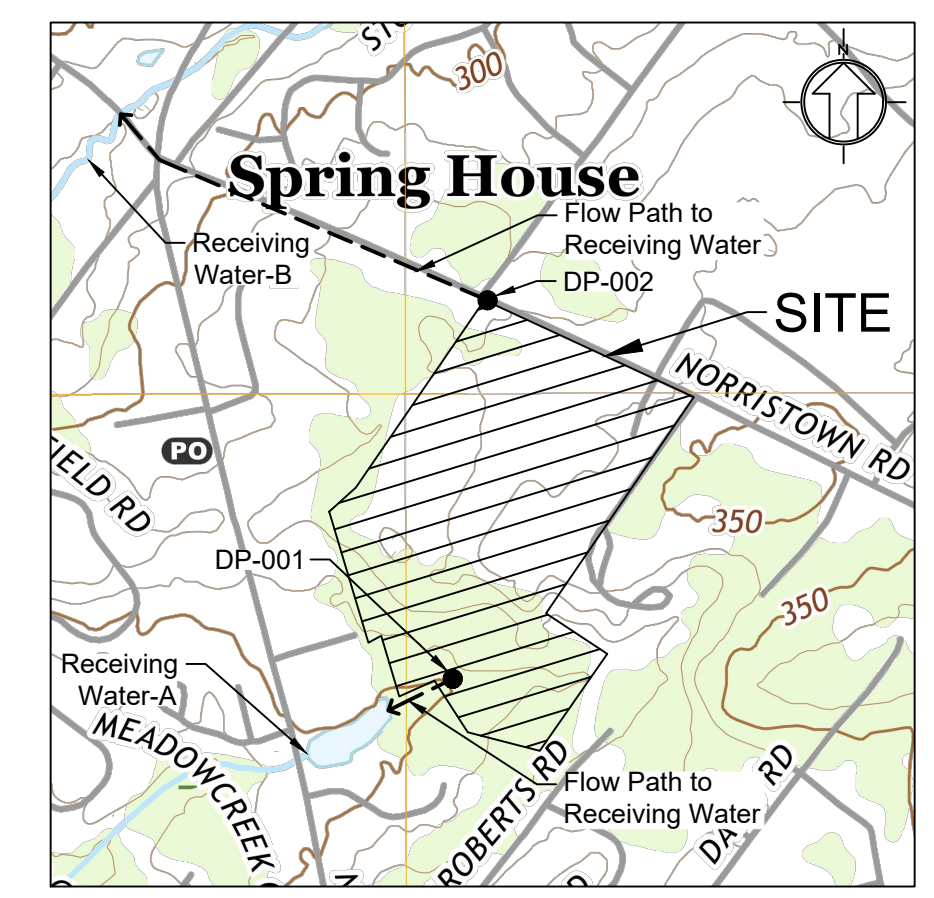
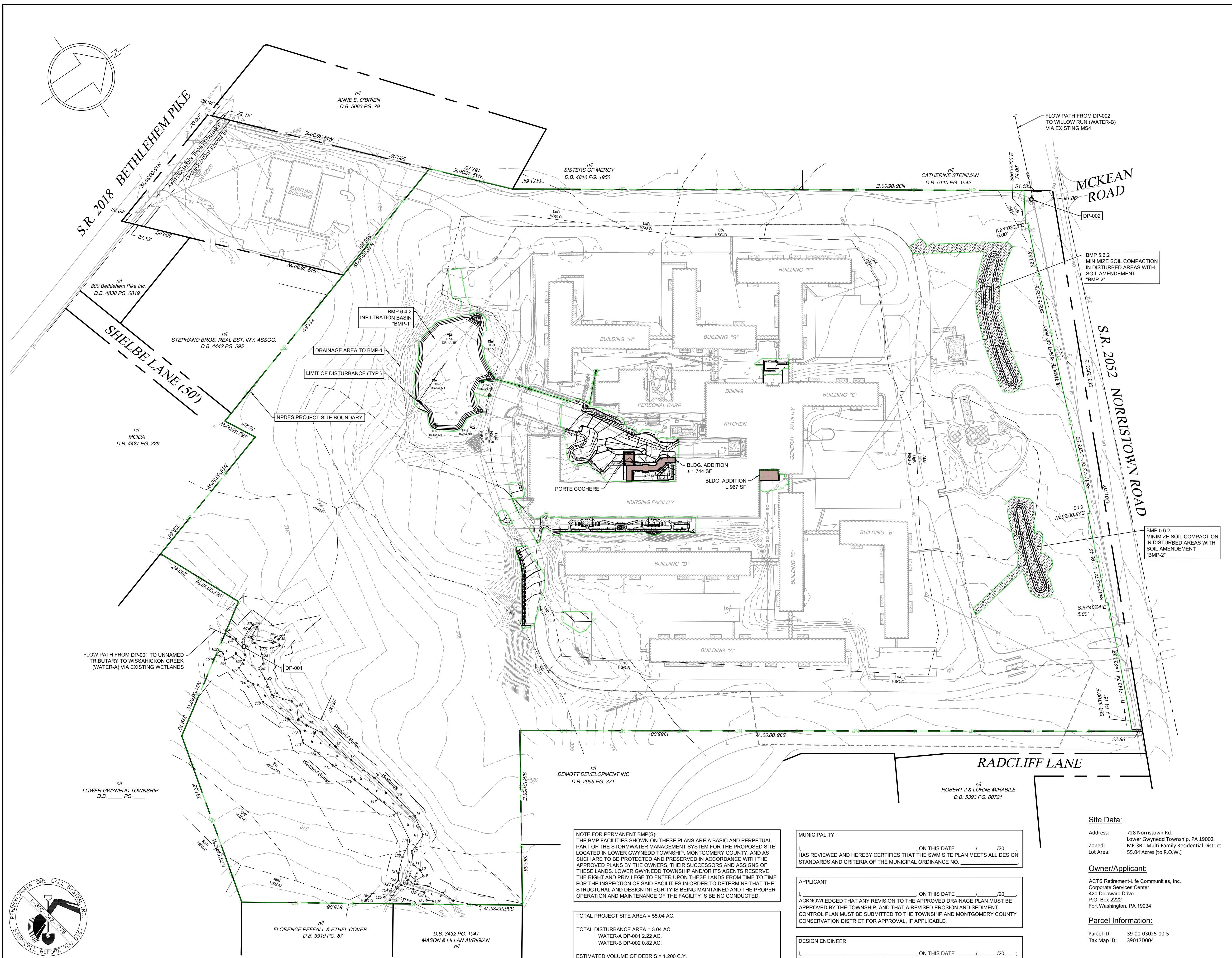
**Erosion and Sediment Control Details
 ACTS SPRING HOUSE ESTATES**
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

EUUSTACE
 ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

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DRAWN BY: YG
 CHECKED BY: MJE
 DATE: 11-20-2023
 DRAWING No.: D2373 04 19

X:\PROJECTS\237304 Acts - Spring House Estates\DRAWINGS\Land Development\12-PCSM overall.dwg May 9, 2024



Location Map
Scale: 1" = 1000'

Legend

	Property Line
	Right-of-Way Line
	Existing Building
	Existing Curb
	Existing Wetlands
	Existing Stream
	Existing Concrete
	Existing Brick Paver
	Existing Gravel
	Existing Contour
	Existing Index Contour
	Existing Sanitary Sewer Line
	Existing Water Line
	Existing Gas Line
	Existing Storm Line
	Existing Electric Line
	Proposed Building
	Proposed Sidewalk
	Proposed Curb
	Proposed Wall
	Proposed Gravel
	Proposed Soil Amendment
	Proposed Contour
	Proposed Index Contour
	Relocated Gas Line
	Relocated Water Line
	Proposed Storm Line
	Proposed Inlet and Yard Drain
	Soil Boundary
	BMP-1 Drainage Area
	Limit of Disturbance
	NPDES Project Site Boundary
	Discharge Point
	Testing Pit Location

NOTE FOR PERMANENT BMP(S):
THE BMP FACILITIES SHOWN ON THESE PLANS ARE A BASIC AND PERPETUAL PART OF THE STORMWATER MANAGEMENT SYSTEM FOR THE PROPOSED SITE LOCATED IN LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, AND AS SUCH ARE TO BE PROTECTED AND PRESERVED IN ACCORDANCE WITH THE APPROVED PLANS BY THE OWNERS, THEIR SUCCESSORS AND ASSIGNS OF THESE LANDS. LOWER GWYNEDD TOWNSHIP AND/OR ITS AGENTS RESERVE THE RIGHT AND PRIVILEGE TO ENTER UPON THESE LANDS FROM TIME TO TIME FOR THE INSPECTION OF SAID FACILITIES IN ORDER TO DETERMINE THAT THE STRUCTURAL AND DESIGN INTEGRITY IS BEING MAINTAINED AND THE PROPER OPERATION AND MAINTENANCE OF THE FACILITY IS BEING CONDUCTED.

TOTAL PROJECT SITE AREA = 55.04 AC.
TOTAL DISTURBANCE AREA = 3.04 AC.
WATER-A DP-001 2.22 AC.
WATER-B DP-002 0.82 AC.
ESTIMATED VOLUME OF DEBRIS = 1,200 C.Y.

Floodplain:
1. This property lies within Flood Hazard Zone-X (areas determined to be outside the 0.2% annual chance floodplain) as per the Federal Emergency Management Agency Flood Insurance Rate Map number 42091C0266G, dated March 2, 2016 for Montgomery County, community 420953, Panel No. 286 of 451.

MUNICIPALITY
I, _____, ON THIS DATE _____/_____/20____ HAS REVIEWED AND HEREBY CERTIFIES THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE MUNICIPAL ORDINANCE NO. _____

APPLICANT
I, _____, ON THIS DATE _____/_____/20____ ACKNOWLEDGED THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE TOWNSHIP AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE TOWNSHIP AND MONTGOMERY COUNTY CONSERVATION DISTRICT FOR APPROVAL, IF APPLICABLE.

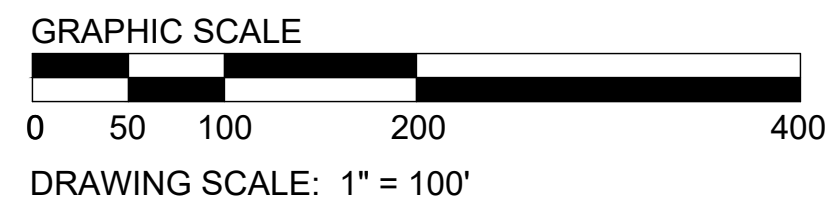
DESIGN ENGINEER
I, _____, ON THIS DATE _____/_____/20____ HEREBY CERTIFY THAT THIS DRAINAGE PLAN MEETS ALL REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S (DEP'S) REGULATIONS AND LOWER GWYNEDD TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

Stormwater Easement:
1. A blanket stormwater easement for the benefit of Lower Gwynedd Township is hereby offered for dedication to Lower Gwynedd Township or its assigns.

Site Data:
Address: 728 Norristown Rd.
Lower Gwynedd Township, PA 19002
MF-38 Multi-Family Residential District
Zoned: MF-38
Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:
ACTS Retirement-Life Communities, Inc.
Corporate Services Center
420 Delaware Drive
P.O. Box 2222
Fort Washington, PA 19034

Parcel Information:
Parcel ID: 39-00-03025-00-5
Tax Map ID: 390170004



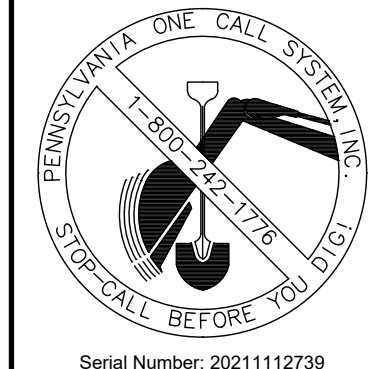
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1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

Overall Post Construction Stormwater Management Plan
ACTS SPRING HOUSE ESTATES
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

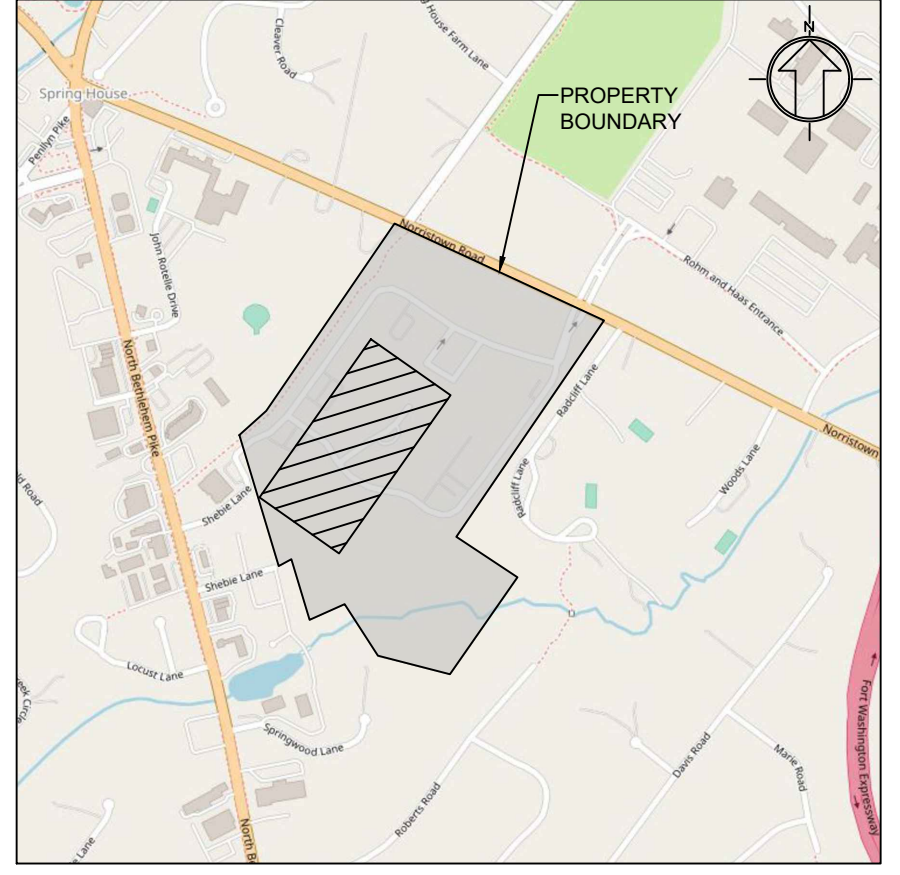
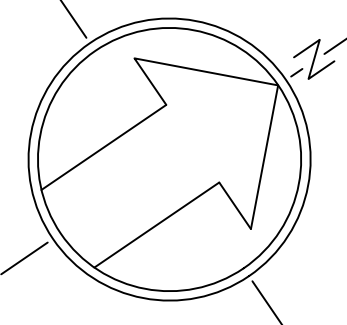
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DRAWN BY: YG
CHECKED BY: MJE
DATE: 11-20-2023
DRAWING No: D 2373 04 20



Act 287
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.



Location Map
Scale: 1" = 1000'

BMP 6.4.2
INFILTRATION BASIN
"BMP-1"

REFER TO SHEET 25 OF 34
FOR BASIN VEGETATION

TP-4
(DR-4A, 4B)

TP-1
(DR-1A, 1B)

TP-5
(DR-5A, 5B)

TP-2
(DR-2A, 2B)

TP-3
(DR-3A, 3B)

Existing 14' x 29' Sidewalk
Elev. 328.43

Legend			
	Existing Building		Proposed Curb
	Existing Curb		Proposed Wall
	Existing Concrete		Proposed Gravel
	Existing Brick Paver		Proposed Soil Amendment
	Existing Gravel		Proposed Contour
	Existing Contour		Proposed Index Contour
	Existing Index Contour		Relocated Gas Line
	Existing Sanitary Sewer Line		Relocated Water Line
	Existing Water Line		Proposed Storm Line
	Existing Gas Line		Proposed Inlet and Yard Drain
	Existing Storm Line		Soil Boundary
	Existing Light Pole		Limit of Disturbance
	Existing Inlet and Yard Drain		Testing Pit Location
	Existing Utility Pole		
	Existing Fire Hydrant		
	Existing Manhole		
	Proposed Building		
	Proposed Sidewalk		

Site Data:

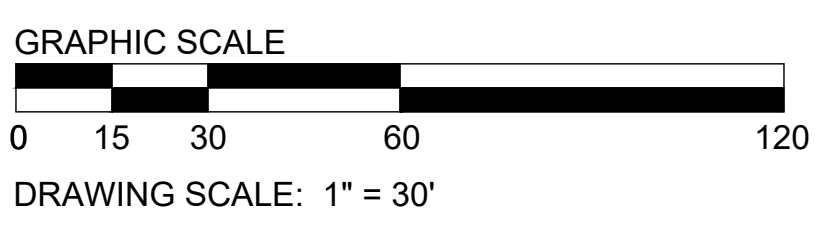
Address: 728 Norristown Rd.
Lower Gwynedd Township, PA 19002
Zoned: MF-3B - Multi-Family Residential District
Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:

ACTS Retirement-Life Communities, Inc.
Corporate Services Center
420 Delaware Drive
P.O. Box 2222
Fort Washington, PA 19034

Parcel Information:

Parcel ID: 39-00-03025-00-5
Tax Map ID: 390170004



3	08/09/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
2	05/29/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTED TO TOWNSHIP.

Post Construction Stormwater Management Plan - A

ACTS SPRING HOUSE ESTATES

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

MARTIN J. EUSTACE, III
307 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090
Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

Martin J. Eustace, III, P.E.
PA Lic. PE048891E

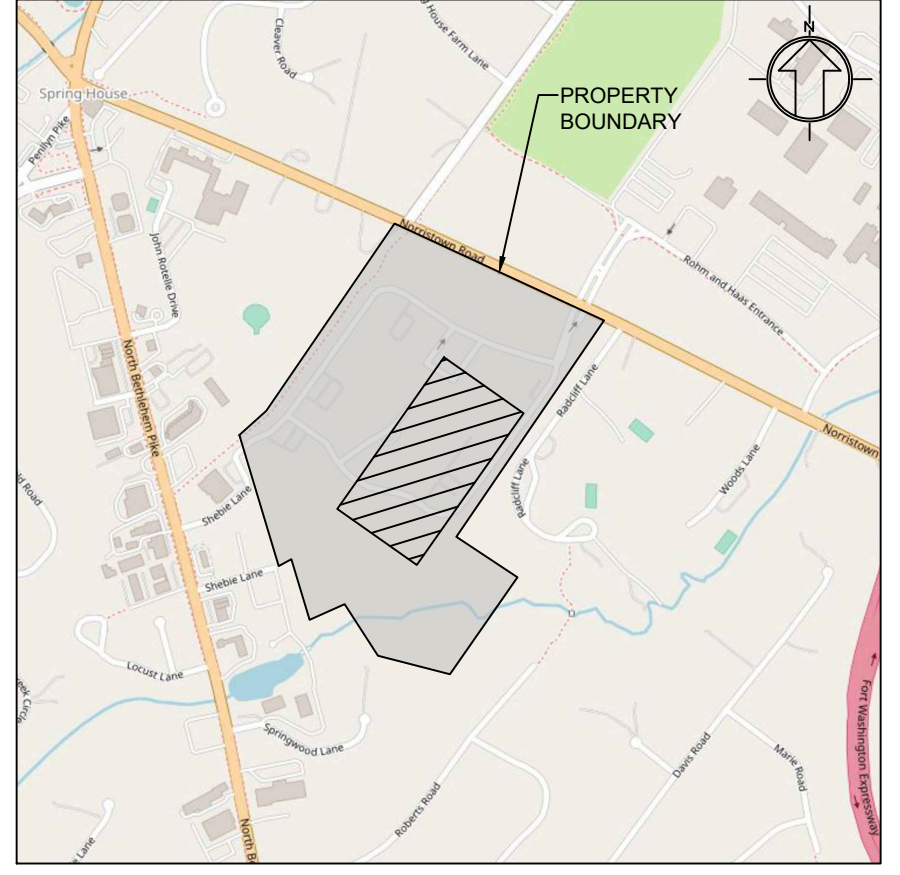
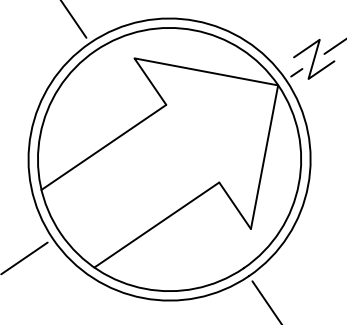
DRAWN BY	YG
CHECKED BY	MJE
DATE	11-20-2023
DRAWING No.	D 2373 04 21

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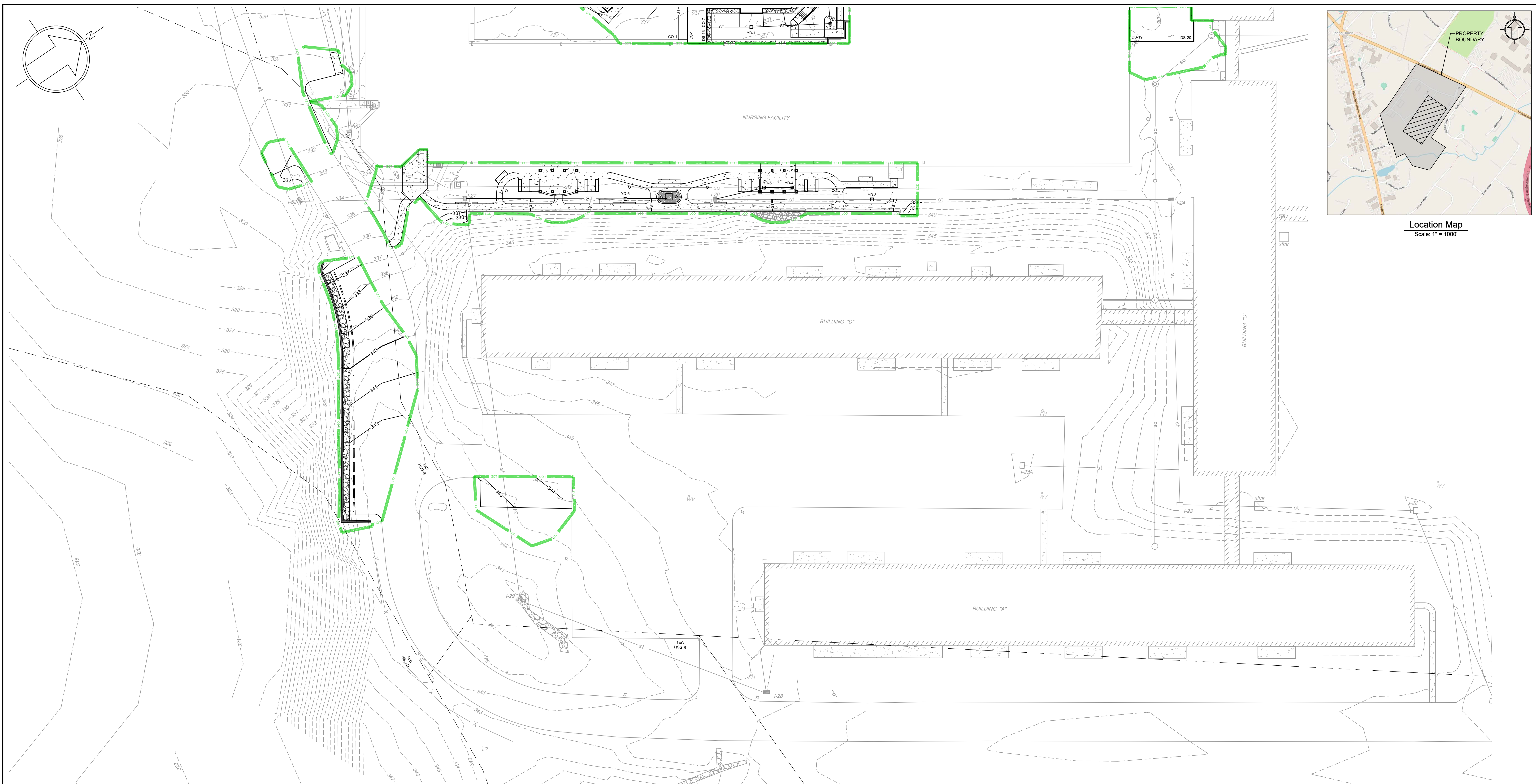


Serial Number: 2021112739

Act 287
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.



Location Map
Scale: 1" = 1000'



Legend

	Existing Building		Proposed Curb
	Existing Curb		Proposed Wall
	Existing Concrete		Proposed Gravel
	Existing Brick Paver		Proposed Soil Amendment
	Existing Gravel		Proposed Contour
	Existing Contour		Proposed Index Contour
	Existing Index Contour		Relocated Gas Line
	Existing Sanitary Sewer Line		Relocated Water Line
	Existing Water Line		Proposed Storm Line
	Existing Gas Line		Proposed Inlet and Yard Drain
	Existing Storm Line		Soil Boundary
	Existing Electric Line		Limit of Disturbance
	Existing Light Pole		Testing Pit Location
	Existing Inlet and Yard Drain		
	Existing Utility Pole		
	Existing Fire Hydrant		
	Existing Manhole		
	Proposed Building		
	Proposed Sidewalk		

Site Data:

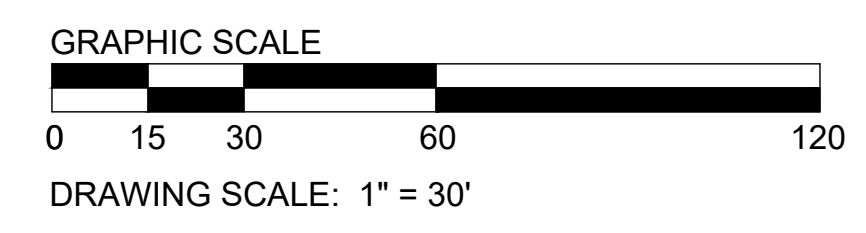
Address: 728 Norristown Rd.
Lower Gwynedd Township, PA 19002
Zoned: MF-3B - Multi-Family Residential District
Lot Area: 55.04 Acres (to R.O.W.)

Owner/Applicant:

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Corporate Services Center
420 Delaware Drive
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Fort Washington, PA 19034

Parcel Information:

Parcel ID: 39-00-03025-00-5
Tax Map ID: 390170004



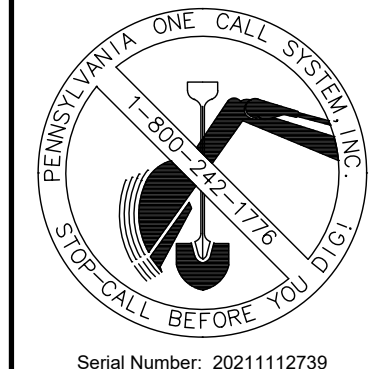
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2	05/29/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

Post Construction Stormwater Management Plan - B
ACTS SPRING HOUSE ESTATES
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

EUSTACE
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS
307 Easton Road
Willow Grove, PA 19090
Tel: (215) 348-8757
Fax: (215) 348-8759
www.eustaceeng.com

DRAWN BY	YG
CHECKED BY	MJE
DATE	11-20-2023
DRAWING No.	D 2373 04 22

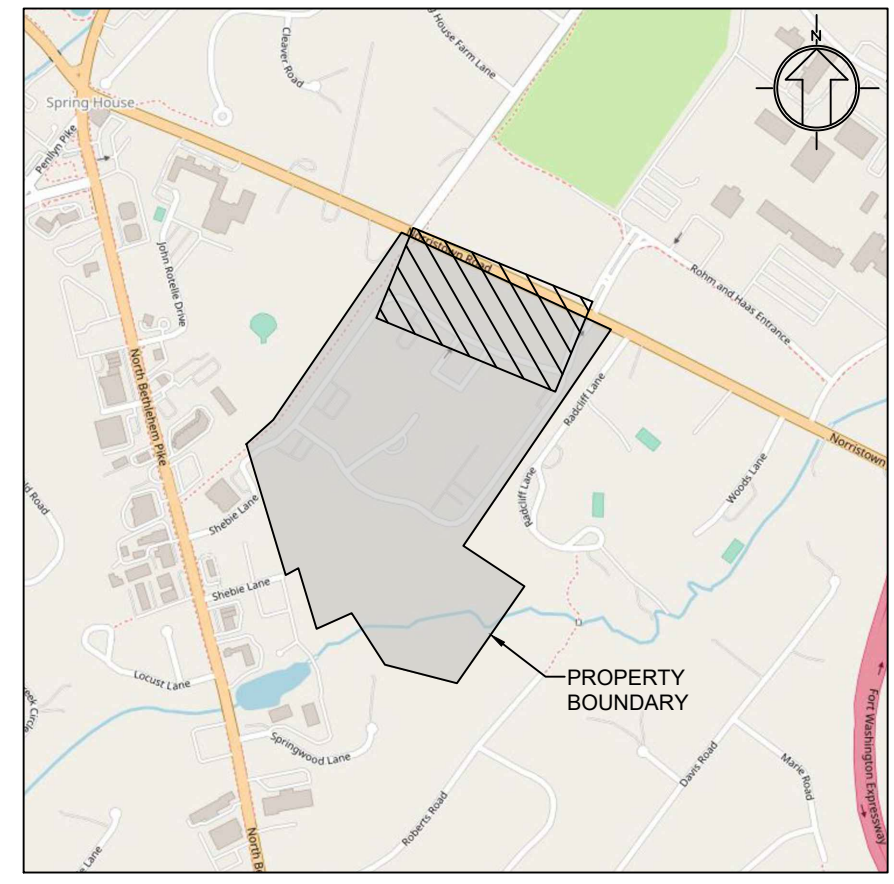
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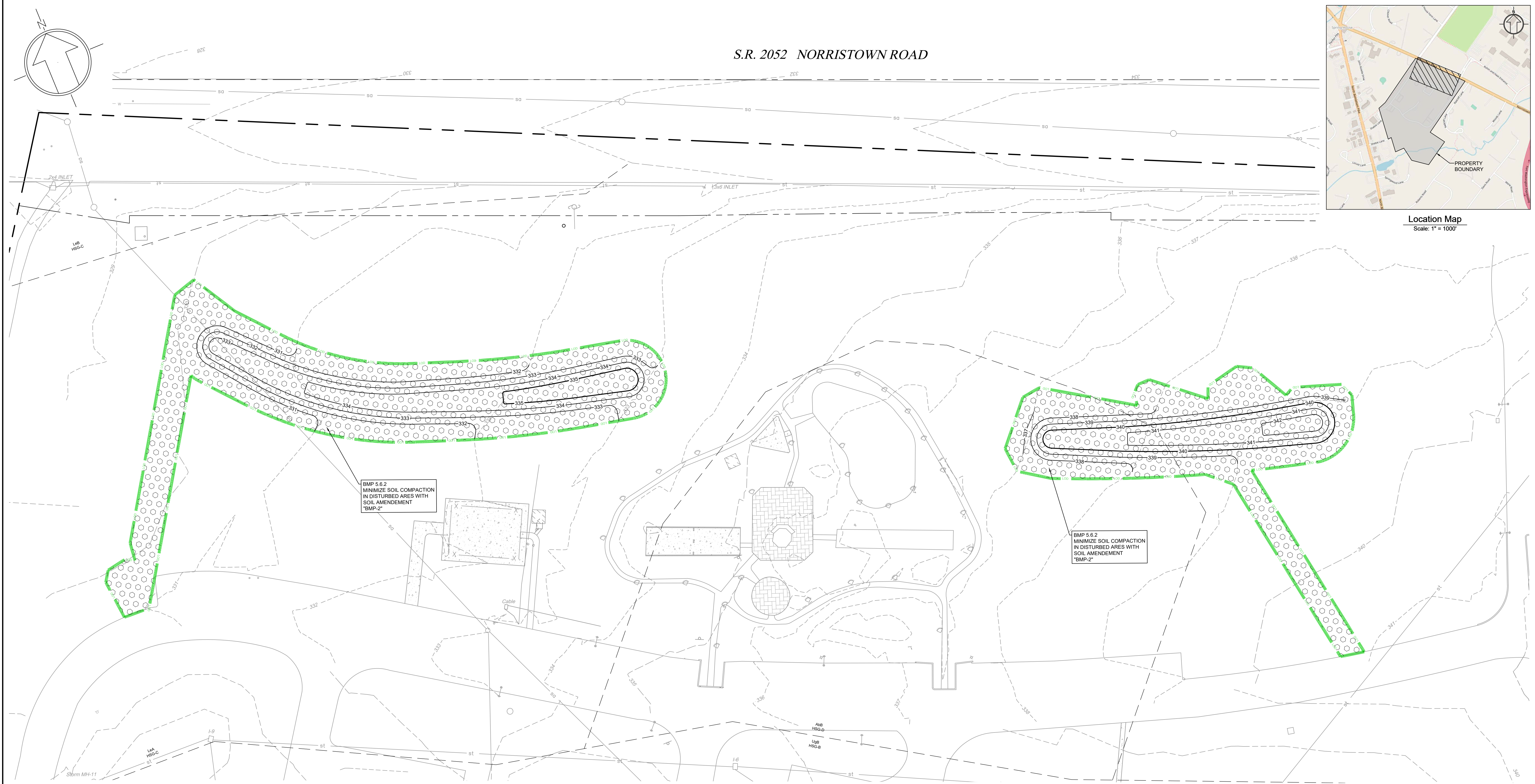
Serial Number: 2021112739

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S.R. 2052 NORRISTOWN ROAD



Location Map
Scale: 1" = 1000'



BMP 5.6.2
MINIMIZE SOIL COMPACTION
IN DISTURBED AREAS WITH
SOIL AMENDMENT
"BMP-2"

BMP 5.6.2
MINIMIZE SOIL COMPACTION
IN DISTURBED AREAS WITH
SOIL AMENDMENT
"BMP-2"

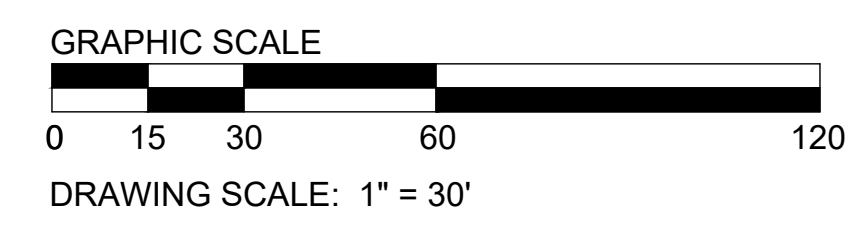
Legend

	Existing Building		Proposed Curb
	Existing Contour		Proposed Wall
	Existing Sanitary Sewer Line		Proposed Gravel
	Existing Water Line		Proposed Soil Amendment
	Existing Storm Line		Proposed Index Contour
	Existing Electric Line		Relocated Gas Line
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	Proposed Building		Testing Pit Location
	Proposed Sidewalk		

Site Data:
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Zoned: MF-3B - Multi-Family Residential District
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1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

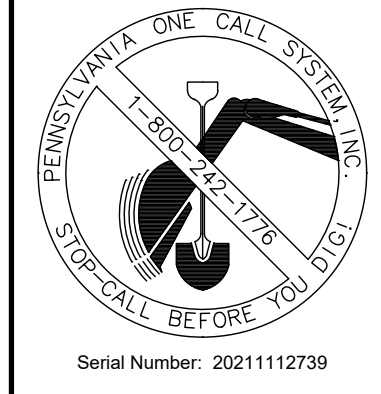
Post Construction Stormwater Management Plan - C
ACTS SPRING HOUSE ESTATES
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

EUSTACE
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS
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Martin J. Eustace, III, P.E.
Martin J. Eustace, III, P.E.
PA Lic. PE048891E

DRAWN BY	YG
CHECKED BY	MJE
DATE	11-20-2023
DRAWING No.	D 2373 04 23

X:\PROJECTS\237304 Acts - Spring House Estates\DRAWINGS\Land Development\13c-PCSM.dwg November 7, 2023



Act 287
ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.

GENERAL PCSM PLANNING & DESIGN NOTES

- 25 Pa. Code § 102.8.(b)
1. The proposed improvements will preserve the integrity of stream channels and maintain and protect the physical, chemical and biological and chemical qualities of the received stream by mimicking existing drainage patterns...
2. Postdeveloped runoff peak rates shall be prevented to have an increase through the use of the infiltration basin and restoring existing land covers.
3. Postdeveloped runoff volume shall be minimized through the use of the infiltration basin and soil amendments.
4. The applicant has kept the proposed parking counts to the minimum anticipated for the use and located the improvements away from the existing riparian areas in an effort to minimize the overall impervious foot print.
5. The proposed stormwater management facility was designed in such manner to minimize changes to existing drainage patterns as noted above, thereby maximizing the protection of existing drainage features and existing vegetation.
6. The proposed improvements were located in such a manner to minimize disturbance to the existing sensitive areas, minimize land clearing and minimize grading.
7. Soil compaction will be minimized by limiting construction traffic on non-paved areas, use of low-impact construction methods, and by protective fencing.
8. The applicant is incorporating minimized disturbance areas as nonstructural BMPs to minimize and prevent changes in stormwater runoff.

PCSM PLAN PREPARER

25 Pa. Code § 102.8.(e)
Prepared by: Martin J. Eustace, III, P.E.
Experience: Since 1988 has prepared numerous sedimentation plans for sites up to 700 acres, located in Bradford, Bucks, Chester, Montgomery, Tioga & Philadelphia Counties.

EXISTING SITE & PROPOSED DEVELOPMENT

25 Pa. Code § 102.8.(f)(1),(3),(12)
The project site is located in the Wissahickon Creek Watershed. It consists of retirement centers and homes, nursing home, associated surface parking, open spaces, woodlands, wetlands, and stream. The existing site areas to be developed contain parking areas, drive aisles, open spaces, and detention basin. The majority of the project site slopes from north to south towards the existing surface water (DP-001). The northern open space slopes from southeast to northwest along Norrisstown Road and drains to existing municipal storm sewer (DP-002).
No naturally occurring geologic/soil conditions that have the potential to cause pollution are anticipated. The contractor shall coordinate with the geotechnical engineer should any geologic or soil conditions that have the potential to cause pollution are encountered.
The site has been used as retirement centers and homes and nursing home since 1974. Public water and sewer are located within Norrisstown Road.
The proposed improvements include two (2) building additions (+/- 2,711 SF) for the nursing facility, one (1) porte cochere, parking stalls, drive aisles, sidewalks, gardens, landscaping, regrading, storm sewers, and modifying the existing detention basin into an infiltration basin. Access to the site shall be via the entrance off Norrisstown Road.

PROPOSED STORMWATER MANAGEMENT

25 Pa. Code § 102.8.(i)(3)
Most of the runoff from the proposed improvements will be conveyed via storm sewers or sheet flow to the infiltration basin BMP-1 then via outlet culvert to the discharge point (DP-001). Runoff from undisturbed area will be conveyed via street flow or shallow concentrated flow through the existing wooded area to DP-001. Runoff from the regraded area in the northern open space will be conveyed via sheet flow or shallow concentrated flow to the existing municipal storm sewer within Norrisstown Road (DP-002).

The infiltration basin BMP-1 has been designed to reduce the post-developed runoff generated from the disturbed area to the Township allowable peak rates through the use of culvert and outlet structure. Runoff from the undisturbed/off-site area will be safely conveyed through the basin. The basin will discharge via an existing outlet pipe to the existing wetland then to the receiving surface water (Water-A Unnamed Tributary to Wissahickon Creek). PADEP volume reduction, peak rate control, and water quality requirements are being met through the infiltration basin.

Soil amendments will be installed at the regraded area in the northern open space. The area will be restored to the same previous ground cover as existing. The runoff will discharge to the municipal storm sewer then eventually into the receiving surface water (Water-B Willow Run). PADEP volume reduction and water quality requirements are met through the soil amendments. Peak rate control is not required by the Township for this area as there is no riparian improvements in the area and the earth disturbance is associated with constructing landscape berms.

To minimize thermal impacts to receiving waters, the existing wooded areas will remain, ground level impervious cover is being kept to the minimum required by the use, and proposed impervious surfaces shall be directed to the pervious basin where runoff can be cooled prior to discharge. Efforts during construction to reduce thermal impacts include use of temporary stabilization and regular removal of sediment from temporary facilities.

SURFACE WATERS

- 25 Pa. Code § 102.8.(f)(5)
1. Receiving Water A: Unnamed Tributary to Wissahickon Creek-259600218
The designated use of the receiving water under 25 Pa. Code Chapter 93 is TSF (Trout Stocking) and MF (Migratory Fishes). The receiving water is neither HQ (High Quality) nor EV (Exceptional Value). The receiving water is impaired for siltation (Category 4a) and flow regime modification (Category 4c). The water has an established TMDL for siltation in the report Total Maximum Daily Load For Sediment and Nutrients Wissahickon Creek Watershed, dated October 9, 2003. The water is identified as Tributary Downstream of Willow Run - East, Segment ID 971217-1015-ACE, Stream Code 885 in the report.
2. Receiving Water B: Willow Run-25960082
The designated use of the receiving water under 25 Pa. Code Chapter 93 is TSF (Trout Stocking) and MF (Migratory Fishes). The receiving water is neither HQ (High Quality) nor EV (Exceptional Value). The receiving water is impaired for siltation (Category 4a) and flow regime modification (Category 4c). The water has an established TMDL for siltation in the report Total Maximum Daily Load For Sediment and Nutrients Wissahickon Creek Watershed, dated October 9, 2003. The water is identified as Willow Run - East, Segment ID 971217-1015-ACE, Stream Code 885 in the report.

RECYCLING OR DISPOSAL OF MATERIALS

25 Pa. Code § 102.8.(f)(11)
The operator shall remove from the site, recycle or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq., and 287.1 et seq.
Post-construction project wastes from PCSM BMPs include accumulated sediment which should be disposed of properly on-site, debris and trash from PCSM BMPs which shall be collected and placed in containers. The containers will be emptied as necessary by a contract trash disposal service and hauled away from the site.
RIPARIAN FOREST BUFFER
25 Pa. Code § 102.8.(f)(14)
Wetland boundaries shown on E&S plans are from Record Plan, Job 187-021.01, Drawing No. S0102, Sheet 1 of 16, prepared for Spring House Estates, prepared by Chambers Associates, Inc. (619 Conestoga Road, Villanova, PA 19085), dated February 2, 1999, last revised March 31, 2000.
The area designated as protected riparian areas along the existing stream/wetland within the NPDES project site area is located outside the limit of disturbance. Riparian buffer offsetting is not necessary for this project.

NET CHANGE IN VOLUME AND RATE

Table with 3 columns: Runoff Type, Predeveloped, Postdeveloped. Includes sub-tables for Peak Rate Control (CFS) [2] and DP-001 On-Site & Off-Site.

[1] Refer to DEP PCSM Spreadsheet - Quality Worksheet for runoff volume from undisturbed areas and outflow volume from BMP-1.
[2] Peak rate control per DEP requirements.

OVERALL SITE CONSTRUCTION SEQUENCE

25 Pa. Code § 102.8.(f)(7)
All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed in compliance with Chapter 102 regulations before any following stage is initiated. Clearing and grubbing shall be limited only to those areas described in each stage.
At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the E&S plan preparer, the licensed design professional, and a representative of the Montgomery County Conservation District to schedule an on-site meeting.
At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System Incorporated at 1-800-242-1776 for buried utilities locations. The contractor shall verify locations and depths of all existing utilities prior to start of work.

Before implementing any revisions to the approved erosion and sediment control plan, or revisions to other plans which may affect the effectiveness of the approved E&S control plan(s), the operator must receive the approval of the revisions from the Montgomery County Conservation District and Township.

Water pumped from work areas shall be treated for sediment removal prior to discharging to a surface water. The operator is responsible for ensuring that any fill or borrow sites used for soil import/export have all applicable approved permits and/or E&S plans.
A designated Licensed Professional shall be present during all critical stages of construction. See BMP Construction sequence on PCSM plan.

Cessation of activity for 4 days or longer requires temporary stabilization. No more than 15,000 square feet of disturbed area shall reach final grade before initiating seeding and mulching operations. Stabilization of fill slopes shall be in 15-25 foot vertical increments.

- 1. Stake out the limit of disturbance. Install perimeter compost filter sock, sock traps, tree protection fencing, and inlet protection on any existing inlets as shown on plans.
2. Construction vehicles shall enter or exit the site via the existing paved driveway at Norrisstown Road. Existing paved areas shall be swept regularly throughout the day to prevent soil and sediment from being tracked into undisturbed areas and onto Norrisstown Road. The sediment shall be recycled or disposed of per notes on this sheet. Dust control shall be provided as needed.
3. Upon the installation or stabilization of all perimeter sediment control BMPs and at least 48 hours prior to proceeding with the bulk earth disturbance activities, the operator shall provide notification to the Montgomery County Conservation District, Township, and Township Engineer.
4. Strip and stockpile topsoil from areas of proposed building additions, parking, and courtyard. Surround stockpile with compost filter sock and stabilize immediately with temporary seed.
5. Saw cut existing paving along proposed paving. Remove existing asphalt, concrete, and miscellaneous existing features.
6. Rough grade in the area of improvements. Immediately install stone subbase for paved areas. Stabilize disturbed areas with permanent seeding and mulch and/or place erosion control blankets on all slopes 3:1 or steeper along with permanent lining as noted on plans.
7. Begin retaining wall construction.
8. Relocate gas line. Construct new inlets, yard drains, and storm pipes. Install inlet protection immediately utilizing appropriate details.
9. Begin building foundation and walls.
10. Construct underground site utilities including new water and electric line as necessary.
11. Construct curbing and asphalt base course for driveways and parking areas.

12. CRITICAL STAGE
Strip topsoil from designated areas for use of landscape berms construction shown on plan. Construct infiltration basin BMP-1. Install all rip rap protection at endwalls. Temporarily divert runoff around upstate sides of the infiltration basin to protect from sedimentation. BMP(s) shall be constructed with weather in mind and in such a manner to limit sedimentation within the basin stone/soil media areas while the excavation is open. A pump water filter bag shall be used as necessary.

13. Complete building construction. Install fencing, gates, lighting, and electrical work.
14. Perform final site grading where necessary. Install asphalt wearing course and concrete sidewalks.

15. CRITICAL STAGE
Install lawns, landscape beds, permanent seeding, landscaping, and mulch. Install landscape berms and soil amendments at the northern open space. A licensed professional shall be present to oversee topsoil preparation.
16. Remove any accumulated sediment from compost filter socks and stabilize elsewhere on site.

17. Contact Montgomery County Conservation District once 70% uniform perennial cover is reached and before any BMPs are removed.

18. Remove temporary erosion control measures after all disturbed areas are stabilized with a minimum of 80% vegetative cover. Re-stabilize all areas disturbed due to the removal of temporary erosion control facilities.

19. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.

20. Within 30 days after the completion of earth disturbance activities authorized by the permit, including the permanent stabilization of the site and proper installation of PCSM BMPs in accordance with the approved PCSM plan, or upon submission of the NOI if sooner, the permittee shall file with the department or authorized conservation district a stated signed by a licensed professional and the permittee certifying that work has been performed in accordance with the terms and conditions of this permit and approved E&S and PCSM Plans. See BMP Construction sequence on a PCSM Plan for critical stages.

INFILTRATION BASIN BMP-1 CONSTRUCTION SEQUENCE (CRITICAL STAGE)

- 25 Pa. Code § 102.8.(f)(7)
1. The contractor shall review the geotechnical summaries prepared during the development of the site design documents prior to beginning any excavation or earthwork. The contractor shall use lightweight construction equipment and operate outside of the basin footprint whenever possible to prohibit excessive compaction of the basin area.
2. Install outlet device. Connect existing discharge pipe to the outlet device.
3. Install inlet protection and BMPs as needed and prevent sediment laden water from entering inlets/pipes.
4. Excavate to bottom of the underdrain pipe trench. Install clean stone and underdrain pipe.
5. Excavate to bottom of soil media. Excavation shall be performed using light weight equipment in order to promote infiltration within native soils.
6. If any perched water is encountered, it shall be removed by temporary pumping. Pumped water shall be discharged through an approved pumped filter bag and located per PA DEP requirements. Pumping shall be performed under the supervision of a geotechnical engineer. The BMP area shall be dry prior to placing soil media. A licensed professional or designee shall be present.
7. Place planting soil mix to finished elevation. Perform finish grading within the earth disturbance area. Construction equipment shall not enter areas where soil media has been placed to avoid compaction. Soil media must remain free of sediment. If sediment enters the soil, the contractor shall remove the sediment and replace with new soil media.
8. Install permanent seeding per appropriate seed mix or plant per landscape drawings.
9. Do not remove inlet protection or other erosion and sediment control measures until the site is fully stabilized.

SOIL AMENDMENT BMP-2 CONSTRUCTION SEQUENCE (CRITICAL STAGE)

- 25 Pa. Code § 102.8.(f)(7)
1. Prior to construction, area with proposed soil amendment must be staked out and identified with signage. The area should be protected from excessive sediment and stormwater loads. The contractor shall use lightweight construction equipment and operate outside of the soil amendment area wherever possible to prohibit excessive compaction of the area.
2. Complete rough grading to within six inches (6") of final grade.
3. Loosen subsoil to a depth of twenty inches (20") and mix in amended soils into top six inches (6") of top of loosened soil.
4. If using in situ soils, add soil amendments at rates specified on PCSM Detail sheet.
5. Install amended soils to finished grades.

INFILTRATION TESTING SUMMARY TABLE

Table with 7 columns: Infiltration Test Number, Ground Surface Elevation (ft.), Infiltration Depth (ft.), Infiltration Test Elevation (ft.), Test Interval (min.), Final Drop in Water Level (in.), Infiltration Rate (in./hr.). Rows include DR-1A through DR-6B.

* Testing results discarded.

Geometric Mean = 0.58 in./hr.
Design Rate = 0.29 in./hr.

SOILS TYPES, DEPTHS, SLOPES, LIMITATIONS, & RESOLUTIONS

Large table with columns: MAP UNIT SYMBOL, MAP UNIT NAME, HSG, DEPTH, SLOPE, HYDRIC SOIL RATING, and various soil characteristics (CUTBANKS CAVE, CORROSIVE TO CONCRETE/STEEL, DROUGHTY, EASILY ERODIBLE, FLOODING, DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE, HYDRIC/OLIC INCLUSIONS, LOW STRENGTH/LANDSLIDE PRONE, SLOW PERCOLATION, POOR SOURCE OF TOPSOIL, FROST ACTION, SHRINK-SWELL, POTENTIAL SINKHOLE, PONDING, WETNESS). Rows include Abb, Lab, LeA, LeB, Ugb, Bo, CA, C1A, C1B, C1C, C1D, LAC, ReB, R1B, U1B, C1A, C1B, C1C, C1D, R1B, U1B.

Limitation: Cutbanks cave, low strength - cutbanks have potential to cave and many soils are low strength.
Resolution: Contractor shall be aware of potential issues and follow OSHA guidelines for open trenching. Low soil strength is not a concern due to the nature of the proposed project. Utility trenching will not be adversely affected by poor soil strength.
Limitation: Corrosive to steel - soils corrosive to steel.
Resolution: If steel pipe is used rust protection by coatings and/or use of cathodic protection is recommended.
Limitation: Droughty - soils exhibiting a poor moisture-holding capacity, which may limit the vegetative stabilization ability of the soil.
Resolution: For droughty soils, contractor to refer to Table 11-3: Plant Tolerances of Soil Limitation Factors to select appropriate vegetation. Erosion control blankets should also be considered in soil conditions that make revegetation difficult (e.g., droughty). When installed properly, erosion control blankets can help hold soil particles in place and retain soil moisture, promoting seed germination.
Limitation: Easily erodible.
Resolution: Special attention shall be given to maintaining existing vegetation in easily erodible soils, to the extent possible. Easily erodible soils within 50 feet of surface water should be blanketed. Wherever erodible soils are present, or where there is not a sufficient vegetative filter strip between the waterbar and a receiving surface water, the waterbar should be provided with a temporary protective liner.
Limitation: High water table, potentially hydric - high water table is to be expected and many of the soils are potentially hydric.
Resolution: Follow E&S plan(s) regarding pumping and dewatering. Discharge of sediment laden water is prohibited unless without first passing through a "Pumped Water Filter Bag".
Limitation: Hydric / hydric inclusions - a soil that is saturated, flooded, or ponded long enough during the growing season to develop anaerobic-conditions. When such a soil is in an area that has hydrophytic vegetation and wetland hydrology, a wetland is present.
Resolution: Hydric soils that are delineated wetlands, should be avoided to the extent possible. Staging areas should be located 50 feet from the edge of wetland. Movement of vehicles across wetland must be minimized. Where vehicles need to cross wetlands, the use of temporary timber mats shall be used due to the potential for rutting. Trench plugs shall be installed to prevent the trench from draining the wetlands or changing the hydrology.
Limitation: Limited available topsoil.
Resolution: Any excavated topsoil will be stockpiled and reused. If necessary, additional topsoil will be brought on-site.
Limitation: Frost action - the likelihood of upward or lateral expansion of the soil caused by the formation of segregated ice lenses, or frost heave, and the subsequent collapse of the soil and loss of strength on thawing, which can damage roads, buildings, and other structures as well as plant roots.
Resolution: Precautions are needed to prevent damage to roadways.
Limitation: Wet soils - some soils may exhibit a high water table or ponding.
Resolution: If high water table is encountered, trench dewatering will be employed.

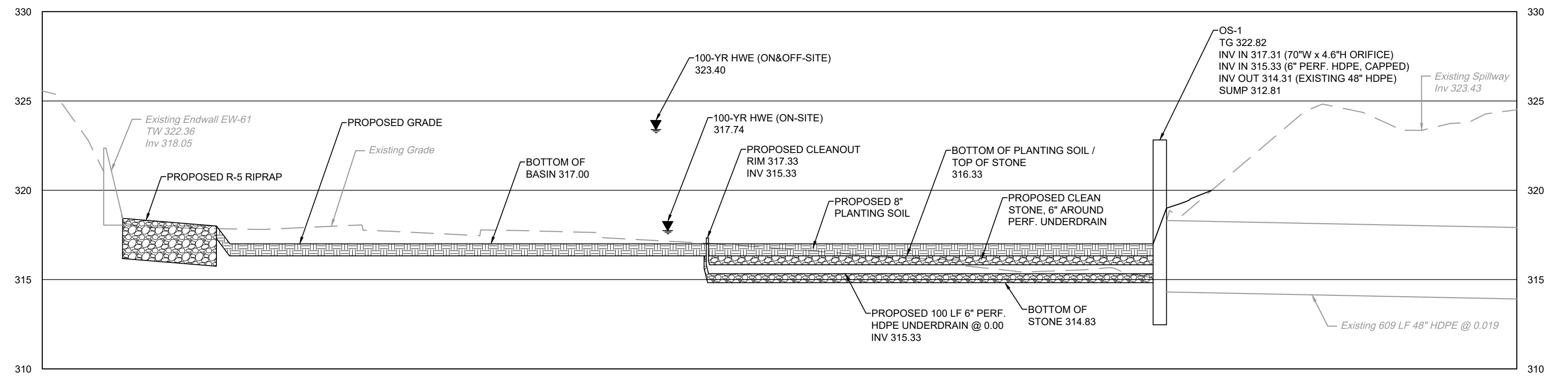
STORMWATER CONTROL AND BMP OPERATION AND MAINTENANCE

25 Pa. Code § 102.8.(f)(10)
During the construction activities and until the site is stabilized, all BMPs must be inspected and maintained properly by the contractor. All preventative and remedial maintenance work, including clean-out, repair, replacement, re-grading, re-seeding, re-mulching, and re-netting must be performed immediately and in accordance with these procedures, plans, and details. Any areas disturbed during maintenance must be stabilized immediately in accordance with the general conservation notes and specifications.
A written inspection log shall document each inspection, all BMP repairs, all BMP maintenance activities, how access to the PCSM BMPs will provide, and date, time, and name of the person conducting the inspection. The inspection log must be kept on site at all times and made available to the District or State upon request.

Table with 3 columns: Inspection and Maintenance Activity, Frequency, Failure Indicators. Rows include BMP 6.4.2 - Infiltration Basin "BMP-1", Inlets and Manholes - Existing Inlets & Yard Drains (Typ), and BMP 5.6.2 - Minimize Soil Compaction in Disturbed Area with Soil Amendment "BMP-2".

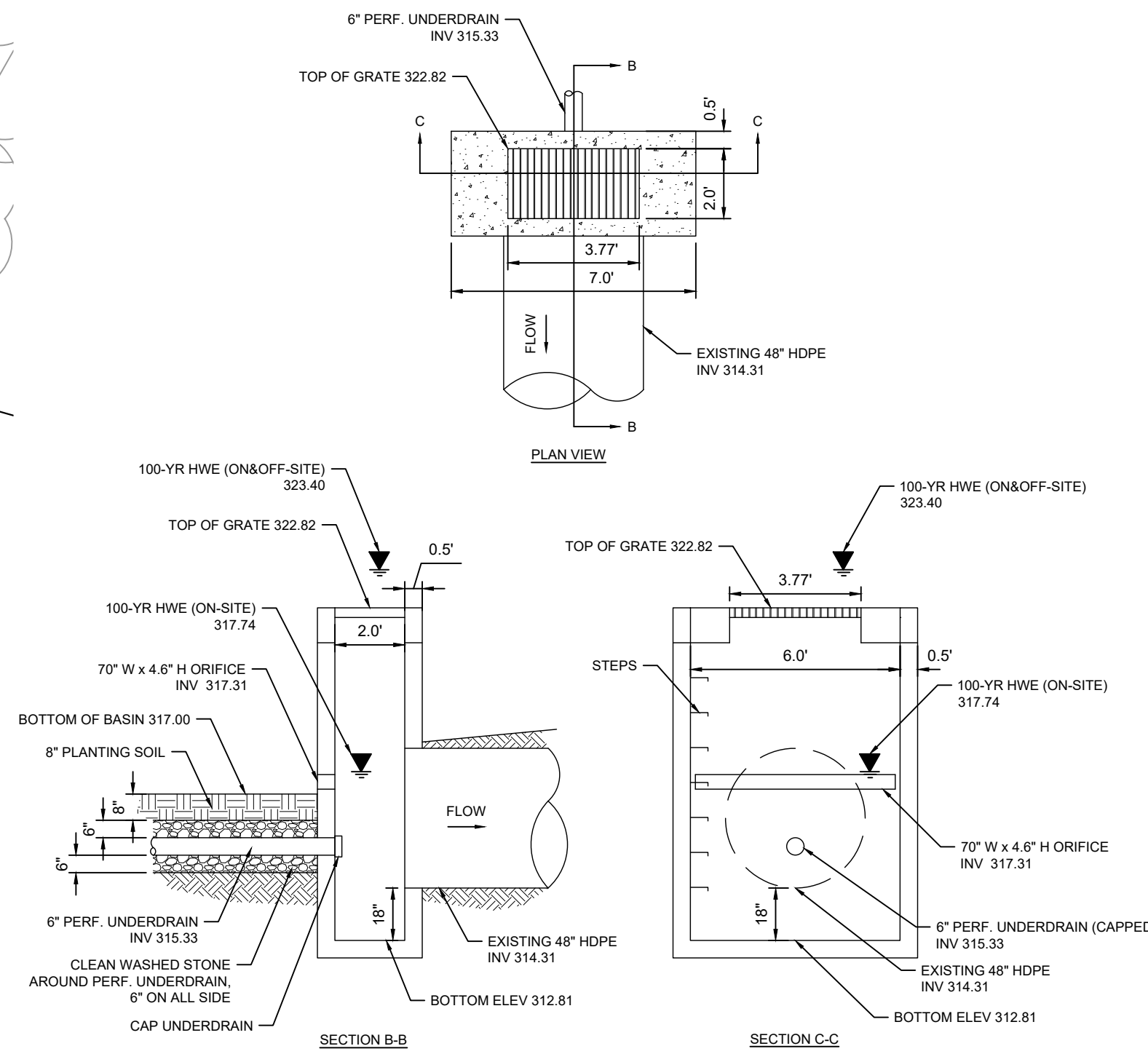
Table with 3 columns: Date, Name, Title. Rows include 08/09/2024 MJU TOWNSHIP AND MCCD RESUBMISSION, 05/29/2024 MJU TOWNSHIP AND MCCD RESUBMISSION, 01/28/2024 YG REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

Post Construction Stormwater Management Notes
ACTS SPRING HOUSE ESTATES
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA
EUSTACE ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS
DRAWN BY YG
CHECKED BY MAJE
DATE 11-20-2023
DRAWING No. D 2373 04 24

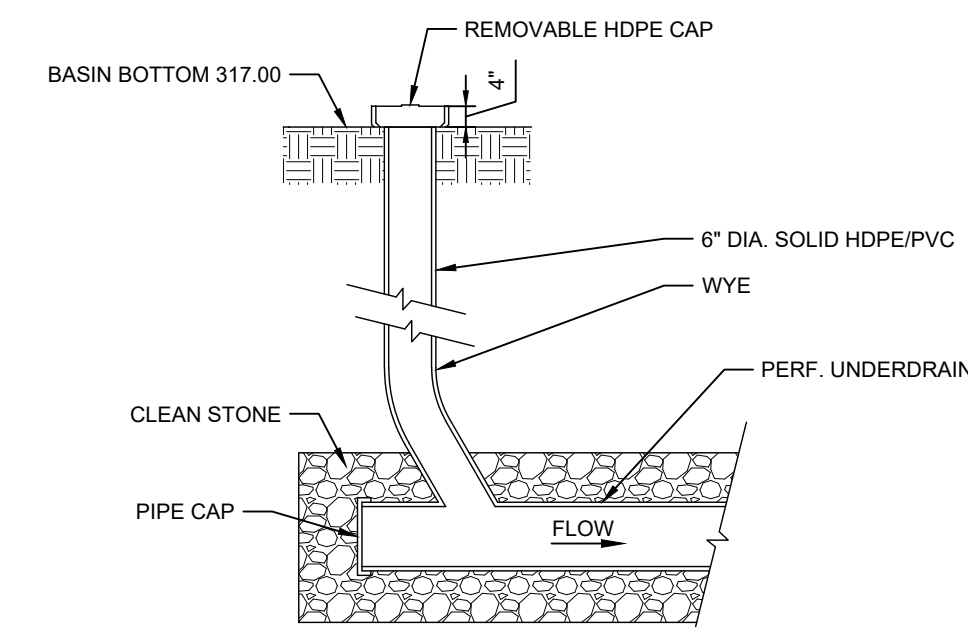


BMP-1 INFILTRATION BASIN SECTION A-A

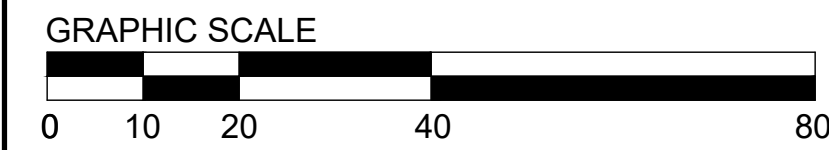
H: 1" = 20'
V: 1" = 5'



OS-1 (BMP-1) DETAILS
NOT TO SCALE



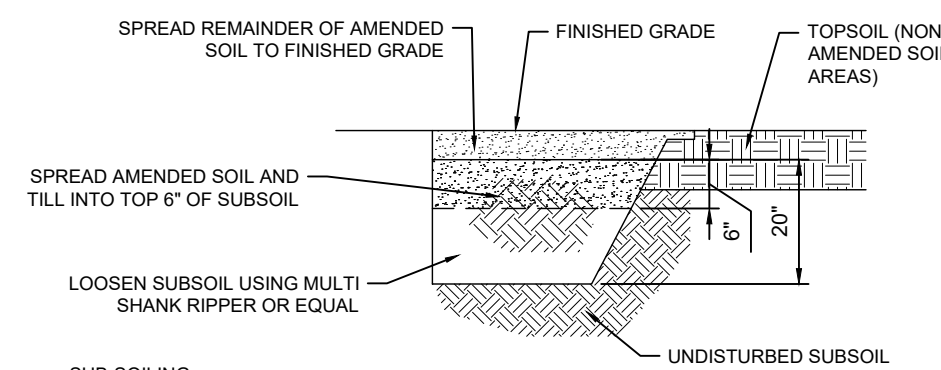
CLEANOUT DETAIL - IN BMP-1
NOT TO SCALE



BMP-1 INFILTRATION BASIN PLAN VIEW
SCALE: 1" = 20'

Plant Schedule (Detention Basin Shrubs & Seeding)

Abrev.	Botanical Name	Common Name	Quantity	Height	Spread	B&B	Native*	General Comments
CDG	CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS'	DUKE GARDENS PLUM YEW	14	24" - 30"	24" - 30"	YES	NO	PLANT 5' O.C. IN PREPARED PLANTING BED WITH 2" HWB MULCHED BED
CAR	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE SUMMERSWEET	12	24" - 30"	18" - 24"	5 GAL. CAN	YES	PLANT 5' O.C. IN PREPARED PLANTING BED WITH 2" HWB MULCHED BED
IGN	ILEX GLABRA 'NIGRA'	NIGRA INKBERRY HOLLY	14	24" - 30"	18" - 24"	5 GAL. CAN	YES	PLANT 5' O.C. IN PREPARED PLANTING BED WITH 2" HWB MULCHED BED
IV	ILEX VERTICILLATA	WINTERBERRY HOLLY	5	24" - 30"	18" - 24"	5 GAL. CAN	YES	PLANT 5' O.C. IN PREPARED PLANTING BED WITH 2" HWB MULCHED BED
IHG	ITEA VIRGINICA 'HENRYS GARNET'	HENRYS GARNET VIRGINIA SWEETPIRE	21	24" - 30"	18" - 24"	5 GAL. CAN	YES	PLANT 5' O.C. IN PREPARED PLANTING BED WITH 2" HWB MULCHED BED
LB	LINDERA BENZONI	SPICE BUSH	6	24" - 30"	18" - 24"	5 GAL. CAN	YES	PLANT 5' O.C. IN PREPARED PLANTING BED WITH 2" HWB MULCHED BED
VD	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	11	24" - 30"	18" - 24"	5 GAL. CAN	YES	PLANT 5' O.C. IN PREPARED PLANTING BED WITH 2" HWB MULCHED BED
DBSM		DETENTION BASIN SEED MIX	18,980 SF	-	-	-	NO	DETENTION BASIN GRASS MIX BY JUSTIN SEED OR APPROVED EQUAL, SLIT SEED AT 30# PER ACRE
EM600	ERNMX-600, FL WET MEADOW MIX	WET MEADOW SEED MIX	27,450 SF	-	-	-	YES	SLIT-SEED AT 15#/ACRE WITH COVER CROP OF 30#/ACRE GRAIN RYE OR 10#/ACRE JAPANESE MILLET
EM1812	ERNMX-181-2, NATIVE STEEP SLOPE MIX W/GRAIN RYE	WILDFLOWER MEADOW MIX	6,000 SF	-	-	-	YES	SLIT-SEED AT 0.9#/1,000 SF AND COVER WITH JUTE NET, STAKED IN PLACE, ERNMX-181-2



BMP-2 AMENDED SOILS INSTALLATION DETAIL
NOT TO SCALE

BMP-2 AMENDED SOIL MIX FOR LAWN AREA

- Clay content: less than 10%
- Sandy loam topsoil: 80%
- Leaf compost or aged leaf mulch: 20%
- Permeability of at least 1.0 feet per day (0.5 in/hour)
- Free of stones, stumps, roots, or other woody material over 1 inch in diameter
- Free of brush or seeds from noxious weeds
- Soil pH range: 6.5 to 7.0
- In situ soil shall be certified suitable prior to use.

- SUB-SOILING:**
- AFTER EXCAVATION AND SUB-GRADING ARE COMPLETE, THE SUBSOIL IN THE AMENDED SOILS AREAS SHALL BE LOOSENED TO A FRAGILE CONDITION TO A DEPTH OF 20" BELOW SUB-GRADE. RE-GRADE ANY EROSION RILLS OR WASHOUTS IN THE SUBSOIL SURFACE EXCEEDING 3" DEPTH.
 - SUB-SOILING SHALL BE COMPLETED IN A TWO-DIRECTIONAL GRID PRIOR TO PLACING AMENDED SOILS USING COMMERCIALY AVAILABLE MULTI-SHANKED RIPPER OR EQUAL (NOT DISC CULTIVATORS OR SPRING LOADED EQUIPMENT). ON SLOPES 3:1 OR GREATER, ONLY ONE (1) PASS AT RIGHT ANGLES TO THE SLOPE WILL BE REQUIRED.
 - CONTRACTOR SHALL DELAY PROCESS IF SOILS ARE FROZEN OR SATURATED.
 - DO NOT SUB-SOIL WITHIN DRIPLINE OF ANY EXISTING TREES, OVER UTILITY LINES LESS THAN 30 INCHES BELOW THE SURFACE, OVER TRENCHES OR DRAINAGE LINES, OR INACCESSIBLE SLOPES.

- COMPOST MIX INSTALLATION:**
- AMENDED SOIL MIX SHALL BE MIXED OUTSIDE OF INSTALLATION AREA AND MIX SHALL BE CERTIFIED TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - SPREAD SIX (6) INCHES OF APPROVED AMENDED SOIL MIX ON EXISTING SUB-SOIL AND TILL INTO SUBGRADE TO A DEPTH OF SIX (6) INCHES.
 - SPREAD REMAINDER OF AMENDED SOIL MIX SO THAT FINAL LINES AND GRADES AS SHOWN ON PLANS WILL BE MET AFTER COMPACTION.
 - LIGHTLY COMPACT WITH WALK BEHIND LAWN ROLLER OR EQUAL.
 - LIGHTLY RAKE TO CREATE SEEDBED AND SEED AS SPECIFIED.

BMP-2 AMENDED SOILS INSTALLATION DETAIL
NOT TO SCALE

PERFORATED UNDERDRAIN - BMP-1

Underdrain shall be made of continuously perforated high-density polyethylene (HDPE) plastic piping with a smooth interior. HDPE pipe must meet the specifications of AASHTO M 252, Type S or AASHTO M 284, Type S.

STONE FOR UNDERDRAIN - BMP-1

Uniformly graded, crushed, clean-washed AASHTO 57 stone with a wash loss of no more than 0.50% by mass, when tested per AASHTO T 11 wash loss test.

PLANTING SOIL MEDIUM - BMP-1

Planting soil should meet all the specifications listed below and should be a fertile, natural soil, free from large stones, roots, sticks, clods, plants, peat, sod, pockets of coarse sand, pavement and building debris, glass, noxious weeds including invasive species, infestations of undesirable organisms and disease causing pathogens, and other extraneous materials harmful to plant growth.

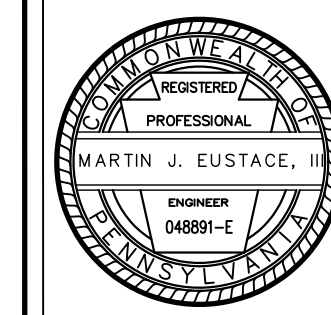
- The texture of planting soil should conform to the classification within the United States Department of Agriculture triangle for Sandy Loam or Loamy Sand. Planting soil should be a mixture of sand, silt, and clay particles as required to meet the classification. Ranges of particle size distribution, as determined by pipette method in compliance with ASTM F-1632, are as follows:
 - Sand (0.05 to 2.0 mm): 50 - 85%
 - Silt (0.002 to 0.05mm): 40% maximum
 - Clay (less than 0.002mm): 10% maximum
 - Gravel (2.0 to 12.7 mm): 15% maximum
- Planting soil should be screened and free of stones larger than a half-inch (12.7 millimeters) in any dimension. No more than 10% of the soil volume should be composed of soil peds greater than one inch.
- Clods, or natural clumps of soils, greater than three inches in any dimension should be absent from the planting soil. Small clods ranging from one to three inches and peds, natural soil clumps under one inch in any dimension, may be present but should not make up more than 10% of the soil by volume.
- The pH of the planting soil should have a range of 5.8 to 7.1.
- Soluble salts should be less than 2.0 mmhos/cm (dS/m), typically as measured by 1:2 soil-water ratio basic soil salinity testing. Sodic soils (Exchangeable Sodium Percentage greater than 15 and/or Sodium Adsorption Ratio greater than 13) are not acceptable for use regardless of amendment.
- Organic content of planting soil should have a range of 3% to 15% by weight, as determined by loss on ignition (ASTM D2974). To adjust organic content, planting soil may be amended, prior to placing and final grading, with the addition of organic compost.

3	08/09/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
2	05/29/2024	MJU	TOWNSHIP AND MCCD RESUBMISSION
1	01/28/2024	YG	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

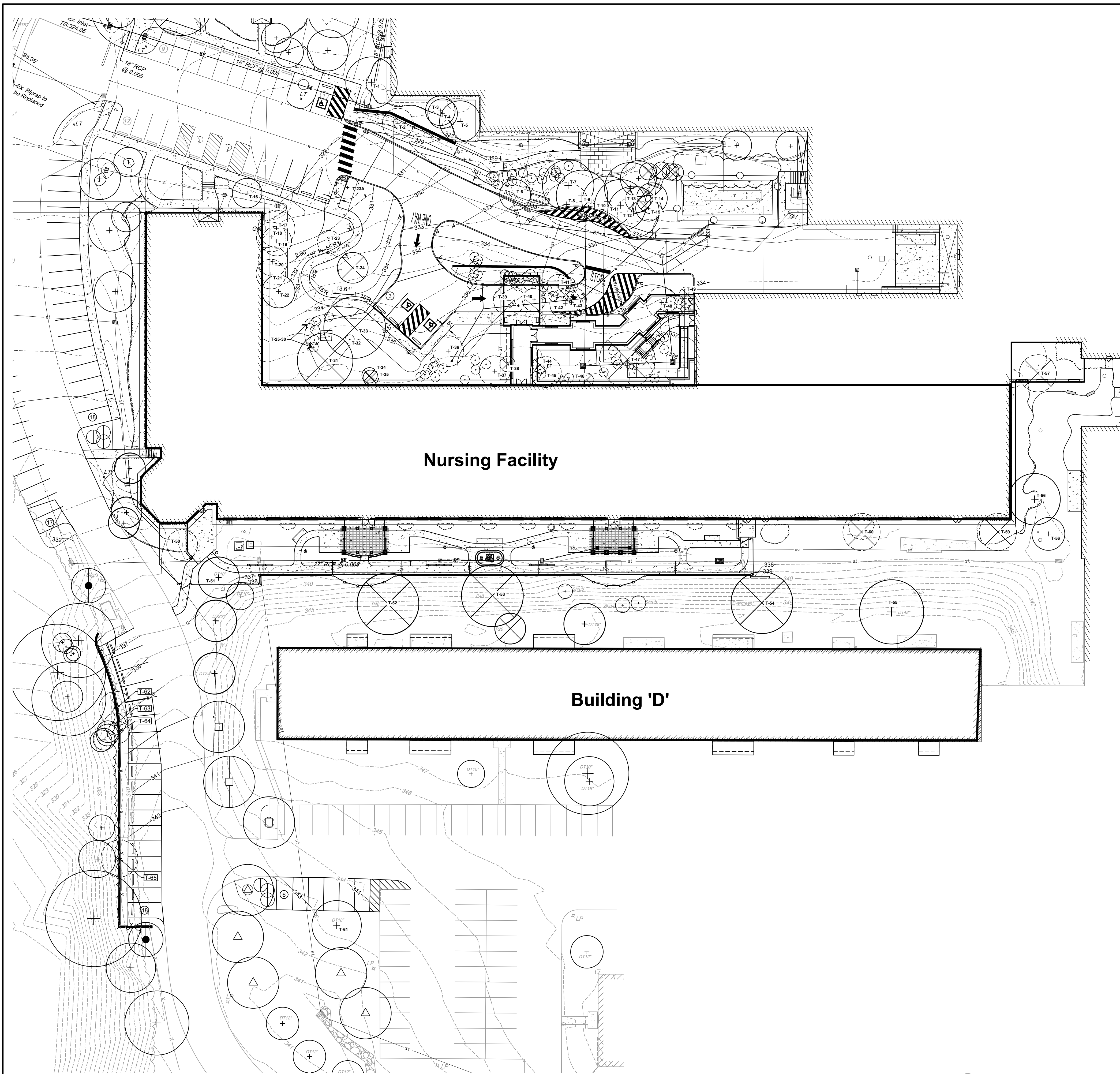
Post Construction Stormwater Management Details

ACTS SPRING HOUSE ESTATES

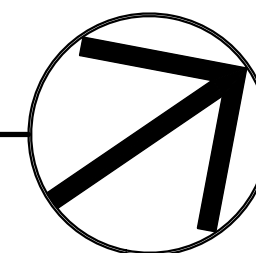
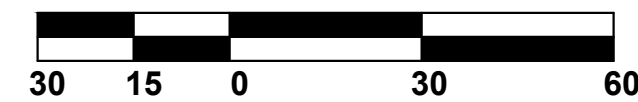
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA



DRAWN BY: YG
CHECKED BY: MJE
DATE: 11-20-2023
DRAWING No.: D 2373 04 25



Tree Removals Plan
Scale: 1" = 30'-0"



EXISTING TREE TABLE						
PLAN LOCATION NUMBER	CALIPER INCHES/ SIZE	'SINGLE TREE EQUIVALENT	SPECIES	TO BE REMOVED YES/NO	CALIPER INCHES TO BE REPLACED	CONDITION/ NOTES
T-1	10		Ornamental Cherry			
T-2	12		Japanese Zelkova	YES	12	
T-3	6		Ornamental Cherry			
T-4	6		Removed			
T-5	15		Dawn Redwood			
T-6	12		Callery Pear			
T-7	12		Dawn Redwood			
T-8	12		Japanese Zelkova	YES	12	
T-9	4		Dawn Redwood			
T-10	10		Dawn Redwood			
T-11	15		Dawn Redwood			
T-12	10		Japanese Zelkova			
T-13	8		White Pine			
T-14	14		White Pine			
T-15	10		White Pine			
T-16	10		Ornamental Cherry			
T-17	10		Callery Pear	YES	10	
T-18	6		shrub	YES	0	Overgrown shrub
T-19	6		shrub	YES	0	Overgrown shrub
T-20	6		shrub	YES	0	Overgrown shrub
T-21	6		shrub	YES	0	Overgrown shrub
T-22	24		shrub			
T-23	4		Ornamental Cherry	YES	0	**poor condition, <6" caliper
T-23A	9		Callery Pear	YES	9	
T-24	12		Dawn Redwood			
T-25	6		American Arborvitae	YES	0	American Arborvitae is listed as a shrub in Table 3 of the Landscape Ordinance therefore this species is not included in tree replacement calculations. ***
T-26	6		American Arborvitae	YES	0	
T-27	6		American Arborvitae	YES	0	
T-28	6		American Arborvitae	YES	0	
T-29	6		American Arborvitae	YES	0	
T-30	6		American Arborvitae	YES	0	
T-31	20		White Pine			
T-32			American Arborvitae, Missing			Removed after survey
T-33	24		Dawn Redwood			
T-34	6		False Cypress			Too close to foundation, we recommend removal without penalty
T-35	6		False Cypress			
T-36	6		Ornamental Cherry	YES	6	
T-37	10		False Cypress	YES	10	
T-38	6		False Cypress	YES	6	
T-39	16		Dawn Redwood	YES	16	
T-40	6		Ornamental Cherry	YES	6	
T-41	6		Callery Pear	YES	6	
T-42	10		Dawn Redwood	YES	10	
T-43	10		Dawn Redwood	YES	10	
T-44	2		shrub	YES	0	
T-45	10		Ornamental Cherry	YES	10	
T-46	8		Cedar	YES	8	
T-47	20		White Pine	YES	20	
T-48	18		Japanese Zelkova	YES	18	
T-49	2		False Cypress	YES	2	
T-50	9		Callery Pear	YES	9	
T-51	11		Oak			
T-52	31		White Pine			
T-53	31		White Pine			
T-54	31		White Pine			
T-55	31		Ornamental Cherry			
T-56	10		Kousa Dogwood			
T-57		12	American Arborvitae	YES	0	*** Not included in calculations
T-58		30	Ornamental Cherry			** Multi-stem tree
T-59		24	American Arborvitae	YES	0	*** Not included in calculations
T-60		60	American Arborvitae	YES	0	*** Not included in calculations
T-61	18		Unknown Canopy Tree			
T-62	10		Maple	YES	10	In existing woodland adjacent to proposed retaining wall.
T-63	9		Maple	YES	9	
T-64	9		Maple	YES	9	
T-65	10		Maple	YES	10	
Tree Removal Totals (# of Trees and Caliper Inches to be Replaced):				22	218	

* Multi-stem trees converted to equivalent single stem trees based on equivalent cross-sectional area of 4" and larger stems.
 ** Trees that are 75% or more dead are to be removed without penalty.
 *** Landscape Ordinance, Table 3 lists American Arborvitae as a shrub, therefore this species is not included in replacement requirements.

3	08/09/2024	CBI	TOWNSHIP AND MCCD RESUBMISSION
2	05/29/2024	CBI	REVISED PER 3/14/24 TOWNSHIP COMMENTS
1	01/26/2024	CBI	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

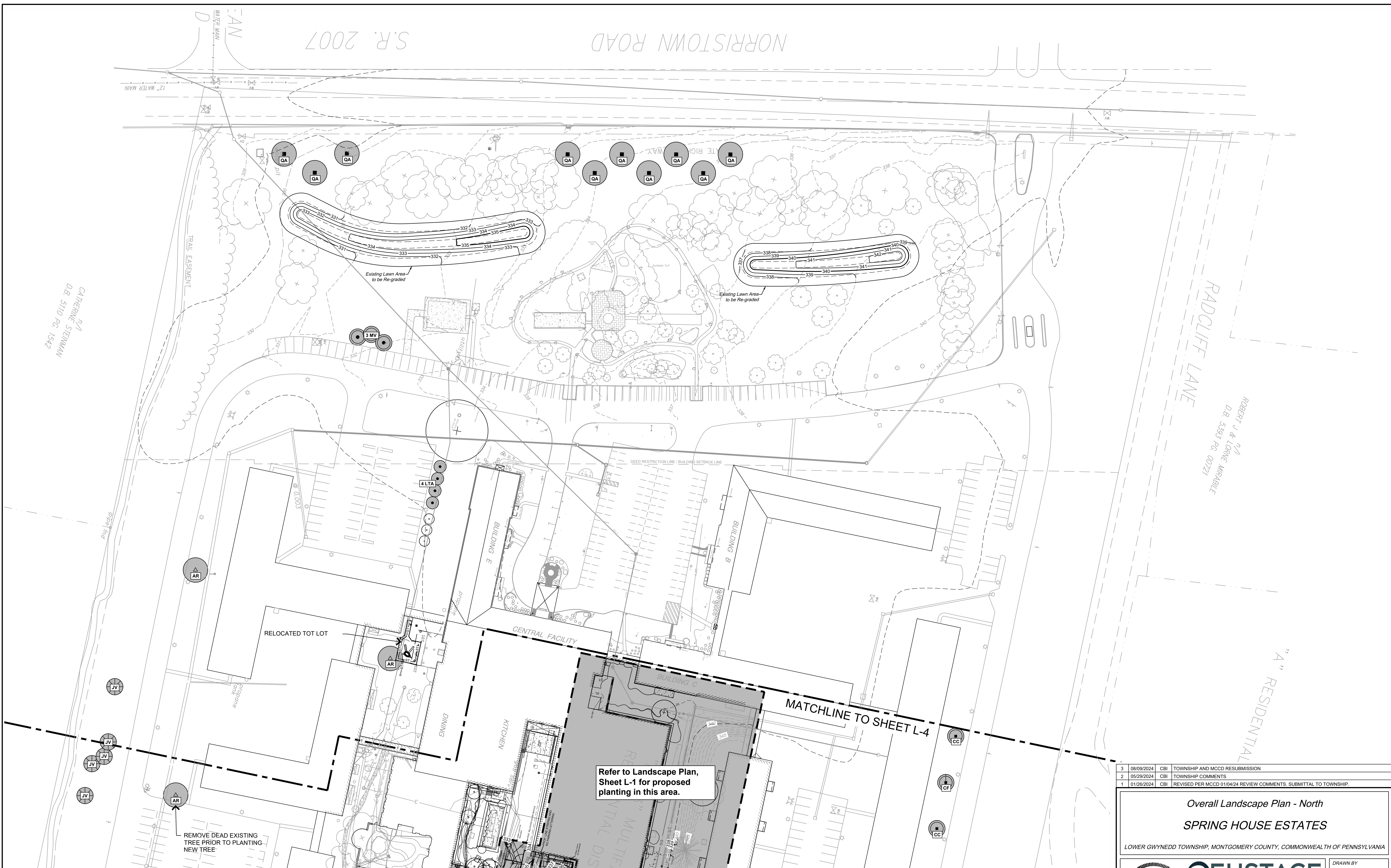
Tree Removals Plan
SPRING HOUSE ESTATES
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

Michael J. Urban
PA Lic. RLAD01127E

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 CHECKED BY: MJU
 DATE: 11-20-2023
 DRAWING No. L-2



NORRISTOWN ROAD

S.R. 2007

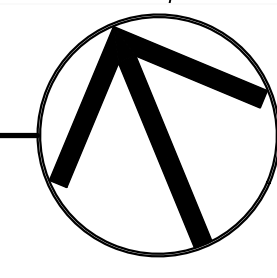
RADCLIFF LANE

ROBERT J & LORNE MARABLE
D.B. 5393 PG. 00721

CATHERINE STEINMAN
D.B. 5110 PG. 1542

Overall Landscape Plan - North

Scale: 1" = 50'-0"
Note: Refer to Plant Schedule and Details on Sheet L-6.



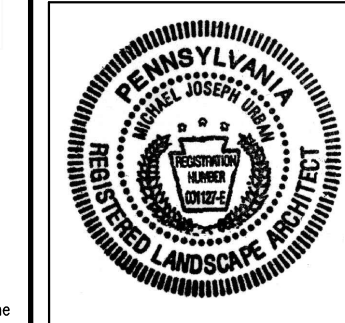
Refer to Landscape Plan,
Sheet L-1 for proposed
planting in this area.

MATCHLINE TO SHEET L-4

REMOVE DEAD EXISTING
TREE PRIOR TO PLANTING
NEW TREE

3	08/09/2024	CBI	TOWNSHIP AND MCOCD RESUBMISSION
2	05/29/2024	CBI	TOWNSHIP COMMENTS
1	01/26/2024	CBI	REVISED PER MCOCD 0110424 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

Overall Landscape Plan - North
SPRING HOUSE ESTATES
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA



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Willow Grove, PA 19090
Michael J. Urban
PA Lic. RLAD01127E

DRAWN BY: CBI
CHECKED BY: MJU
DATE: 11/20/23
DRAWING No.: L-3

Existing site conditions and dimensions shall be verified by Contractor and the Consultant notified of any discrepancies before proceeding with construction.

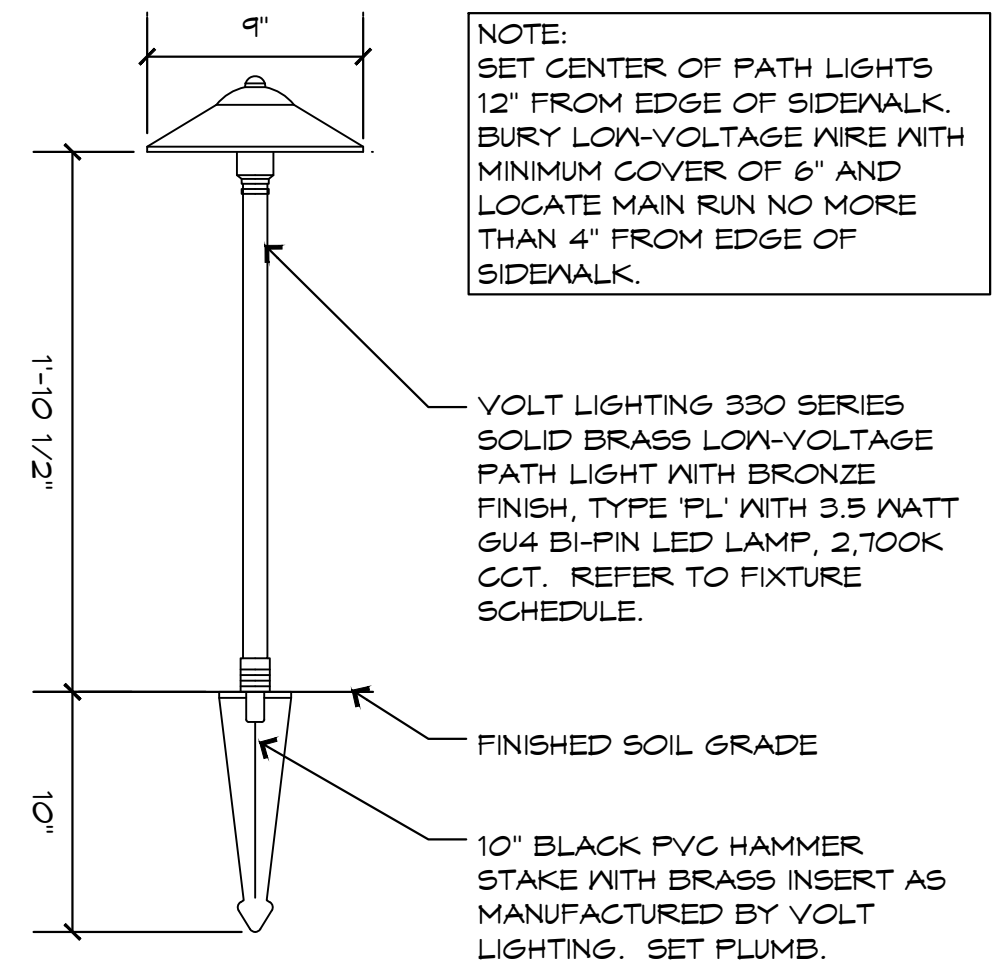
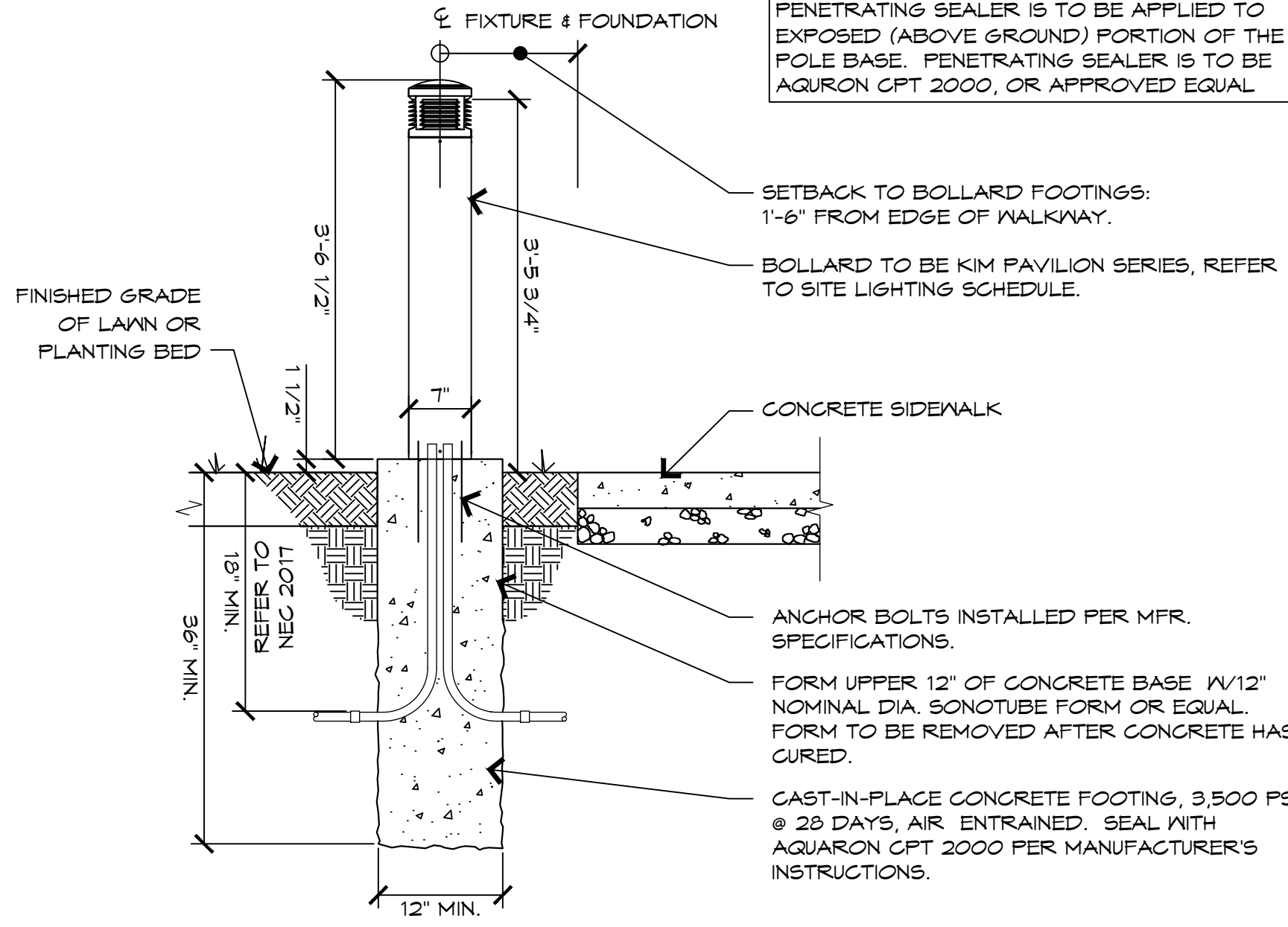
Site Lighting Schedule

Label	Phase 1 Quantity	Phase 2 Quantity	Total Quantity	Catalog Number	Mounting Height	Footing Height	Description	Design File	Lamp Lumens	LLF	Color Temp.	Watts
ARCHITECTURAL FIXTURES - Refer to Architect's Plans and Schedules, Fixtures shown are subject to revision by Architect, for Reference Only												
DC	1	1	2		34"-48"		Card access and door operator controls for access to building at Patios 2 and 3. Refer to Electrical Plans by others.					
DL	1	1	2	3JBK-RD-30K-90CRI	7.33	NONE	Lithonia 3" diameter retrofit downlight	3JBK-RD-30K-90CRI.ies	502	0.90	3,000	7
DLH	1	0	1	FSCDL8/MV010V/LED	7.33	NONE	Halco 8" diameter retrofit LED downlight	FLSCL8MV010VLED.ies	1,050	0.90	3,000	12
PROPOSED FIXTURES AND DEVICES - SHEET L-5 ONLY												
GFI	2	2	4		16"	NONE	Weather Resistant GFCI Duplex Outlet with in use cover					
KHS2	28	0	28	16102-SD-27	VARIABLES	NONE	Kichler adjustable hardcape light, 12" LENGTH	16102-photometric-report.ies	85	0.90	2,700	2
PB4	2	0	2	PA7R-CT-LV4-12L-010-3K7-42A-ROP-DBT-120	3.2	0.25	KIM Pavilion PATR, Type 4, 14W LED with 2 Weather Resistant GFCI Duplex Devices	PA7R-LV4-12L-010-3K7.ies	576	0.90	3,000	14
PB4X	1	0	1	PA7R-CT-LV4-12L-010-3K7-42A-ROP-DBT-120	3.2	0.25	KIM Pavilion PATR, Type 4, 22W LED with 2 Weather Resistant GFCI Duplex Devices	PA7R-LV4-12L-020-3K7.ies	878	0.90	3,000	14
PBSX	2	0	2	PA7R-CT-LV4-12L-020-3K7-42A-ROP-DBT-120	3.2	0.25	KIM Pavilion PATR, Type 5, 22W LED with 2 Weather Resistant GFCI Duplex Devices	PA7R-LV5-12L-020-3K7.ies	887	0.90	3,000	14
PL	18	10	28	BDL-330-BBZ with VAC-STK2-10-BBK and 3.5w GU4-2700K LED lamp	1.9	Flush	VOLT LIGHTING 330 Series Max Spread Path Light in Bronze Finish with 10" PVC Hammer Stake with Brass Insert	Maxspread w GU4-35-27.ies	183	0.70	2,700	4
PLT	1	0	1	VTR-300-SS-J1-BUNDLE	Wall Mt.	NONE	VOLT LIGHTING 300w Toroidal Transformer with Stainless Steel Case, Timer and Photocell Extension Combo Kit with Swivel Mount, 12v, 13v, 14v & 15v taps.					300
WPX1	2	2	4	WPX1-LED-P1-30K-MVOLT-DWHXD	7.33	Mount on Pergola Beam	Lithonia WPX1-P1, 3000K CCT	WPX1-LED-P1-30K-MVOLT.ies	1,537	0.90	3,000	12

NOTES:

WEATHER PROTECTION FOR FOOTINGS SHALL BE USED IN ACCORDANCE WITH PENNDOT PUBLICATION 408, CURRENT EDITION.

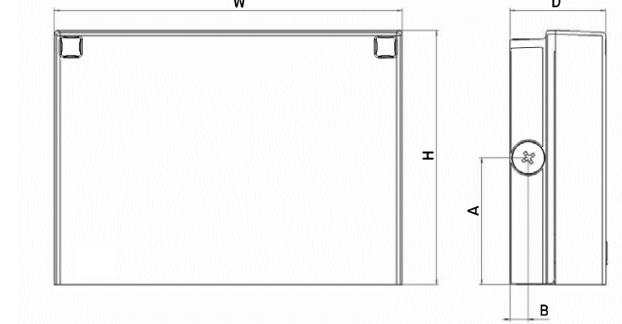
PENETRATING SEALER IS TO BE APPLIED TO EXPOSED (ABOVE GROUND) PORTION OF THE POLE BASE. PENETRATING SEALER IS TO BE AQUARON GPT 2000, OR APPROVED EQUAL.



WPX LED Wall Packs

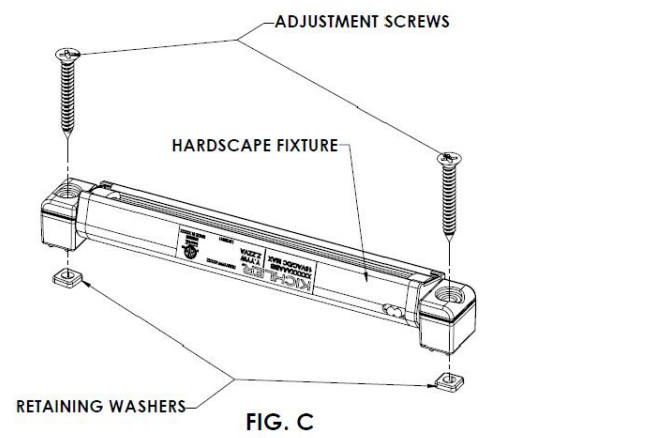
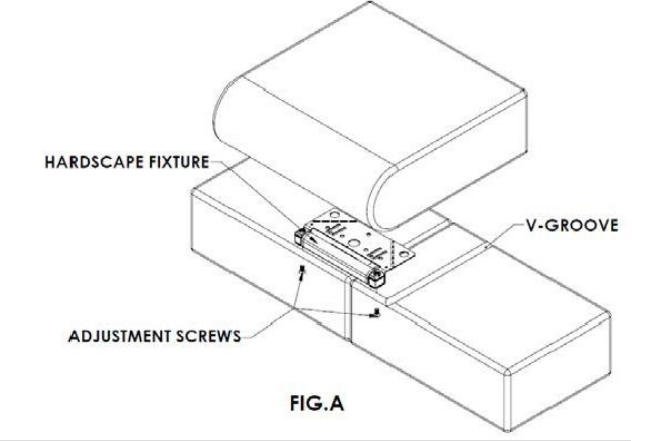


Specifications



Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)

- INSTALLATION OF 16100, 16101, 16102 or 16103 on BRICK or MASONRY WALL (SEE FIG. A)**
- Turn off power.
 - Determine the desired location for each fixture before construction of wall is started. (NOTE: Knock out in steel bracket is center of fixture for alignment purposes.)
 - Route the fixture wire through the wall to the main low voltage supply cable using standard masonry procedures. A "Y" shaped notch can be cut into the hardcape material to aide in wire management if desired. Note: Leave a loop of wire accessible to allow for future fixture replacement or maintenance.
 - Insert stainless steel mounting plate in between layers of hardcape material. The use of adhesive or mortar (not provided) to secure the fixture in place is optional. It may be best to adjust fixture before securing permanently.
 - Follow instructions below for fixture adjustment.
 - Connect fixture wires to main low voltage supply cable using UL approved connectors.
- ADJUSTMENT OF 16100, 16101, 16102 or 16103 on BRACKET (SEE FIG. A)**
- Turn off power.
 - Disassemble fixture by loosening screws which hold fixture to bracket at least three turns.
 - Adjust tilt of the fixture to 45 degree forward tilt.
 - Reassemble fixture by tightening both screws to bracket ensuring fixture no longer moves. (NOTE: Over tightening screw may cause damage to mounting bracket)
 - Turn on power.
 - If further adjustment is needed repeat steps 1 through 5



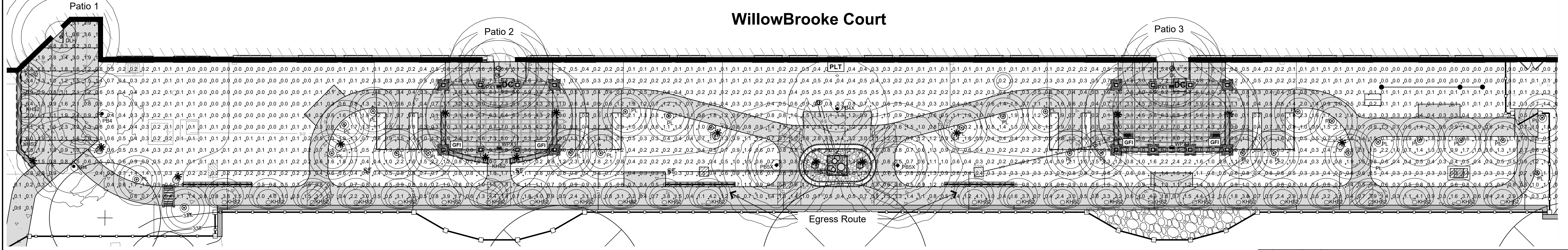
1 Light Bollard Detail - Type PBxx
Scale: 3/4" = 1'-0"

2 Path Light Detail - Type PL
Scale: 1 1/2" = 1'-0"

3 Pergola Light - Type WPX1
Not to Scale

4 Wall Light - Type KHS2
Not to Scale

WillowBrooke Court



Courtyard Lighting Plan

Scale: 1" = 10'-0"



Site Lighting Statistics

	Average	Maximum	Minimum	Max/Min	Avg/Min
+ Overall Area	1.1	9.2	0.0	N/A	N/A
* Patio No. 1	2.1	8.1	0.6	13.5:1	3.5:1
* Patio No. 2	4.9	9.2	1.1	8.4:1	4.5:1
* Patio No. 3	4.9	9.2	1.2	7.7:1	4.1:1
* Egress Route	1.1	4.4	0.3	14.7:1	3.7:1

NOTE:
THE TOPOGRAPHIC AND BOUNDARY BASE INFORMATION AND EXISTING FEATURE LOCATIONS SHOWN ON THIS PLAN BASED ON PLAN INFORMATION PROVIDED BY EUSTACE ENGINEERS, WILLOW GROVE, PA, ON JUNE 6, 2022

3	08/09/2024	CBI	TOWNSHIP AND MCCD RESUBMISSION
2	05/29/2024	CBI	TOWNSHIP COMMENTS
1	01/26/2024	CBI	REVISED PER MCCD 0104/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

COURTYARD LIGHTING PLAN
SPRING HOUSE ESTATES

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

EUSTACE
ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS

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Willow Grove, PA 19090

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DRAWN BY: CBI

CHECKED BY: MJU

DATE: 11-20-2023

DRAWING No. L-5

SHEET 31 OF 34

Existing site conditions and dimensions shall be verified by Contractor and the Consultant notified of any discrepancies before proceeding with construction.

WET MEADOW SEEDING SPECIFICATIONS

- SEEDING AREAS DESIGNATED ON THE LANDSCAPE PLAN TO BE SEEDED WET MEADOW SHALL BE FINE GRADED, ADDING TOPSOIL PROVIDED ON SITE AS NECESSARY TO CREATE A SMOOTH SURFACE, MOWN, SLIT-SEEDED, RAKED OR ROLLED, AND MAINTAINED UNTIL ACCEPTED BY THE OWNER.
- REMOVE LITTER, DEBRIS, AND ROCK GREATER THAN ONE INCH IN DIAMETER FROM THE AREAS TO BE MOWED IF IT IMPEDES MOWING OR CREATES A HAZARD. BE RESPONSIBLE FOR DAMAGES INCURRED TO EQUIPMENT AS A RESULT.
- SEED: ALL PROPOSED SEEDING RATES ARE IN PURE LIVE SEED (PLS). SEED OF THE REQUIRED WILDFLOWER AND GRASS VARIETIES SHALL BE SUPPLIED IN SEALED CONTAINERS WITH SUPPLIER'S GUARANTEED ANALYSIS OF THE CONTENTS, INCLUDING WEIGHT, VARIETY, AND MINIMUM PLS. SEED AT RATE NOTED ON PLANT SCHEDULE.

SUPPLY THE FOLLOWING SEED MIXES PLUS 10 POUNDS PER ACRE OF COVER CROP SEED AS NOTED AT RIGHT.

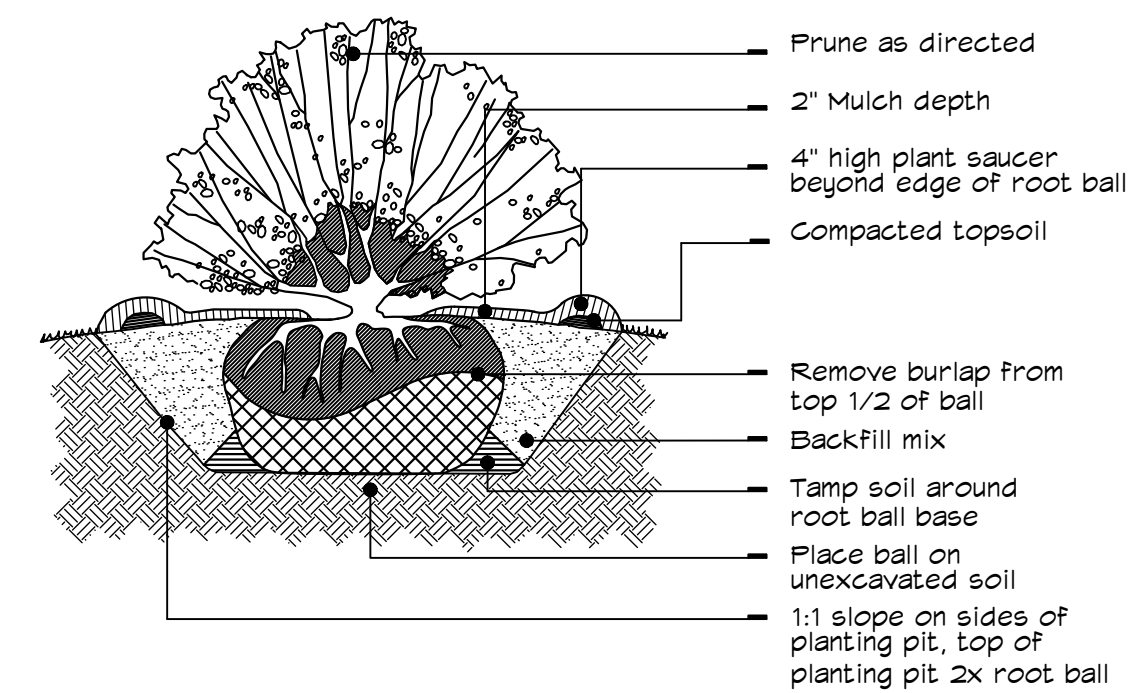
ERNMX - 181-2 - NATIVE STEEP SLOPE MIX

ERNMX - 126 - RETENTION BASIN FLOOR MIX

- IF SEEDS ARE NOT PREMIXED TO THE REQUIRED FORMULA BY ONE SEED SUPPLIER, CAREFULLY WEIGH AND MIX BY AN APPROVED MECHANICAL METHOD, THE WILDFLOWER AND GRASS SEED IN THE AMOUNTS SHOWN IN THE SEED FORMULAS AT RIGHT.
- SEEDING SHALL COMMENCE BETWEEN AUGUST 15 AND OCTOBER 15, OR BETWEEN MARCH 15 AND MAY 15, AS WEATHER PERMITS, AND/OR AS APPROVED BY THE LANDSCAPE ARCHITECT OR THE OWNER. INCORPORATE BY DISCING, 30 LBS. OF DOLOMITIC LIMESTONE, 20 LBS. OF BASIC FERTILIZER (3-20-20) AND 25 LBS. OF 10-6-4, 50% ORGANIC NITROGEN PER 1,000 SQUARE FEET, ALL WITHIN THE TOP 1-2" OF THE TOPSOIL.
- SEEDING: SOW MEADOW SEED MIXES AT THE SPECIFIED RATES. ADD EQUAL VOLUME OF SAND OR GENERIC KITTY LITTER FOR EVEN SPREADING. PLANT SEED USING THE OVER-SEEDING METHOD OF SLICING ROWS THROUGH THE EXISTING VEGETATION INTO THE SOIL, AND BROADCASTING THE WILDFLOWER SEED OVER THESE SLITS. DO NOT EXCEED 3 INCH SPACING BETWEEN SLIT SEEDING ROWS. LAWN ROLL OR RAKE AFTER SEEDING, BUT DO NOT COVER SEED WITH SOIL IN EXCESS OF THREE TIMES THE THICKNESS OF THE WILDFLOWER SEED.
- DEVELOP SEEDED AREA TO EXHIBIT A CLOSE STAND OF ACCEPTED VEGETATION WITH NO BARE SOIL AREAS GREATER THAN FOUR INCHES IN DIAMETER. IF REQUIRED, THE CONTRACTOR SHALL RESEED, RESOIL, ETC. AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF SEED VEGETATION UNTIL A SATISFACTORY STAND OF MEADOW IS ACHIEVED.
- MAINTENANCE: SEEDED MEADOW AREAS SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR UNTIL GERMINATION IS ACCOMPLISHED AND THE AREA IS ACCEPTED BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN ALL SEEDED AREAS IN FIRST-CLASS CONDITION FROM THE BEGINNING OF LANDSCAPE CONSTRUCTION UNTIL THAT PHASE OF THE PROJECT HAS BEEN INSPECTED AND ACCEPTED BY THE OWNER. AFTER THAT ACCEPTANCE, THE OWNER SHALL MAINTAIN THE WORK.

MAINTENANCE SHALL INCLUDE, BUT NOT LIMITED TO WATERING OF SEEDED AREAS, MOWING, CULTIVATION, WEED CONTROL, DISEASE AND PEST CONTROL, REPLACEMENT OF DEAD OR UNACCEPTABLE MATERIALS, FILLING UNDER SETTLEMENT AREAS, RESEEDING WASHOUTS, AND ANY OTHER PROCEDURE CONSISTENT WITH GOOD HORTICULTURAL PRACTICE NECESSARY TO INSURE NORMAL, VIGOROUS AND HEALTHY GROWTH OF WORK UNDER THIS CONTRACT.

- MOW SEEDED MEADOW AREAS TO 6" HEIGHT IN EARLY JUNE, MID-JULY, AND MID-AUGUST DURING THE FIRST GROWING SEASON, TO DISCOURAGE GROWTH OF AGGRESSIVE WEED SPECIES AND BRING SUNLIGHT TO LOW-GROWING NATIVES.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THE SEEDED MEADOWS FOR TWELVE (12) MONTHS FROM THE DATE OF COMPLETION AND ACCEPTANCE BY THE OWNER.



Typical Shrub Planting Detail

Not to Scale

Native Steep Slope Mix w/Grain Rye - ERNMX-181-2

Botanical Name	Common Name
40.00 % <i>Secale cereale</i> , Variety Not Stated	Rye, Variety Not Stated
20.80 % <i>Sorghastrum nutans</i> , PA Ecotype	Indiangrass, PA Ecotype
11.20 % <i>Andropogon gerardii</i> , 'Niagara'	Big Bluestem, 'Niagara'
8.00 % <i>Elymus canadensis</i>	Canada Wildrye
5.60 % <i>Elymus virginicus</i> , Madison-NY Ecotype	Virginia Wildrye, Madison-NY Ecotype
3.20 % <i>Agrostis perennans</i> , Albany Pine Bush-NY Ecotype	Autumn Bentgrass, Albany Pine Bush-NY Ecotype
3.10 % <i>Panicum virgatum</i> , 'Shawnee'	Switchgrass, 'Shawnee'
2.40 % <i>Panicum clandestinum</i> , Tioga	Deertongue, Tioga
1.20 % <i>Echinacea purpurea</i>	Purple Coneflower
1.10 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype
0.90 % <i>Helianthus helianthoides</i> , PA Ecotype	Oxeye Sunflower, PA Ecotype
0.80 % <i>Carex lasiocarpa</i>	Lanceleaf Carex
0.80 % <i>Rudbeckia hirta</i>	Black-eyed Susan
0.30 % <i>Monarda fistulosa</i> , Fort Indiantown Gap-PA Ecotype	Wild Bergamot, Fort Indiantown Gap-PA Ecotype
0.20 % <i>Asclepias syriaca</i> , PA Ecotype	Common Milkweed, PA Ecotype
0.20 % <i>Solidago rugosa</i> , PA Ecotype	Wrinkleleaf Goldenrod, PA Ecotype
0.10 % <i>Aster lateriflorus</i>	Calico Aster
0.10 % <i>Aster pilosus</i> , PA Ecotype	Heath Aster, PA Ecotype

100.00 %

Seeding Rate: 75 lb per acre

Erosion Control & Revegetation; Grasses & Grass-like Species - Herbaceous Perennial; Herbaceous Flowering Species - Herbaceous Perennial

Use this formula with grain rye as a cover crop (from August 1st-February 15th). Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Retention Basin Floor Mix - Low Maintenance - ERNMX-126

Botanical Name	Common Name
20.00 % <i>Panicum clandestinum</i> , Tioga	Deertongue, Tioga
20.00 % <i>Puccinellia distans</i> , Fuhs	Alkali Grass, Fuhs
18.00 % <i>Elymus virginicus</i> , Madison-NY Ecotype	Virginia Wildrye, Madison-NY Ecotype
15.00 % <i>Agrostis stolonifera</i> , 'Penncross'	Creeping Bentgrass, 'Penncross'
15.00 % <i>Poa palustris</i>	Fowl Bluegrass
10.00 % <i>Carex vulpinoidea</i> , PA Ecotype	Fox Sedge, PA Ecotype
1.00 % <i>Carex scoparia</i> , PA Ecotype	Blunt Broom Sedge, PA Ecotype
1.00 % <i>Juncus effusus</i>	Soft Rush

100.00 %

Seeding Rate: 20-40 lbs per acre, or 0.5-1 lb/1,000 sq ft with a cover crop. For a cover crop use one of the following: grain rye (1 Sep to 30 Apr; 30 lbs/acre), Japanese millet (1 May to 31 Aug; 10 lbs/acre), or barnyard grass (1 May to 31 Aug; 10 lbs/acre).

Grasses & Grass-like Species - Herbaceous Perennial; Stormwater Management

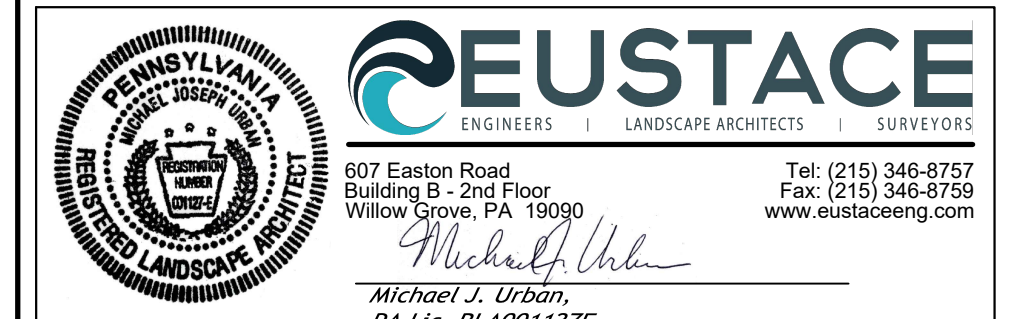
The hardy inexpensive grass and grass-like species are ideal for retention basins that may have high salt inflows and where mowing may be required. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

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1	01/26/2024	CBI	REVISED PER MCCD 01/04/24 REVIEW COMMENTS. SUBMITTAL TO TOWNSHIP.

Landscape Details

SPRING HOUSE ESTATES

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA



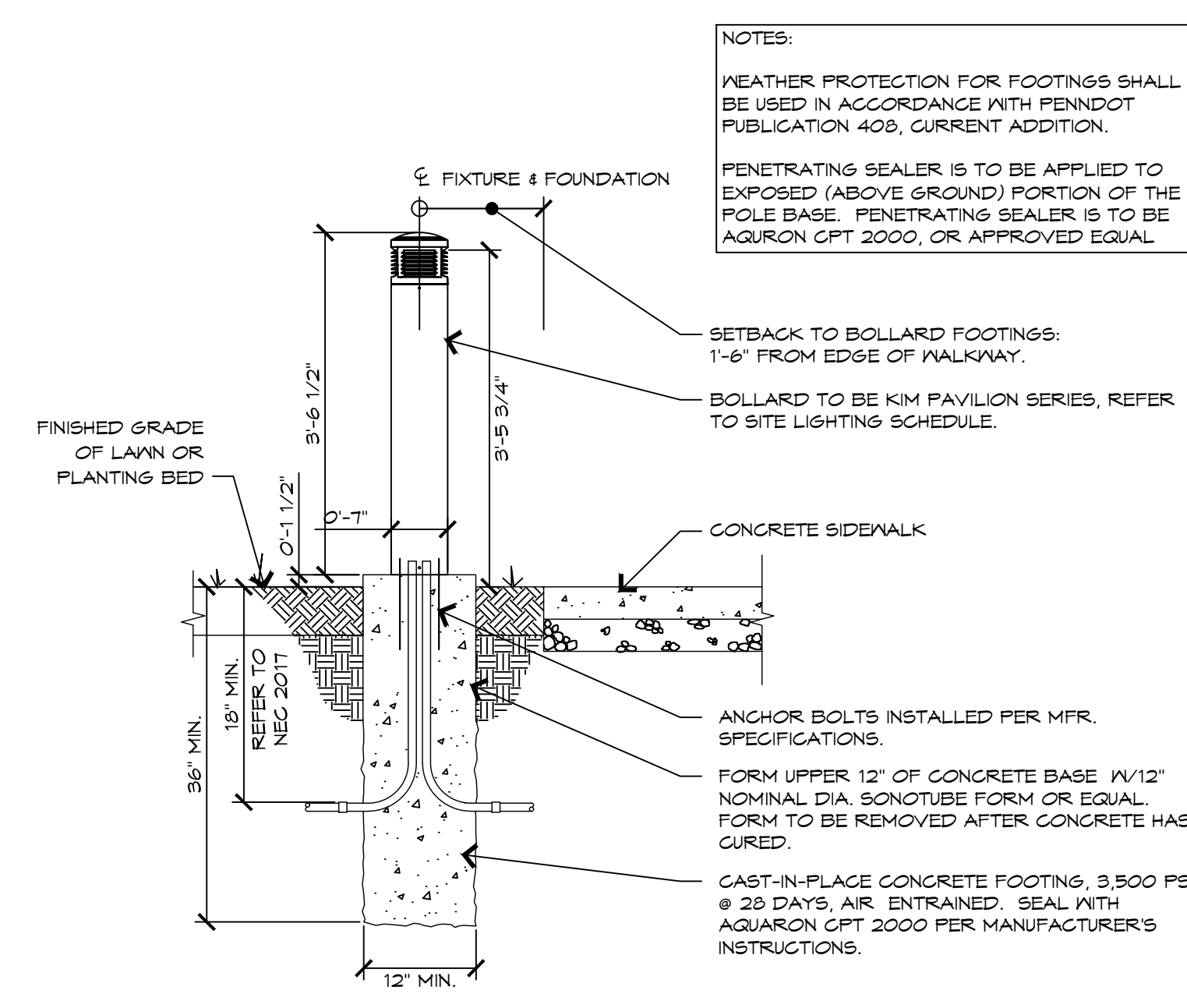
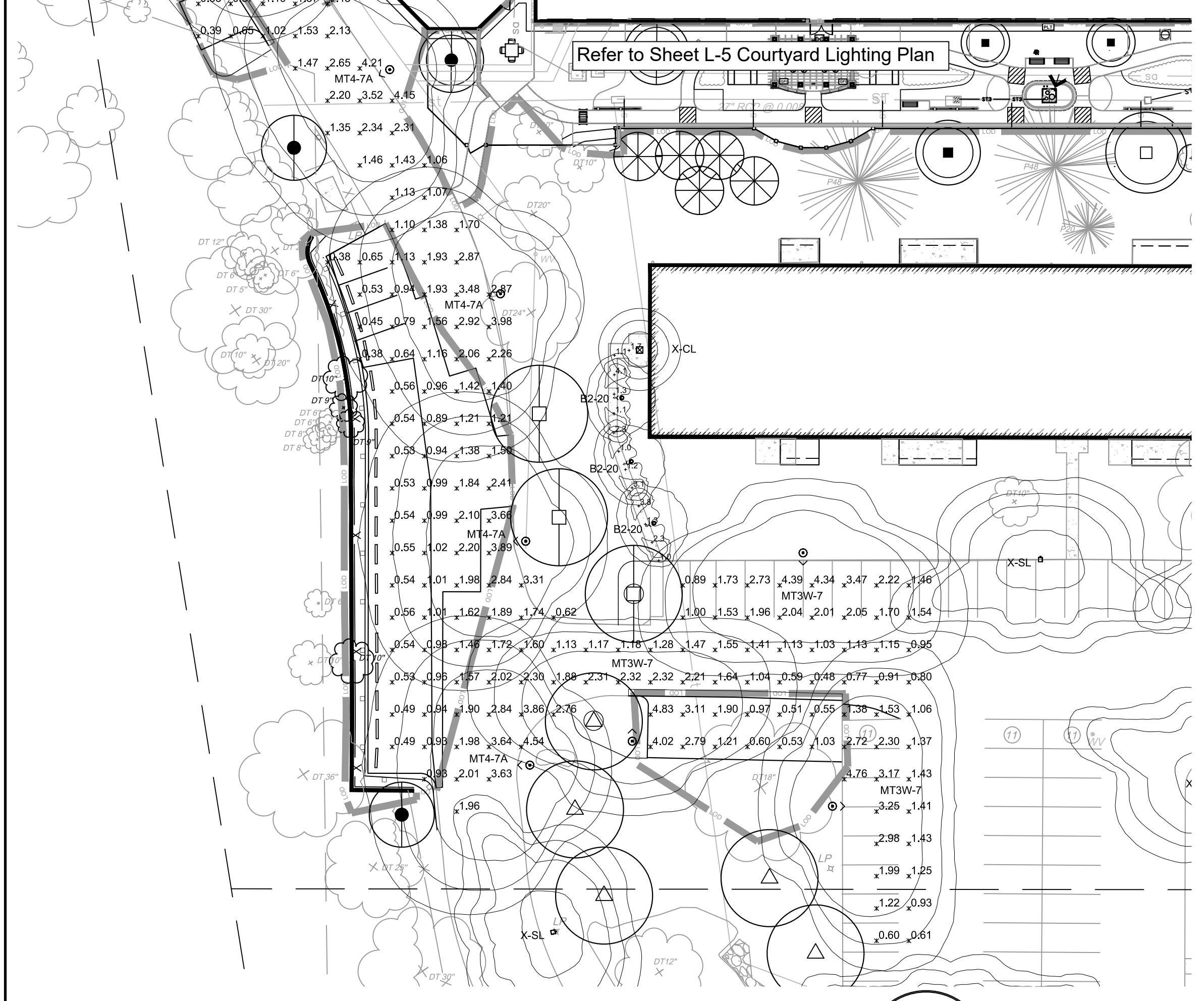
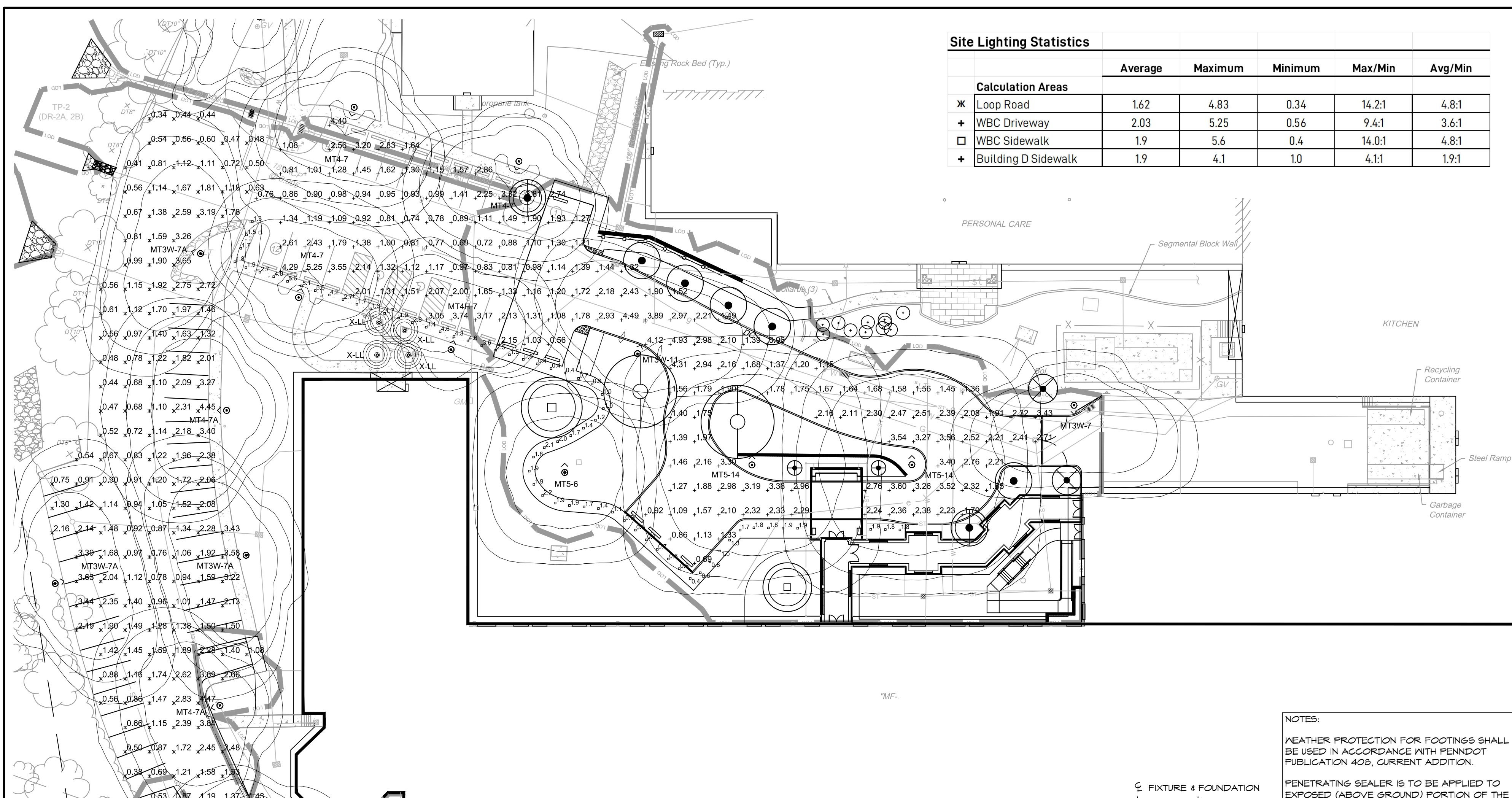
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SHEET 33 OF 34

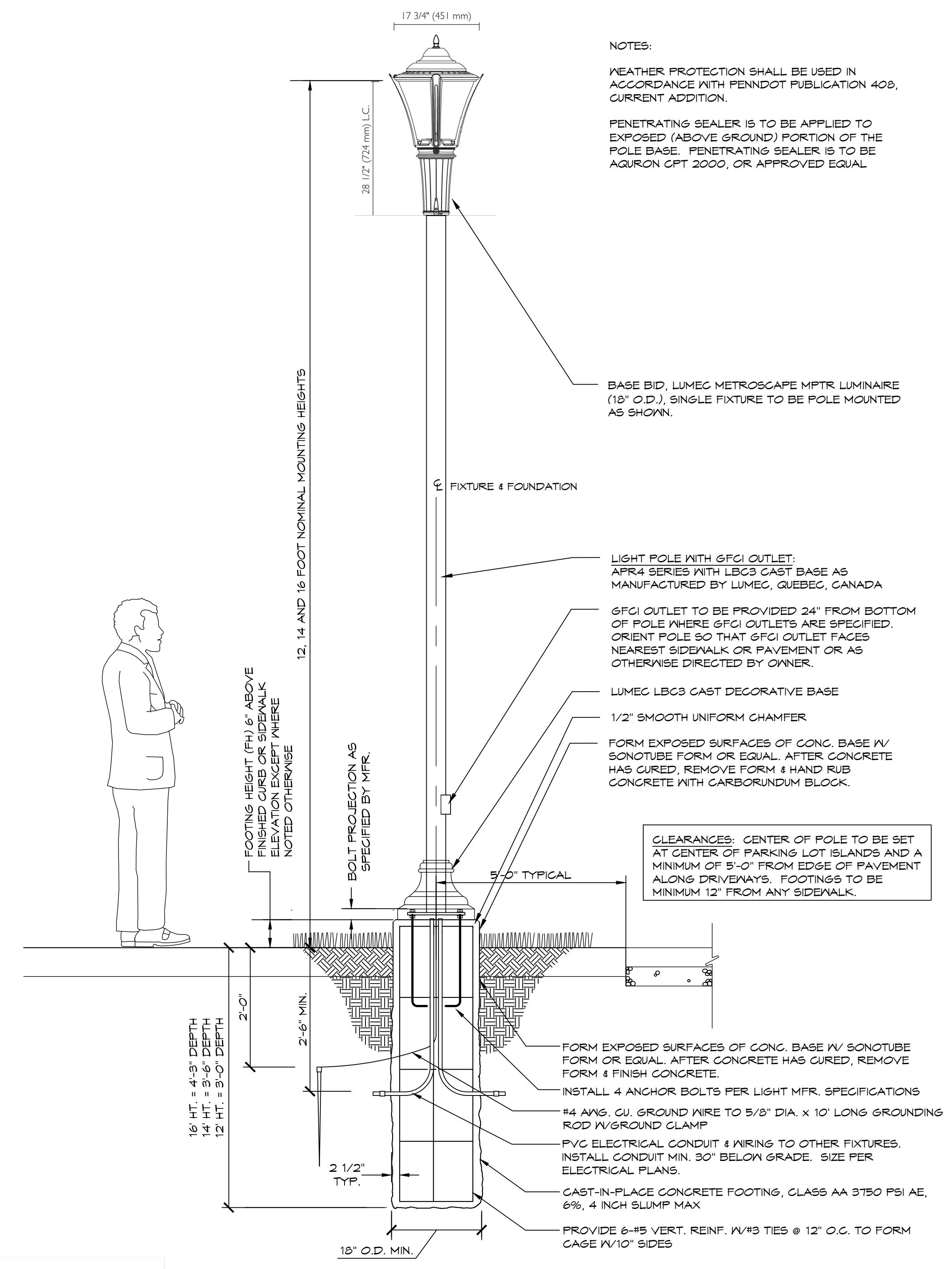
Existing site conditions and dimensions shall be verified by Contractor and the Consultant notified of any discrepancies before proceeding with construction.

Site Lighting Statistics					
	Average	Maximum	Minimum	Max/Min	Avg/Min
X Loop Road	1.62	4.83	0.34	14.2:1	4.8:1
+ WBC Driveway	2.03	5.25	0.56	9.4:1	3.6:1
□ WBC Sidewalk	1.9	5.6	0.4	14.0:1	4.8:1
+ Building D Sidewalk	1.9	4.1	1.0	4.1:1	1.9:1

- Lighting Notes:**
- Many new light standards are to be connected to existing wiring at or near existing pole locations. All 12' and taller light poles are to be provided with new concrete footings unless otherwise directed by Owner.
 - New light standards and bollards are to be controlled by existing centralized photocell controls. Photocell controls to prevent fixtures from operating during daylight hours. All fixtures to turn on at dusk and off at dawn.
 - All poles are to be set plumb.
 - Post approval alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the Township for review and approval prior to installation.
 - The Township reserves the right to conduct post installation nighttime inspections to verify compliance with the commitments made on the approved lighting plan, if appropriate, to require remedial action at no expense to the Township.
 - New poles supporting lighting equipment located directly behind parking spaces shall be set back a minimum of 5' from face of curb or wheel-stop, or placed atop a 30" high AFG concrete base, or otherwise suitably protected. Light pole length to be adjusted if 30" high footings are used.
 - Landscape Trees shall be located so that at tree maturity or before, foliage does not block intended light distribution.



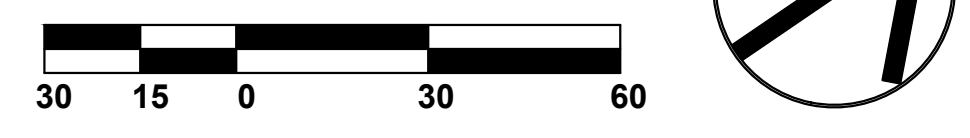
1 Light Bollard Detail
 Scale: 3/4" = 1'-0"



2 Light Standard Detail
 Scale: 3/4" = 1'-0"

Abbrev.	Manufacturer	Description	LLF	CCT	Mounting Height (ft.)	Footing Height (ft.)	Luminaire Catalog Number	Special Notes
B2-20 (3)	Kim	Pavilion Louvered Bollard with T2 Optic on new concrete footing, 20W	0.90	3,000	3.25	0.25	PA1R-LV2-12L-020-3K7	Test File PA1R-LV2-12L-020-3K7 JES at 812 Lumens
MT3W-7 (4)	Lumec	Metroscapc Post Top LED fixture with T3W Optic on new concrete footing, 70W	0.90	3,000	14	0.25	MPTR-70W4LED3K-G3-LE3W-UNV-SP2-BRTX-APRAU-12-BRTX	Test File MPTR-70W4LED3K-G3-LE3W-UNV-SP2-BRTX at 7,880 Lumens
MT3W-11 (3)	Lumec	Metroscapc Post Top LED fixture with T3W Optic on new concrete footing, 70W	0.90	3,000	16	0.25	MPTR-70W4LED3K-G3-LE3W-UNV-SP2-BRTX-APRAL-14-BRTX	Test File MPTR-70W4LED3K-G3-LE3W-UNV-SP2-BRTX at 7,880 Lumens
MT3W-11 (1)	Metroscapc	Metroscapc Post Top LED fixture with T3W Optic on new concrete footing at existing location, 18W	0.90	3,000	16	0.25	MPTR-108W4LED3K-G3-LE3W-UNV-SP2-BRTX-APRAF-12-BRTX	Test File MPTR-108W4LED3K-G3-LE3W-UNV-SP2-BRTX at 10,665 Lumens
MT4-7 (3)	Metroscapc	Metroscapc Post Top LED fixture with T4 Optic on new concrete footing, 70W	0.90	3,000	14	0.25	MPTR-70W4LED3K-G3-LE4-UNV-SP2-BRTX-APRAF-12-BRTX	Test File MPTR-70W4LED3K-G3-LE4-UNV-SP2-BRTX at 7,733 Lumens
MT4-7A (6)	Lumec	Metroscapc Post Top LED fixture with T4 Optic on new concrete footing, 70W	0.90	3,000	16	0.25	MPTR-70W4LED3K-G3-LE4-UNV-SP2-BRTX-APRAF-12-BRTX	Test File MPTR-70W4LED3K-G3-LE4-UNV-SP2-BRTX at 7,733 Lumens
MT5-6 (1)	Lumec	Metroscapc Post Top LED fixture with T5 Optic on new concrete footing, 59W	0.90	3,000	12	0.25	MPTR-59W4LED3K-G3-LE5-UNV-SP2-BRTX-APRAF-10-BRTX	Test File MPTR-59W4LED3K-G3-LE5-UNV-SP2-BRTX at 5,979 Lumens
MT5-14 (2)	Metroscapc	Metroscapc Post Top LED fixture with T5 Optic, GFI receptacle and new concrete footing, 140W	0.90	3,000	16	0.25	MPTR-140W4LED3K-G3-LE5-UNV-SP2-BRTX-APRAF-14-GFI-BRTX	Test File MPTR-140W4LED3K-G3-LE5-UNV-SP2-BRTX at 14,916 Lumens
X-SL	Existing	Existing cutoff HPS shoebox fixture with type 3 Optic on concrete footing, 150W	0.83	2,300	10	VARIABLES		Test File RCS-X-S15-HQ JES at 15,800 Lumens
X-CL	Existing	Existing incandescent canopy fixture with no optic, 75W	0.80	3,000	8	NA		Test File Cree A19-75W-P1-27K-E24-UJES at 1,179 Lumens
X-LL	Existing	Existing Kirchlert or equal path light, 34W	0.80	3,000	2	NA		Test File Volt GU4-35-27JES at 183 Lumens


Site Lighting Plan
 Scale: 1" = 30'-0"



3 08/09/2024 CBI TOWNSHIP AND MCOCD RESUBMISSION
 2 05/29/2024 CBI TOWNSHIP COMMENTS, NEW SHEET

Site Lighting Plan
SPRING HOUSE ESTATES

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA



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Michael J. Urban
 Michael J. Urban,
 PA Lic. RLAD01127E

DRAWN BY: CBI
 CHECKED BY: MJU
 DATE: 05-29-2024
 DRAWING No.: L-8

SHEET 34 OF 34

Existing site conditions and dimensions shall be verified by Contractor and the Consultant notified of any discrepancies before proceeding with construction.