LOWER GWYNEDD TOWNSHIP BOARD OF SUPERVISORS REGULAR PUBLIC MEETING

Tuesday, November 26, 2024, 7:00 p.m.

To join the meeting via Zoom:

https://us02web.zoom.us/j/86870613453?pwd=qAqBolkfi7Lh5D4U82aYzoQsrS4rrb.1

Call #: 1-646-876-9923



CALL TO ORDER AND PLEDGE OF ALLEGIANCE

ANNOUNCEMENTS AND PRESENTATIONS

The Board of Supervisors met in executive session prior to tonight's meeting to discuss matters of personnel, real estate, and potential litigation.

PUBLIC COMMENTS

Citizen comments, concerns, questions for items not on the agenda (Comments on agenda items will be taken when those items are discussed by the Board)

BUILDING AND ZONING

- 1. Public hearing for a conditional use application for Gwynedd Estates (ACTS Retirement / Life Communities, Inc.) to permit grading, stormwater pipe and trail to extend into the riparian buffer allowing access to an existing nature area
- 2. Presentation of Gwynedd Estates (ACTS Retirement / Life Communities, Inc.) amended land development plan to construct a two-story building and parking for 40 skilled nursing beds

GENERAL BUSINESS

- 1. Discussion about improvements to Gypsy Hill & Penllyn Pike intersection
- 2. Consider authorization to proceed with final design of a culvert replacement at 448 Marion Avenue
- 3. Resolution 2024-31 authorizing submission of a PA Local Share Act grant application in the amount of \$580,000 for Oxford Park
- 4. Resolution 2024-32 authorizing submission of a PA Local Share Act grant application in the amount of \$999,366 for the Public Works Facility
- 5. Consider approval of a license agreement for 922 Chesterfield Drive
- 6. Consider approval of a Right to Know policy

- 7. Township Engineer Report November 2024
- 8. Traffic Engineer Report November 2024
- 9. Finance Report October 2024
- 10. Approval of invoice report
- 11. Approval of minutes November 12, 2024

SUPERVISOR LIAISON REPORTS

Questions about Volunteer Commission Meeting Highlights

STAFF UPDATES

Updates from staff on municipal activities and projects

SUPERVISORS COMMENTS

Comments or questions from the Board of Supervisors

Adjournment

UPCOMING MEETING DATES*

HUMAN RELATIONS COMMISSION	THURS	03/06/2025	7:00 P.M.
BOARD OF SUPERVISORS	TUES	12/10/2024	7:00 P.M.
ENVIRONMENTAL ADVISORY COUNCIL	WED	12/11/2024	7:00 P.M.
ZONING HEARING BOARD	THURS	12/12/2024	6:00 P.M.
PARKS AND RECREATION	TUES	01/21/2025	6:00 P.M.
PLANNING COMMISSION	WED	12/18/2024	7:00 P.M.

^{*}Please check the Township website to confirm meeting dates and times.



MEMORANDUM

ATTN: **Board of Supervisors**

DATE: November 21, 2024

Jamie P. Worman, Assistant Township Manager FROM:

SUBJ: **Gwynedd Estates Conditional Use-#24-06CU**

Gwynedd Estates Land Development-#20-04 (Amended)

Acts Retirement Life Communities Inc. has filed an amended land development and conditional use application for the Gwynedd Estates Facility. The applicant is proposing the addition of a twostory building at the northeastern corner of the site, modifications to existing access drives, an expansion of off-streeting parking, an emergency access drive, and new internal pedestrian walkways. The plans were originally approved by Resolution #2022-26 on November 7th, 2022. The plans were amended to now also include the replacement of a bocce ball court and picnic area, as well as an additional stormwater management facility on-site. They are also proposing to construct a trail extension and bridge. The added improvements are within the riparian and wetland buffer area requiring conditional use approval. The conditional use application and amended land development plans were reviewed and recommended for approval at the Planning Commission Meeting held October 16th, 2024. A conditional use hearing is scheduled for the BOS meeting on November 26th, 2024, and the amended land development plans will be presented. The information is linked above and attached to this memo for your reference. A revised waiver letter is also attached.

The applicant is represented by Bernadette Kearny, Esq. She will handle the hearing.

Recommended Motion: Conditional Use #24-06- It is recommended that the BOS authorize the Township Solicitor to prepare a decision and order approving the conditional use application for the encroachment into the 25-foot wetland buffer area to facilitate the proposed improvements.

Recommended Motion: Amended Land Development Plan #20-04- It is recommended that the BOS authorize the Township Solicitor to prepare an approval resolution for the amended Gwynedd Estates Land Development Plan.

LEGAL ADVERTISEMENT CONDITIONAL USE HEARING NOTICE

Notice is hereby given that the Lower Gwynedd Township Board of Supervisors, on Tuesday, November 26, 2024, at 7:00 p.m., will hold a public hearing to consider the conditional use application ("Application") of Acts Retirement Life Communities, Inc. ("Applicant"), legal owner of the property known as Norristown Road, Parcel #39-00-02955-00-3, consisting of approximately 25 acres, located within the MF-3 Multifamily Zoning District ("Property"). The Applicant proposes the addition of a building at the northeastern corner of the Property with additional parking and the reconfiguration of the existing access drives (the "Proposed Use"). Conditional use approval is required pursuant to Section 1298.17(c), because the Proposed Use intends disturbance within the minimum riparian buffer for the installation of walkways and stormwater management piping. The Application must meet the requirements of Section 1298.07 of the Township's Zoning Code.

The Board of Supervisors will consider testimony and evidence from the Applicant at the hearing in support of the Application. Copies of the Application and proposed plans are available to be viewed at the Lower Gwynedd Township Building during normal business hours. Please contact the Township at (215) 646-5302 or mfarzetta@lowergwynedd.org, to schedule an appointment.

The public may participate in the meeting in person at the Lower Gwynedd Township Building, 1130 N. Bethlehem Pike, Spring House, PA 19477; onlinehttps://us02web.zoom.us/j/86870613453?pwd=qAqBolkfi7Lh5D4U82aYzoQsrS4rrb.1; or by calling 1-646-876-9923 and entering the meeting ID number 868 7061 3453 when prompted.

At the hearing, members of the public may request party status. Only those granted party status may question witnesses, present testimony, and appeal from the decision to court. Party status is not required to provide comments only, and comments may be presented in writing, or verbally at the conclusion of the hearing. Anyone requesting party status or who wishes to submit written comments in advance of the hearing, are encouraged, but not required, to email the Township Solicitor, Neil Andrew Stein, Esquire, nstein@kaplaw.com, with your name, address, e-mail address, and telephone number and any comments.

Neil Andrew Stein, Esquire Lower Gwynedd Township Township Solicitor

PLEASE PROVIDE PROOF OF PUBLICATION





PHILADELPHIA GROUP

AFFIDAVIT OF PUBLICATION

390 Eagleview Boulevard • Exton, PA 19341

LOWER GWYNEDD TOWNSHIP 1130 N BETHLEHEM PIKE PO BOX 625 SPRING HOUSE, PA 19477 Attention: M. Farzetta

STATE OF PENNSYLVANIA,

The undersigned	Kichard	L.	crowe	, being	duly sworn
the he/she is the prin	ncipal clerk of	The	Reporter, The Rep	orter Digital,	published in
Montgomery County fo					_
of a general character					nexed hereto
is a copy of certain ord	ier, notice, put	olicat	ion or advertiseme	ent of:	
LOWER GWYNEI)D TOWNSH	IIP			
Published in the fol	lowing edition	on(s)			
The Reporter, The Repo 11/11/24, 11/18/24	rter Digital				

Commonwealth of Pennsylvania - Notary Seal MAUREEN SCHMID, Notary Public Montgomery County My Commission Expires March 31, 2025 Commission Number 1248132

Sworn to the subscribed before me this _

Notary Public, State of Pennsylvania **Acting in County of Montgomery**

LEGAL ADVERTISEMENT CONDITIONAL USE HEARING NOTICE

Neil Andrew Stein, Esquire Lower Gwynedd Township Township Solicitor LAN: Nov. 11, 18. a-1

Advertisement Information

Client Id:

881248

Ad Id:

2658670

Cond Use Hearing

Sales Person: 063308

UDUID CHUFIGINUS....

PENNSYLVANIA GROUP

Account:

881248

Name:

CAROLE CULBRETH Mary

Company:

LOWER GWYNEDD TOWNSHIP

Address:

1130 N BETHLEHEM PIKE

PO BOX 625

SPRING HOUSE, PA 19477

Telephone:

(215) 646-5302

Fax:

 $(000)\ 000-0000$

Description:

LEGAL ADVERTISEMENT CONDITIONAL

11/18/24 Date:

Start Date: 11/11/24

Stop Date: 11/18/24

Class: 1201 - Legal Notices

Ad ID: 2658670

Ad Taker: **DRDMCCORMICK**

Sales Person: Diane McCormick (063308)

Words: 345 Lines: 96 Agate Lines: 96 Depth: 10.667

Inserts: 4

Blind Box:

PO Number: Cond Use Hearing

Total:

\$1,127.62

Paid Amount:

\$0.00

Amount Due:

\$1,127.62

Publication

The Reporter, The Reporter Digital

Ad sample

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Neil Andrew Stein, Esquire Lower Gwynedd Township Township Solicitor LAN: Nov. 11, 18. a-1

> We Appreciate Your Business! Thank You CAROLE CULBRETH Mary!



www.HRMML.com Lawyers@HRMML.com

J. Edmund Mullin Steven H. Lupin Douglas I Zeiders Carl N. Weiner Mark F. Himsworth Steven A. Hann Steven B. Barrett Christen G. Pionzio Ethan R. O'Shea Bernadette A. Kearney Paul G. Mullin John I. Iannozzi William G. Roark Lisa A. Shearman, LL.M. Nathan M. Murawsky Robert I. Jannozzi Ir. Sean E. Cullen LL.M. Ron L. Woodman Kevin M. McGrath Kathleen A. Maloles Steven J. English Danielle M. Yacono John F. McCaul Zachary R. Morano Brittany Ann Kane Celso L. Leite J. Braun Taylor

OF COUNSEL:

Jonathan Samel, LL.M John C. Rafferty Jr. Senator Noah Marlier

LANSDALE

1684 S. Broad Street Suite 230 Post Office Box 1479 Lansdale, PA 19446-5422 Phone 215-661-0400 Fax 215-661-0315

PHILADELPHIA

123 S. Broad Street Suite 2102 Philadelphia, PA 19109 November 21, 2024

17834-018

VIA EMAIL to jworman@lowergwynedd.org

Jamie Worman Township Manager Lower Gwynedd Township 1130 North Bethlehem Pike Spring House, PA 19477

Re: Conditional Use Application- Acts Retirement-Life Communities, Inc.

Gwynedd Estates

Dear Ms. Woman:

This letter is to request to amend the conditional use application of Acts Retirement-Life Communities, Inc. for its Gwynedd Estates community filed with the Township on October 10, 2024.

Twenty (20) copies of revised Plan A will be sent under separate cover from Eustace Engineering. Paragraph 5 of the Conditional Use Applicant is amended to reference that a level spreader will be installed in the location shown on revised Plan A.

Please call me at 215-616-1522 or email me at <u>BKearney@hrmml.com</u> if you have any questions. Thank you.

Very truly yours,

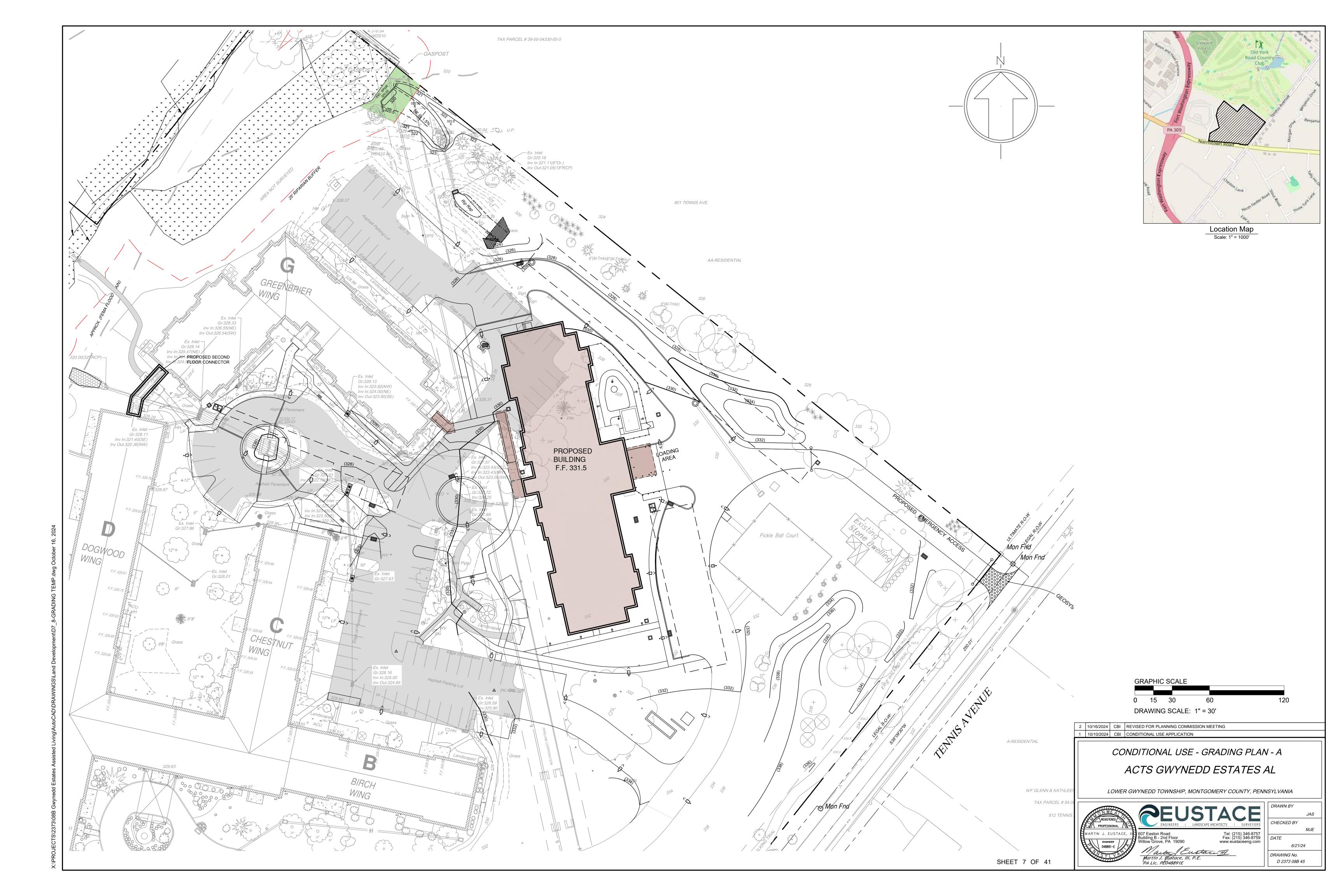
HAMBURG, RUBIN, MULLIN, MAXWELL & LUPIN

BERNADETTE A. KEARNEY

BAK:haw

{03942936;v2}

cc: Mary Eustace, via mail Robbie Sutton, via email Shawn Machese, via email Edward Brown, via email Chris B. Isenberg, via email Neil Stein, Esq., via email





				Date: 10/10/2024	Job No. 2373-08B	
Lower	Gwynedd Tow	/nship		Attention: Jamie Worma	n - Zoning Officer	
48 Kni	48 Knight Road			Re: Conditional Use Application		
Amble	Ambler, PA 19002			Acts Gwynedd Estates AL		
We are	e sending you	🗷 Attach	ed Under separa	te cover via	the following items:	
□Sho	p Drawing	x Prints	■ Samples			
X Cop	y of Letter	x Plans	☐ Specification:	s Others:	_	
Copies	Date	No.		Description		
1	10/10/2024		Conditional Use Applica	ation (5 @ 8.5x11)		
20	10/10/2024		Conditional Use Drawin	gs (3 @ 24x36)		
11	10/10/2024		USB drive with Applicat			
1	10/10/2024		Check 17400 - Applicati	on Fee: \$4,000		
For app	roval 🔲 Res	ubmit cop	oies for approval 🔲 Ap	proved as noted		
☐ For your	ruse For	review and c	comment Su	ubmit copies for distribu	ution	
As requ	ested Ret	urned for cor	rections Re	eturn corrected prints	☐ For storage	
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REMARKS	:					
				- 7.6		
Сору То:	Acts Retirem	nent Life		Signed: Chris B. Isenberg	a RLA	
Copy 10:				olgiled	VI.50=15	

* If enclosures are not as noted, kindly notify us at once

607 Easton Road Building B, 2nd Floor Willow Grove, PA 19090 215.346.8757 eustaceeng.com



Lower Gwynedd Township

1130 N. Bethlehem Pike, P.O. Box 625 Spring House, PA 19477 (215)646-5302- phone (215)646-3357-fax www.lowergwynedd.org

Conditional Use Appeal to Board of Supervisors

1.	Date:_	10/10/2024	
2.	Classif	ication of Appeal (☑Request for a Co □Other (specify):	
3.	Applic	ant:	
	err rece	Name:	Acts Retirement Life Communities, Inc.
		Mailing Address:	420 Delaware Drive
		Samuel and and	Fort Washington, PA 19034
		Phone Number:	
		Email Address:	SFletcher@actslife.org
		State owner of leg	gal title, if other than Applicant: V.P. of Real Estate Services
4.	Applic	ant's Attorney:	
		Name:	Bernadette Kearney
		Mailing Address:_	
			Lansdale, PA 19446-5422
	Phone Number:_		
		Email Address:	BKearney@HRMML.com
5.	Proper	rty:	dd Estatos 201 Norristaus Dd. Ambler DA 10002
			dd Estates, 301 Norristown Rd., Ambler, PA 19002
			lassification: MF-3 Multifamily District 25.00 Acres
		Area:	
		Frontage:	
		Depth:	
			e current use and the existing improvements on the endent and Assisted Living Facility for Seniors

	Description of the proposed use and the proposed improvements (if different): Stormwater piping, grading, gravel trail extension and accessibility improvements within the 25' Riparian Buffer for
	access to existing Nature Area.
5.	Legal grounds for appeal: Cut/Fill calculations show no additional fill within the 100-year floodplain nor 25' Riparian Buffer area. Proposed improvements are for ADA access to existing nature area. No wetlands nor waters will be destroyed as part of this improvement. Area is maintained as lawn.
7.	State each section of the zoning ordinance involved in this application: Section 1298.17(c)
3.	Has any previous appeal or application been filed in connection with this property? Yes □ No If yes, date and specifics: Conditional Use granted for trail extension, bridge and storm water management facilities on February 28, 2017 (attached).
€.	Is public water available to this property? Is public sewer available to this property? Yes □ No Yes □ No
LO	Does this Application involve a proposed subdivision? ☐ Yes No If yes, has a subdivision plan been filed with the Township? ☐ Yes ☐ No

Signature of Applicant

Afformy for Applicant



www.lowergwynedd.org

March 1, 2017

Bernadette Kearney, Esq. ACTS Center-Blue Bell 375 Morris Road P.O. Box 1479 Lansdale, PA 19446-0773

Re:

ACTS Retirement-Life Communities

301 Norristown Road Lower Gwynedd, PA

Dear Ms. Kearney,

Attached is an executed copy of the Decision and Order approved at the Board of Supervisors meeting on February 28, 2017.

Sincerely,

Craig T. McAnally Township Manager

/cbc

Enc.

BEFORE THE BOARD OF SUPERVISORS OF LOWER GWYNEDD TOWNSHIP, PENNSYLVANIA

IN THE MATTER OF CONDITIONAL USE APPLICATION:

ACTS RETIREMENT-LIFE

COMMUNITIES, INC.
301 NORRISTOWN ROAD

LOWER GWYNEDD, PA :

DECISION AND ORDER

AND NOW, this 22 day of talruay, 2017, upon consideration of the application of ACTS RETIREMENT-LIFE COMMUNITIES, INC. ("Applicant") for a Conditional Use for Township approval to permit the construction of a trail extension, bridge and storm water management facilities in riparian and wetland buffers on property commonly known as Gwynedd Estates (the "Proposed Use") on property located at 301 Norristown Road, Lower Gwynedd, PA (the "Property") in accordance with Section 1298.17(c) of the Lower Gwynedd Township Zoning Ordinance, and upon consideration of the testimony produced at the hearing before the Board of Supervisors on February 28, 2017, the application is hereby APPROVED subject to the following conditions:

1. Nothing in this Decision and Order shall be construed as either an express or implied waiver of any provision of any applicable ordinance of Lower Gwynedd Township. No level of development is guaranteed by virtue of this conditional Approval and the Proposed Use shall be permitted only if the fully-engineered Plans for the Property can demonstrate compliance with all applicable zoning and subdivision and land development regulations of the

Township as well as any relevant statutes or regulations of any other governmental entity having jurisdiction over development on the Property.

2. The use permitted by this Approval shall be consistent with the application, testimony and exhibits submitted to the Board of Supervisors at the public hearing held on

February 28, 2017.

3. Applicant shall be permitted to construct the requested trail extension, bridge and

storm water management facilities in riparian and wetland buffers as depicted on the Plan

produced as an exhibit to the Conditional Use application. No further improvements shall be

permitted on the Property without approval of the Township.

4. All of the terms, conditions and provisions of this Decision and Order shall be

included as notes on any final record plan prepared and recorded as a part of any future land

development approval for the Property.

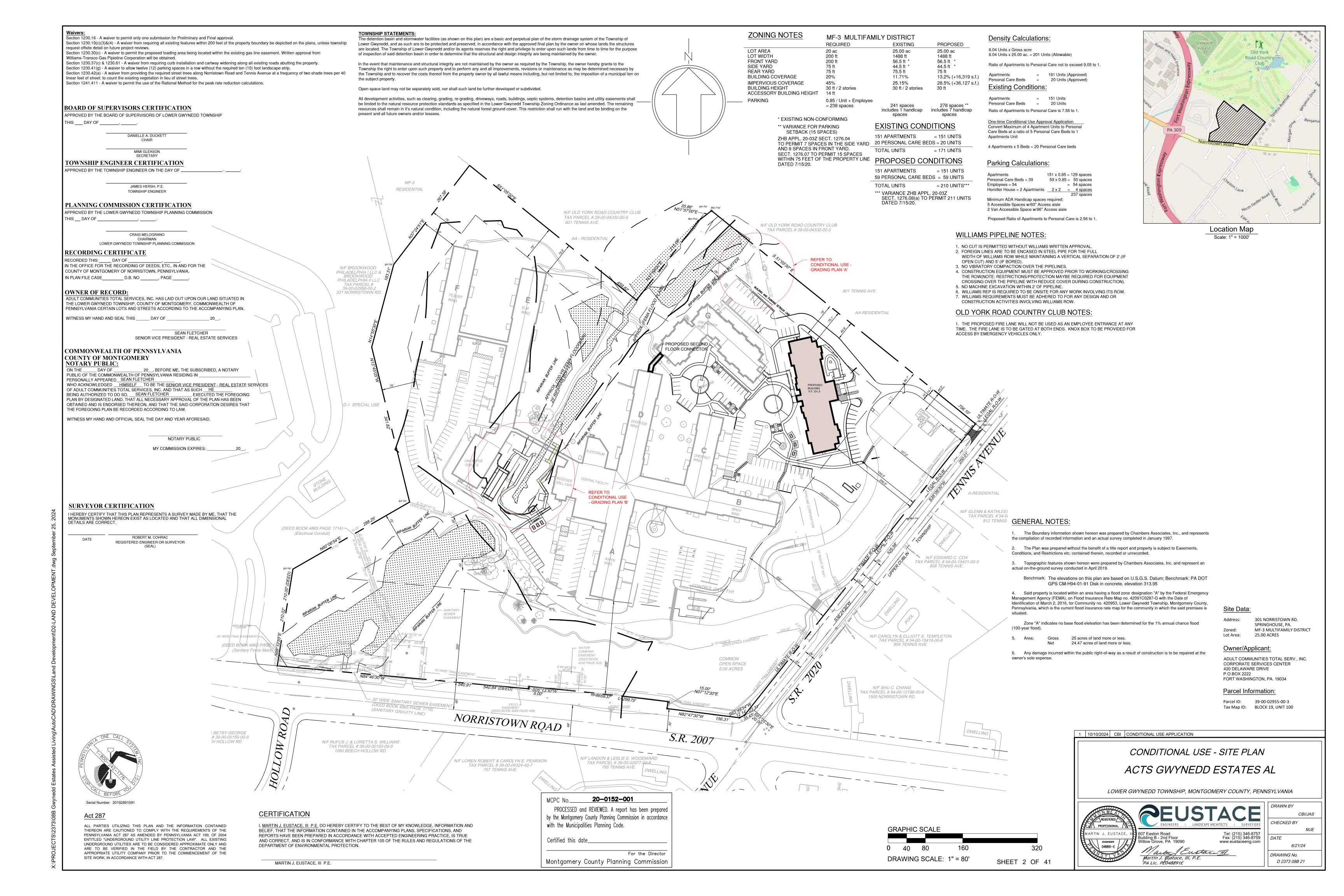
LOWER GWYNEDD TOWNSHIP BOARD OF SUPERVISORS

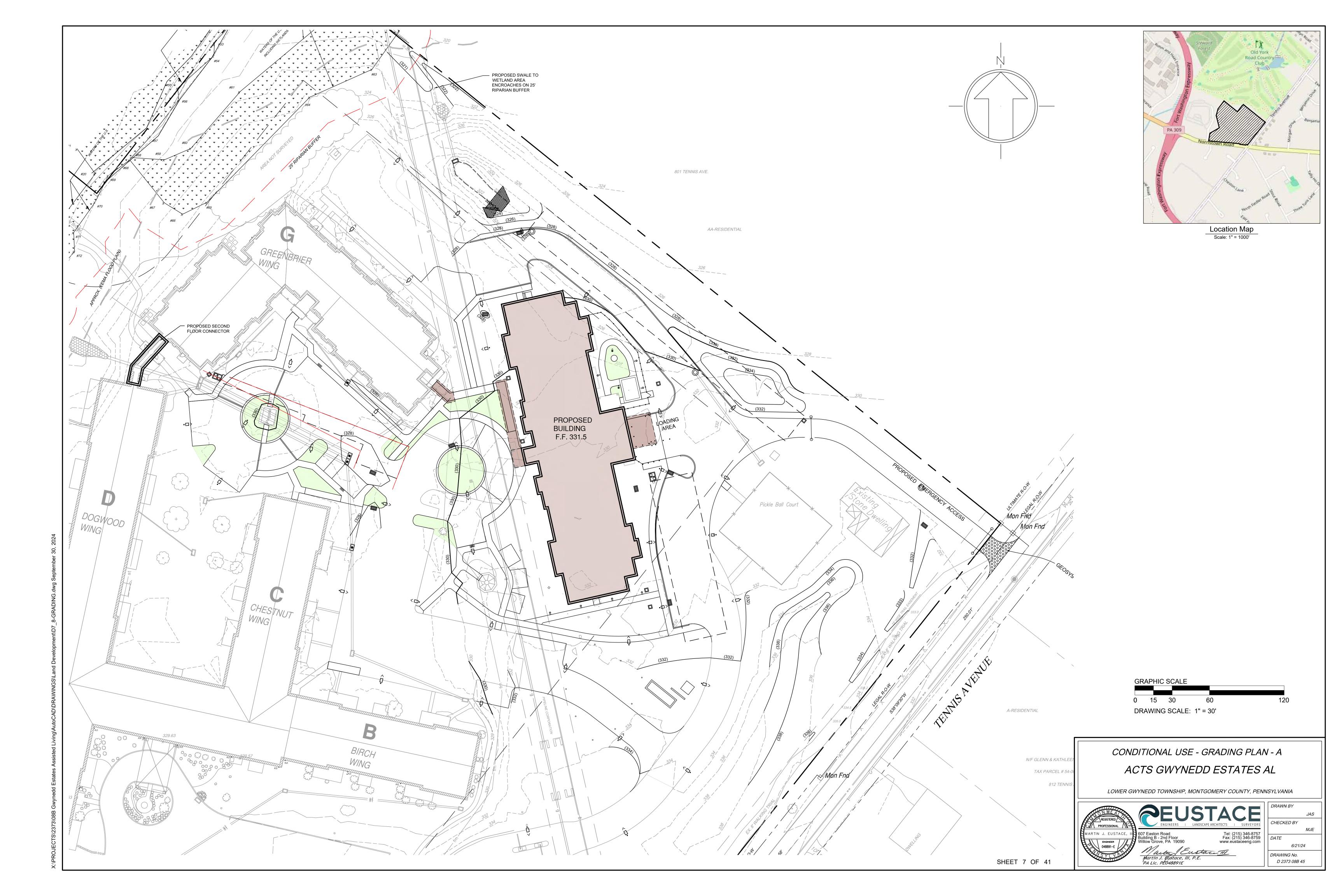
By:

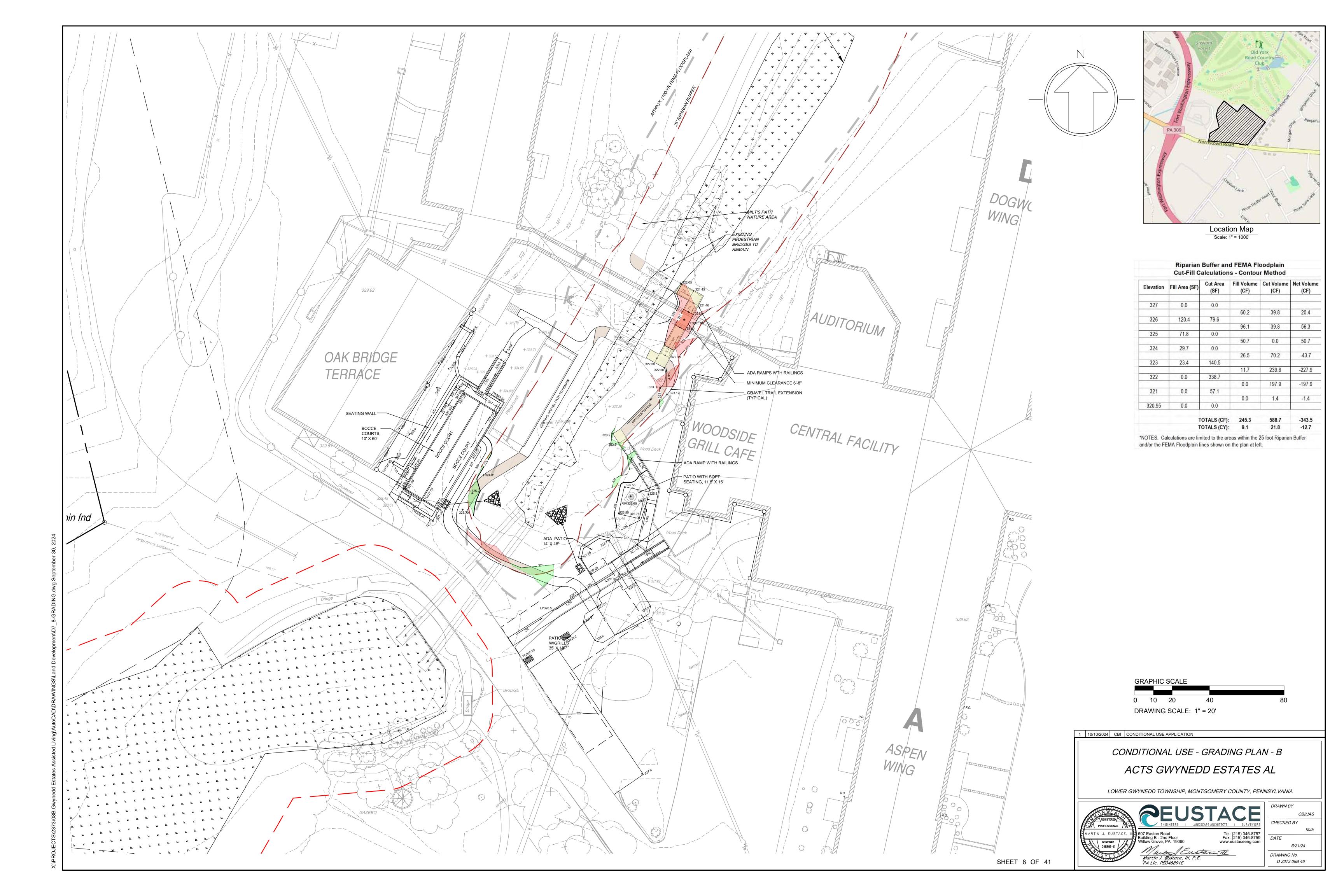
Stephen P. Paccione. Chairman

Attest.

Craig McAnally, Secretary







LOWER GWYNEDD TOWNSHIP PLANNING COMMISSION Minutes of October 16, 2024

Present: Craig Melograno, Chair

Rich Valiga, Vice-Chair

Maureen Nunn
Danielle Porreca
Michael Mrozinski

Patty Furber, B&Z Administrator

Chad Dixson, Bowman

Ed Brown, Gilmore & Associates

Absent: Craig Adams, Rusty Beardsley

Call to Order:

The meeting of the Lower Gwynedd Township Planning Commission was called to order at 7:00 PM.

Approval of Minutes: August 21, 2024

A motion was made by Mr. Mrozinski and Ms. Porreca to approve the minutes of the Lower Gwynedd Township Planning Commission meeting of August 21, 2024. The motion carried unanimously.

Conditional Use Application:

ACTS Gwynedd Estates 301 Norristown Rd.

#24-07CU

Present for the conditional use application was Ms. Bernadette Kearney from HRMM&L, Mr. Chris Isenberg and Mr. Martin Eustace from Eustace Engineers.

Ms. Kearney gave the PC background on the history of their previous approvals. Ms. Kearney stated back in 2022 both the PC and BOS approved their land development application for a skilled nursing facility. Ms. Kearney stated that they previously met with Old York Road Country Club, and they came to an agreement back in 2022 prior to receiving their preliminary/final approval. Ms. Kearney stated that they notified the country club regarding the change of the beds from skilled nursing to personal care. Ms. Kearney stated that they had to tweak the neighbor agreement since those references skilled nursing beds instead of personal care beds. She stated they are also working on issues with the country club regarding the two trees near the area of the golf course.

Ms. Kearney stated that they received their review letter from Gilmore in reference to the amended land development plans. She stated that their review letter noted that conditional use application would be required for the riparian buffer. She stated that back in 2017 they had to obtain conditional use approval for a riparian buffer for the trail. Mr. Melograno wanted to know if we are just proceeding with their condition use application tonight and are they returning for the remainder of their requests. Mr. Brown stated that he thought they would just go back to the BOS for their amended land development plans. Ms. Kearney stated that they intend on doing a little more with stormwater improvements than originally submitted. She stated that she intends on notifying the country club of their changes. Mr. Brown stated that most of the amendments to their plans address stormwater only.

Mr. Eustace explained that there is an existing basin on the north side of the campus and a pond that discharges into a channel. Mr. Eustace stated that their plans consist of Point A (shows the area of the exiting surface basin and how that discharges) and Point B (shows the southern part of the campus including adding new activity amendments). He stated there is no change in the existing footprint. Mr. Eustace stated that part of the project consists of an existing surface basin along the north property line. He stated they kept a portion of the surface basin, converted the balance of the basin and expanded the overall size to meet today's requirement. He stated they had a meeting earlier in the week with the country club and they had concerns regarding stormwater. After that meeting, they developed a concept plan that realigns the discharge pipe in a fashion that would be more parallel to the property line. This would keep all the water coming off that basin from the golf course. Mr. Eustace stated that their design feature would not interfere with the Williams Gas Pipeline (that runs parallel to the basin). He stated that they came up with a concept plan which consists of adding a berm that will move the swale up towards the headwall. They will install a level spreader to spread the stormwater discharge. He stated that the level spreader will consist of the berm with a concrete pad for a solid surface.

Mr. Brown stated that he thought it was reasonable to recommend approval for stormwater and grading related disturbances within the riparian buffer as part of their conditional use. Mr. Valiga wanted to know if the runoff was still going onto the golf course. Mr. Eustace stated that some of the stormwater would go towards the golf course, but they will redirect that towards an existing swale along the channel. Ms. Kearney stated that she will email the revised Plan A to the country club for their review. Mr. Eustace stated that they are going the extra mile to better the stormwater situation for the country club.

Mr. Eustace showed the PC a rendering showing a bistro, grille area and bocce ball court. This new plan is to be referred to as Plan B (this was not included in their original conditional use submission to the township or Gilmore). Mr. Eustace stated that the

ACTS community wanted to enhance that gathering area for their residents. He stated that the residents were looking to add a bocce ball court. He stated there are no ADA accessible rails to access their gathering area. Currently, the residents must cross the east side (where there are two existing bridges) to cross from one side of the campus to the other. He stated that they are proposing a new walkway with a clearance of 6'8" to create an opportunity to walk the balance of the campus. He stated there are some existing paths that were part of an existing conditional use, and they are just trying to connect to those paths.

Mr. Eustace stated that they are going to design a stormwater system on the west side of the campus, which includes collecting the down spouts from OakBridge Terrace and direct the runoff to the stormwater management facility underneath the bocce court. Mr. Eustace stated that when you combine all the stormwater management facilities into the overall project, it makes quite an impact. He stated they can reduce the lower flood storm events by 44% and a higher-level flood storm event by 16-33%. He stated that when you sum up all these steps, they are helping the golf course even more than they realize. He stated that this overall design is going to have a positive impact. Mr. Melograno wanted to know what happens if the reviews come back and someone doesn't like Part A or Part B of their plan, then what. Mr. Eustace stated that they submitted their plans to the Montgomery County Conservation District and walked them through their entire project. He stated the conversation district had the first crack at their original design, they took the county's comments into consideration with their plans. Mr. Melograno wanted to know how this new plan doesn't change their land development approval. He stated that the bocce ball court is new and what they are proposing with Plan B is all new, so how doesn't that affect their land development. Mr. Brown stated that the amended plans were deemed minor enough to just amend the final approval, but Plan B was not part of that. Mr. Brown stated that they don't seem like major changes to the original land development.

Mr. Brown stated that they have not received their NPDES approval, so they had to make some revisions to their stormwater management systems. Mr. Brown stated that there are two additional waivers that were requested. He stated that waiver request #7 does not apply so that will be removed from the plans. Mr. Brown stated that Gilmore had no objection to their waiver request #6, but they will need to add some clarification on the plans and to count the existing vegetation. Mr. Mrozinski wanted to know if Mr. Brown saw any issues with either plan. Mr. Brown stated that he sees no major concerns since they are not disturbing the wetlands. Also, with Part B, which consists of mainly stormwater and trails, he noted that many of the trails already exist, so he doesn't foresee any issues. Mr. Valiga wanted to know about the waivers, if they have received approval from the Williams Pipeline Company. Mr. Eustace stated that they have contacted them and have received unofficial approval (via email).

Mr. Eustace stated that they had met with Mr. Brown and Mr. Hersh from Gilmore to address all past issues and that was extremely helpful.

A motion was made by Mr. Mrozinski and seconded by Ms. Porreca to recommend approval of the conditional use application to the BOS with the following recommendations:

- 1. The PC recommends approval of the stormwater and grading improvements in the riparian buffer for Part A;
- 2. The PC recommends approval of the stormwater, grading and trail improvements in the riparian buffer for Part B;
- 3. The applicant will comply with Gilmore's review letter dated Sept. 18, 2024; the PC supports the additional waiver request (#6) per the plans for Part A and revised Part A;
- 4. The PC supports the approval of the amended land development submission. The motion passed with a 5-0 vote.

<u>Lower Gwynedd Township & BET Investments:</u> MF-3 Text & Map Draft Amendment Ordinance

Present for the draft amendment was Mr. Michael Markman from BET Investments and Ms. Julie Von Spreckelsen from Eastburn & Gray, PC. Ms. Spreckelsen stated that BET Investments are the equitable owners of 321-323 Norristown Road which is currently zoned D-1. Ms. Spreckelsen stated that the applicant proposes a mixed-use development which is not permitted within the D-1 district. Ms. Spreckelsen stated that this text amendment would allow the campus to be rezoned from D-1 to MF-3 and a mixed-use section would be added to the ordinance through conditional use. Mr. Markman showed renderings of the future campus that showed apartments, retail and office use. Mr. Markman stated the apartments would be very similar to their project located at 555 Flats in Horsham. Mr. Markman stated that the office park is currently in poor condition. Mr. Markman stated that the property is located next to the ACTS site. He stated that they had met with ACTS and stated that it was a great meeting. He stated that they also met with the country club since they will be direct neighbors.

Mr. Markman stated that the "L" shaped building on the site is currently occupied by Berkadia. He stated that their employees work in the office 3 days a week and they would like to keep that space. They are currently working on an extension with Berkadia through 2038. Mr. Melograno stated that if the lease works out with Berkadia, that building needs a lot of work. Mr. Markman stated that building improvements would be part of the process.

Mr. Markman proceeded with showing more renderings of the proposed site. He stated that they plan on building a higher-end apartment building with a parking garage. The tenants would drive into the parking garage, park as close as possible to the building, and be able to walk right into their apartment. Mr. Markman stated that the site would have EV charging stations, a courtyard with a pool and other amenities. Mr. Markman stated that none of the renderings are set since zoning approval is still required. Mr. Markman stated that the site would include some retail, along with office and residential. Mr. Markman stated that a grocery store would be included so their tenants wouldn't have to leave the site if they didn't want to.

Ms. Porreca wanted to know if a traffic study was conducted. Mr. Markman stated that one was submitted to the township around 6 months ago. Ms. Porreca stated that she lives right near that intersection, and it's already congested and very loud. Mr. Markman stated that the traffic study would be discussed at the next meeting. Mr. Dixson stated that their traffic study was not received by his office. Mr. Markman stated he would send it again.

Mr. Markman stated that they have been working with the township and the Montgomery County Planning Commission to include 10% of the units as workforce housing that would include a reduction in rent. Mr. Melograno wanted to know if the applicant is OK with the way the ordinance reads now. Mr. Markman stated that they worked with John Kennedy and the township to rewrite the ordinance numerous times and agree with everything that is written. Mr. Melograno stated that there was an internal meeting with township staff where the draft ordinance was discussed. From the discussion at the internal township meeting, Mr. Melograno stated that there would be no digital signs at the site and the parking structures would be for residential use only. Mr. Markman agreed that there would be no digital signs on their site and the parking garage would be used only for residential use. Mr. Melograno stated that the parking structure was also to provide some type of architectural element for buffering. Mr. Markman stated that buffering will be included.

Mr. Valiga wanted to know about the impervious coverage, specifically the 65% allowance. He stated that it wasn't clear if that only applied to the parking structure only. Ms. Spreckelsen explained that the ordinance is trying to encourage adding a parking structure. If a parking structure is added to the site, you would be permitted 65% impervious coverage vs 20% if no parking garage was added.

Mr. Valiga wanted to know about the front yard setback and where would the front yard be located. Mr. Markman stated that it would be along Norristown Rd. Mr. Valiga stated that the setback is currently at 50 'feet and that there was a comment that it should be 100' feet. Mr. Valiga wanted to know what the setback included if that included grass and trees or structures. Mr. Brown stated that would be the building setback line. Mr.

Valiga and Mr. Melograno wanted to know what the changes to the setbacks would be since this zoning district already exists. Mr. Melograno suggested since MF-3 already exists and they want to change the setbacks, they need to submit the data to compare. Mr. Valiga stated that it would be extremely helpful to compare what the standards are to what is proposed. Ms. Porreca wanted to know if this would be the tallest building within the township. The proposed building will be 5-stories. Mr. Valiga stated that he struggled with the definition of workforce housing until he got to page 4. Mr. Melograno wanted the applicant to explain workforce housing. Mr. Markman stated that was requested by the township. Mr. Markman stated that would include 10% of the units and would likely result in a rent reduction of \$300-\$500 monthly. Mr. Melograno wanted to know if they had any other projects where they had the workforce units incorporated into their apartment buildings. Mr. Markman stated that they have not had any experience in incorporating the workforce units into their developments. Mr. Valiga wanted to know if there were any other workforce units within Montgomery County. He stated he wanted to see how this would be monitored since a lot of information is required, such as income. Mr. Markman stated that Montgomery County issues a median income, that they would have to submit a report to the township, and there is record keeping involved. Mr. Valiga wanted to know how functional this is and if it's working in other developments. Mr. Markman stated that they would find other apartments that have workforce units included and bring that information back to the PC. Mr. Valiga wanted to know how they would deny an application for the workforce units. Mr. Markman stated that they would look at their income to see if they would qualify. Mr. Melograno wanted to know what income would be considered, could the applicant use a co-signer. Mr. Markman stated that a tenant wouldn't be able to include a co-signer. He stated that each two-bedroom unit will be limited to two tenants only. Mr. Markman stated that the township could change the ordinance in 5 years and always remove the workforce units, they are just adding it because it was requested by the BOS.

Mr. Melograno stated that three uses are required to qualify as a mixed-use site and wanted to know what their third use would be. Mr. Markman stated that there is an interest in a restaurant. So, there would hopefully be a grocery store, restaurant and apartments. Mr. Valiga suggested they add a connection such as a walkway or trail from their site on Norristown Rd. to connect to Sumneytown Pike. Mr. Markman stated that there were discussions about adding a sidewalk for connection underneath the 309 bypass. Mr. Melograno stated that the PC's biggest concern was the front yard setback. He stated that he looked it up and that the existing front yard setback is currently 200' feet. Ms. Spreckelsen stated that the existing setback would be difficult to achieve since the Old York Road Country Club requested that their new building not be so close to their property. Mr. Markman stated that he would investigate different configurations. Ms. Spreckelsen wanted to know what was the PC's concern regarding the front yard setback. Mr. Melograno stated that the Spring House Innovation Park has a 200' front yard setback and that was a big deal for the residents towards that side of 309. Mr.

Markman stated with that, his issue is retail use. He stated that retail stores prefer to be closer to a roadway for visibility. Mr. Mrozinski stated that if they are looking at connecting to 309 that might change the way they might do their setbacks. Mr. Melograno wanted to know if they could have different setbacks for the different uses. Mr. Markman stated that they will be back next month to go over this in more detail.

The PC recommends the following:

- 1. The PC recommends adding the definition of "workforce dwelling units" to the first page (second paragraph);
- 2. Some of the PC members have concerns about the inclusion of the workforce housing units as part of the ordinance;
- 3. The PC's biggest concern is the front yard setback requirement; they would prefer different setbacks for each proposed use (residential/retail/office).

ADJOURNMENT

There being no further business, the meeting was adjourned at 8:50 P.M. Respectfully submitted, Patty Furber, Secretary

MONTGOMERY COUNTY BOARD OF COMMISSIONERS

JAMILA H. WINDER, CHAIR NEIL K. MAKHIJA, VICE CHAIR THOMAS DIBELLO, COMMISSIONER

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MONTGOMERY COUNTY PLANNING COMMISSION

Montgomery County • PO Box 311 Norristown, Pa 19404-0311

610-278-3722 PLANNING@MONTGOMERYCOUNTYPA.GOV

> SCOTT FRANCE, AICP EXECUTIVE DIRECTOR

November 8, 2024

Ms. Jamie Worman, Assistant Township Manager Lower Gwynedd Township 1130 North Bethlehem Pike Post Office Box 625 Spring House, Pennsylvania 19477

Re: MCPC # 20-0152-002

Plan Name: Riparian Buffer Improvements

1 lot comprising 25 acres

Situate: Norristown Drive (cross street: Tennis Avenue)

Lower Gwynedd Township

Dear Ms. Worman:

We have reviewed the above-referenced conditional use land development plan as you requested on October 16, 2024. We forward this letter as a report of our review.

BACKGROUND

The applicant, Acts Retirement Life Communities Inc., is proposing a two-story building on an existing continuing care retirement community campus. The proposal includes modifications to existing access drives, an expansion of off-street parking, an emergency access drive onto Tennis Avenue, and new internal pedestrian walkways. In addition, the applicant is seeking conditional use approval to construct a trail extension, bridge, and stormwater management facilities within the riparian and wetland buffer area. The township prohibits "filling, grading, clearing or development related to any structure or improvement, including stormwater management facilities" within any wetland or riparian buffers (§ 1298.17); however stormwater management facilities, utility crossings, roads and driveway crossings may be permitted by conditional use if no other reasonable alternative exists. The property is located in the MF-3 Multifamily zoning district. We reviewed a previously submitted proposal for this site in a letter dated September 25, 2020.

COMPREHENSIVE PLAN COMPLIANCE

The proposal is generally consistent with the county's comprehensive plan, MONTCO 2040: A Shared Vision, which shows the area located in the "Suburban Residential" future land use areas. Suburban Residential

areas consist of single family detached homes, less dense single-family attached uses, and institutional uses. Residential development should match the character and type of housing found in the immediate neighborhood, and environmentally sensitive land should be preserved.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issue that the applicant and township may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

SITE PLAN

A. <u>Tree Preservation</u>. The property contains existing mature trees, which are shown on the submitted plans. Based on the plans provided, it is unclear how many trees would be removed for the development of the building and other site improvements. The township requires that the preservation of healthy trees and shrubs be considered during land development site planning (§ 1230.41(i)). We recommend the applicant coordinate with the township to determine the best location for any required replacement trees.

CONDITIONAL USE

A. <u>Buffer Replacement</u>. The proposal includes disturbance within the riparian and wetland buffer area, which is permitted by conditional use, per Section 1298.17(c). Township zoning requires that any riparian and wetland buffer area that is destroyed must be replaced elsewhere on the site. We recommend that the applicant demonstrate where they propose to add to the riparian corridor, to the satisfaction of the township engineer. In addition, inspection of the vegetation may be needed to determine if new riparian plantings would have an added environmental benefit.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal but we believe that our suggested revisions will better achieve Lower Gwynedd's planning objectives for sustainable development practices.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Please print the assigned MCPC number (24-0223-001) on any plans submitted for final recording.

Sincerely,

Claire Warner, Senior Community Planner

<u>Claire.Warner@montgomerycountypa.gov</u> – 610-278-3755

c: ACTS Retirement Life Communities, Inc., Applicant Bernadette Kearney, Applicant's Representative Mimi Gleason, Township Manager Kenneth Amey, AICP, Township Zoning Officer Craig Melograno, Chairman, Planning Commission

Attachment A: Aerial Image of Site

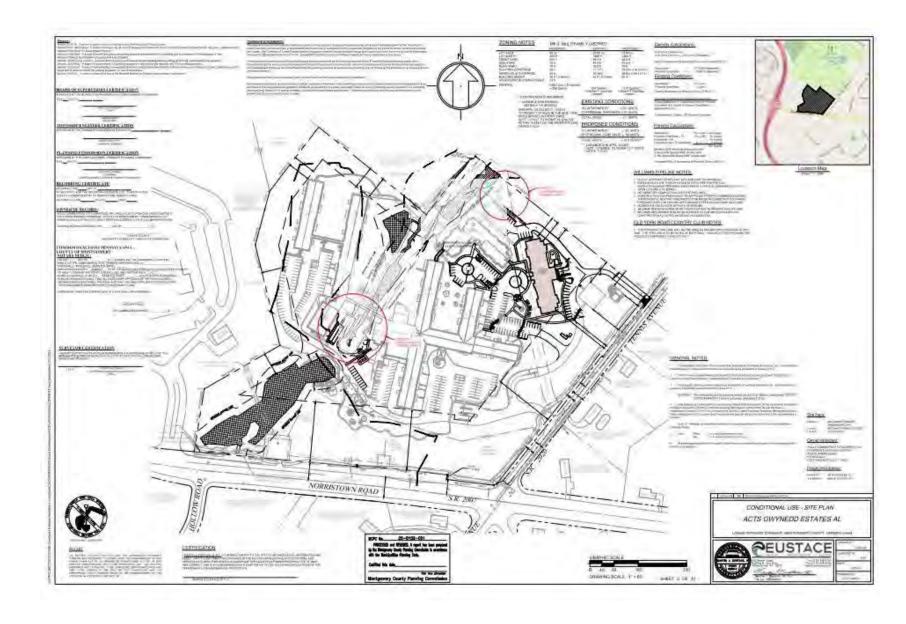
Attachment B: Reduced Copy of Applicant's Proposed Site Plan

ATTACHMENTS A & B



Riparian Buffer Improvements MCPC#240230001





November 21, 2024 File No. 20-08061

Mimi Gleason, Township Manager Lower Gwynedd Township 1130 N Bethlehem Pike, P.O. Box 625 Spring House, PA 19477

Reference: Gwynedd Estates, Amended Final Approval – Review 2

TMP #39-00-02955-00-3, Block 19, Unit 100 Preliminary/Final Land Development Plans

Dear Ms. Gleason:

Pursuant to your request, Gilmore & Associates, Inc. performed a review of the Amended Final land development plan submission for the above-referenced project. Upon review we offer the following comments for consideration by the Lower Gwynedd Township Board of Supervisors:

Submission

- A. Preliminary/Final Land Development Plans, consisting of sheets 1 through 44 of 44, dated June 21, 2024, last revised October 16, 2024, as prepared by Eustace Engineering, for Gwynedd Estates, located at 301 Norristown Road.
- B. Post-Construction Stormwater Management Report dated June 21, 2024, last revised October 16, 2024, as prepared by Eustace Engineering, Inc. for ACTS Retirement Life Communities, Inc.
- C. Erosion and Sediment Control Report, as prepared by Eustace Engineering, Inc., dated October 16, 2024.
- D. Comment Response Letter, as prepared by Eustace Engineering, Inc., dated October 16, 2024.
- E. Conditional Use Grading Plan, as prepared by Eustace Engineering, Inc., dated June 6, 2024, last revised October 16, 2024.

II. Project Description

The subject property TMP #39-00-02955-00-3, located at 301 Norristown Road, is situated in the Lower Gwynedd Township MF-3-Multifamily District. The subject property is accessed from Tennis Avenue (S.R. 2020). The tract consists of approximately 25 acres and currently contains an existing retirement community which includes a large central facility with three interconnected wings with various paved parking areas and access drives.

The plans propose the addition of a building at the northeastern corner of the site with additional parking and the reconfiguration of the existing access drives. The additional runoff from the added impervious surfaces areas will be controlled with an above grade MRC basin and five (5) subsurface infiltration basins beneath the parking areas.

III. Reference Documentation

A. Lower Gwynedd Township Board of Supervisors Resolution No. 2022-26 granted conditional Preliminary/Final Land Development Approval of the Plans at their regular meeting on November 7, 2022. We note that since the approval, the plans have been revised to include additional improvements to areas within the campus, including the replacement of bocce court and picnic area. In addition, the plans have been revised to amend the stormwater design to include additional stormwater management facilities on-site.

65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

IV. Review Comments

A. Zoning Variance Granted

At their July 16, 2020 meeting, the Lower Gwynedd Township Zoning Hearing Board granted the following variances from the Lower Gwynedd Township Zoning Ordinance:

- 1. §1276.04 To allow 7 parking spaces in the side yard and 8 parking spaces in the front yard.
- 2. §1276.07 To allow 15 parking spaces within 75 feet of the property line.
- 3. §1276.08(a) To allow the residential units per acre exceed a ratio the allowable 201 units up to 211 units

B. Zoning Ordinance

We offer the following comments with respect to the Lower Gwynedd Township Zoning Ordinance.

1. §1298.17 – The minimum riparian buffer shall be 25 feet. Additionally, no filling, grading, clearing or development related to any structure or improvement, including stormwater management facilities, shall be permitted within any wetlands, active creeks, streams, watercourses, waters of the commonwealth, waters of the United States of America, wetlands buffers or riparian buffers, unless permitted by conditional use. We note that the revised plans include improvements within the riparian buffer in the area of the proposed bocce court, including concrete pedestrian ramp, gravel walkways, minor grading and stormwater piping and level spreader.

C. Waivers Requested

On November 7, 2022, Lower Gwynedd Township Board of Supervisors, per Resolution 2022-26, granted the Applicant the following waivers from the provisions set forth in the Lower Gwynedd Township Subdivision and Land Development Ordinance (SALDO). We note that since the plans have been amended, the Applicant will be required to obtain the requested waivers below.

- 1. §1230.16 A waiver to permit a single submission for Preliminary and Final approval.
- 2. §1230.19(c)(3)&(4) A waiver from the requirement that all existing features within two hundred feet (200') of the Property boundary be depicted on the Plans. The Applicant has agreed to provide any offsite detail that the Township Engineer deems necessary as part of future project reviews.
- 3. §1230.30(c) A waiver to permit the proposed building entrance area being located within the existing Williams-Transco Gas Pipeline Corporation gas line easement.

This waiver is expressly conditioned upon the Applicant providing the Township with written approval from Williams-Transco, permitting the proposed building entrance area within the existing easement.

- 4. §1230.37(c) & §1230.61 A waiver from the requirement to install curb and to widen the cartway along all existing roads abutting the Property.
- 5. <u>§1230.41(g)</u> A waiver to allow thirteen (13) parking spaces in a row without the required ten-foot (10') landscape strip.

This originally approved waiver was to allow a maximum of twelve (12) spaces in a row, but since the plans have been revised the waiver has been amended to request a maximum of thirteen (13) spaces in a row.

Additionally, we note that the following waiver requests were not included in the original resolution and have been added to the plans.

6. <u>§1230.42(a)</u> – A waiver from providing the required street trees along Norristown Road and Tennis Avenue at a frequency of two shade trees per 40 linear feet of street: to count the existing vegetation in lieu of street trees.

We have no objection to counting existing trees to meet this requirement; however, we ask that the trees to be counted be identified on the plan by location, size, and species.

D. Conditions of Approval

The Applicant received Preliminary/Final Land Development Approval from the Lower Gwynedd Township Board of Supervisors at their regular meeting on November 7, 2022. Due to the plan revisions, we recommend the Board consider the conditions below as noted in the original approval resolution.

- 1. The Applicant is responsible for all required third party approvals, permits, etc. (e.g., Montgomery County Conservation District, PennDOT HOP, Fire Marshal, PADEP, etc.)
- 2. The Applicant will be required to enter into a Land Development and financial security Agreement with Lower Gwynedd Township. The documents will be prepared by the Township Solicitor and should be executed prior to the issuance of any building permits.
- 3. The Applicant will be required to enter into a Stormwater Ownership & Maintenance Agreement with the Township for the proposed on-site stormwater improvements. The document will be prepared by the Township Solicitor and shall be executed prior to the plans being recorded.
- 4. The Applicant will be required to pay a Stormwater Management Facility Fee for the proposed stormwater facilities. We note that since the plans have been revised, the total storage was increased to 15,616 cubic feet. As such, the stormwater management fee amounts to \$7,808.00 in accordance with Lower Gwynedd Township Resolution 2005-16.
- 5. The Applicant will be required to pay a transportation impact fee in the amount of \$22,850.00.
- 6. The Applicant shall provide the Township Manager and Township Engineer at least 72 hours' notice prior to the initiation of any grading or ground clearing.

In addition, we note the following outstanding comments, as well as offer additional comments from the revised design shall be addressed:

- 7. <u>§1230.31</u> We note that the retaining wall appears to be roughly four (4) feet in height. As such, the Applicant shall provide retaining wall design calculations from a structural engineer registered in the Commonwealth of Pennsylvania.
- 8. <u>§1230.63</u> The Applicant will be required to enter into a Tapping Fee Agreement for the proposed sewer connection. The agreement will be drafted by the Township Sewer Solicitor and shall be executed prior to the connection of the sewer facilities.
- 9. The spot elevations and curb elevations previously provided on the grading plan shall be added back to the plans.
- 10. The Applicant shall provide correspondence from the easement owner that this is acceptable. Additionally, the Applicant shall provide proof of an access easement to cross the gas easement. The Applicant has indicated that the Plans were submitted to Williams Pipeline and have been informally approved. The plans for the new swale from the existing basin and sanitary sewer easement will be submitted separately after formal approval for the amendments.
- 11. The note on sheet 38 states "Refer to sheet 32, "site landscape plan", for additional detail within disturbed area". We note that the note references the wrong sheet and shall be revised.
- 12. We note that the Applicant has responses to the pump station upgrade comments. Any additional comments will be provided under a separate cover.

JFB-111

If you have any questions regarding the above, please contact this office.

Sincerely,

Edward Brown, P.E. Project Manager

Gilmore & Associates, Inc.

EB/sI

cc: Jamie Worman, Assistant Township Manager

Neil A Stein, Esq., Township Solicitor

Patty Sexton-Furber, Building Codes Administrator

Al Comly, Township Fire Marshal

Chad Dixon, AICP, PP, McMahon Associates, Inc.

Marty Eustace, P.E., Eustace Engineering Chris Isenberg, R.L.A, Eustace Engineering James Hersh, P.E., Gilmore & Associates, Inc.



October 8, 2024

Ms. Mimi Gleason Township Manager Lower Gwynedd Township 1130 N. Bethlehem Pike Spring House, PA 19477

RE: Traffic Review #5 – Preliminary/Final Land Development Plans

Gwynedd Estates – 301 Norristown Road (S.R. 2007) Lower Gwynedd Township, Montgomery County, PA Project No. 314087-01-010

Dear Mimi:

As requested, on behalf of Lower Gwynedd Township, Bowman Consulting Group (Bowman) has completed our fifth (5th) traffic engineering review of the proposed expansion to the existing Gwynedd Estates campus located at 301 Norristown Road (S.R. 2007) in Lower Gwynedd Township, Montgomery County, PA. It is our understanding that the proposed expansion will consist of a proposed building containing 39 skilled nursing beds. Access to the site will continue to be provided via the existing full-movement driveway along Tennis Avenue (S.R. 2020), as well as a proposed emergency-only access to Tennis Avenue (S.R. 2020) located to the north of the existing full-movement driveway.

The following documents were reviewed in preparation of our review:

- <u>Preliminary/Final Land Development Plans ACTS Gwynedd Estates AL</u>, prepared by Eustace Engineering, dated June 21, 2024.
- Response to Township Engineer Comments Gwynedd Estates AL, prepared by Eustace Engineering, dated July 25, 2024.

Based on our review of the submitted document noted above, Bowman offers the following comments for consideration by the Township and action by the applicant.

- 1. The applicant was previously granted a waiver from the following Subdivision and Land Development Ordinance requirements per Township Resolution 2022-26. However, since the plans are being amended, the applicant will be required to obtain a new waiver from the following ordinance requirements which are listed on Sheet 2 of the plan set:
 - Section 1230.37(c) requiring a 34-foot cartway width along Tennis Avenue (S.R. 2020).
 - Section 1230.41(g) requiring a maximum of 10 parking spaces in a row without provision of a 10foot landscaped island.
 - Section 1230.61 requiring curbing along the site frontages of Tennis Avenue (S.R. 2020) and Norristown Road (S.R. 2007).
- According to Section 1230.46(e)(8) of the Subdivision and Land Development Ordinance, parking spaces shall be a minimum of 19 feet deep. The plans show a parking space depth of 18 feet for the parking spaces in the parking area to the south of the Greenbrier building.

- 3. According to **Section 1230.46(e)(11)** of the **Subdivision and Land Development Ordinance,** no less than a five-foot radius of curvature is permitted for all curblines in parking areas. The plans show several areas throughout the parking areas with less than a five-foot curb radius.
- 4. The drive aisle adjacent to the drop-off/pick-up loop for the proposed building which connects the existing and proposed parking lots appears to be less than the required 24 feet in width as required in Section 1230.46(e)(8) of the Subdivision and Land Development Ordinance. The reduced width of the aisle in this area may result in overlapping traffic movements for opposing traffic in the aisle and opposing traffic in the aisle and the drop-off/pick-up loop next to the proposed building. The applicant's engineer must evaluate and revise the design as needed to eliminate overlapping traffic movements.
- 5. A stop sign and stop bar should be shown on the plans at the following locations:
 - On the proposed driveway approach to the south of the proposed building at its intersection with the internal loop road leading to/from the proposed building and the main driveway to/from Tennis Avenue (S.R. 2020).
 - On the existing full-movement driveway approach at its intersection with Tennis Avenue (S.R. 2020).
 - On the eastbound approach (receiving area lanes) on the eastern side of the proposed building at its intersection with the drive aisle to the east of the proposed building.
- 6. It appears that one-way traffic flow is proposed in the drop-off/pick-up loop on the western side of the proposed building, as well as in the drop-off/pick-up loop to the south of the Greenbrier building. Therefore, the following signage should be added to the plans:
 - "Do Not Enter" signs should be shown on the plans on both sides of the northern end of the one-way drop-off/pick-up loop and "One-Way" signs should be shown on the plans at the entry of the one-way drop-off/pick-up loop located on the western side of the proposed building.
 - "Do Not Enter" signs should be shown on the plans on both sides of the southern end of the one-way drop-off/pick-up loop and "One-Way" signs should be shown on the plans throughout the one-way drop-off/pick-up loop located to the south of the Greenbrier building.
- 7. The pedestrian crossing shown on the plans across the drive aisle leading to/from the sidewalk on the southern end of the parking spaces on the eastern side of the proposed building and the sidewalk leading to/from the pickleball court should be relocated further to the north so that it crosses this drive aisle at the northern end of these parking spaces. The diagonal alignment shown on the plans increases the crossing distance for pedestrians. ADA ramps should be shown on the plans on both sides of the crosswalk. In addition, "Pedestrian Warning" signs should be shown on both sides of the crosswalk.
- 8. The arrow pavement markings in the drop-off/pick-up loop to the west of the proposed building should be relocated to be positioned at the intersection of the one-way loop and the drive aisle in the parking area to the east of the Chestnut building and the drive aisle leading to/from the parking area to the south of the Greenbrier building.
- 9. The "Stop" sign and stop bar shown at the following locations should be removed from the plans:
 - On the drive aisle between the proposed building and the pickleball court in the vicinity of the southern end of the parking spaces to the east of the proposed building.
 - On the southbound approach of the drive aisle to the east of the proposed building at its intersection with the drive aisle leading to/from the receiving area.

2 of 3 bowman.com

- 10. The striping for the crosswalk currently located across the Tennis Avenue (S.R. 2020) driveway is beginning to fade, therefore, the striping for this crosswalk should be updated to provide a continental pedestrian crossing for improved visibility.
- 11. The proposed development will be subject to the transportation impact fee of \$2,285 per "new" weekday afternoon peak hour trip and the applicant will be required to pay a Transportation Impact Fee. Based on Land Use Code 254 (Assisted Living) in the Institute of Transportation Engineers publication, **Trip Generation**, Tenth Edition, the proposed 39 skilled nursing beds will generate approximately 10 "new" weekday afternoon peak hour trips, resulting in a transportation impact fee of \$22,850.
- 12. Since Tennis Avenue (S.R. 2020) is a State Roadway, a State Highway Occupancy Permit (HOP) will be required for the proposed emergency access located along Tennis Avenue (S.R. 2020). The Township and our office must be copied on all plan submissions and correspondence between the applicant and PennDOT and invited to any and all meetings between these parties.
- 13. Based on our review, the applicant should address the aforementioned comments, and provide revised plans to the Township and our office for further review and approval recommendations. The applicant's engineer must provide a response letter that describes how each specific review comment has been addressed, where each can be found in the study or materials, as opposed to general responses. This will aid in the detailed review and subsequent review timeframes.

We trust that this review letter responds to your request and satisfactorily addresses the traffic issues that are related to the proposed development apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Sincerely,

Chad Dixson, AICP, PP Senior Project Manager

CED/BMJ

cc: Jamie Worman, Assistant Township Manager
Patty Sexton-Furber, Building Codes Administrator
James Hersh, P.E., Gilmore & Associates, Inc.
Neil Stein, Esquire, Solicitor
Al Comly, Township Fire Marshal
Martin Eustace, P.E., Eustace Engineering

 $V:\ 314087 - Lower Gwynedd Township\\\ 314087 - 01 - 010 (TRA) - Gwynedd Estates\\\ Engineering\\\ Submissions\\\ 2024 - 09 - 19 LD Plans\\\ Review\\\ 2024 - 10 - 08 Review \#5 - Gwynedd Estates. docx$

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MEMORANDUM

TO: Jamie Worman

FROM: Al Comly, Fire Marshal

DATE: 10-8-2024

RE: PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS

ACTS GWYNEDD ESTATES

CONSTRUCTION OF NEW BUILDING & ASSOCIATED SITEWORK

I have reviewed the most recent submittal of the above-referenced project as prepared by Eustance Engineering, consisting of the following:

41 Drawing Sheets, as listed on the Cover Sheet. Cover Sheet is added to the drawing sheets for overall total of 42 sheets. All sheets are dated 6-21-2024

My comments are as follows:

- 1 I note the change of engineers from the previous submittals for this Land Development for this project. Chambers Associates had been the engineer of record prior to this submittal. My comments and reviews from those earlier drawings are to be part of the overall Land Development record for this project.
- 2 I note the building layout has changed to place the main entrance on the project "West" side where it had previously been located on the project "East" side. This change is not germane to my review of the project.
- 3 The emergency drive providing access from Tennis Ave is shown as per previous agreement on location. (ref Sheet 32 of 41). No information is provided about the material shown in the shoulder of Tennis Ave, other than to state that it is "Geo-sys". No detail or information was provided. The gate and the chain detail are acceptable and shall use a padlock with a Knox key coordinated with the fire company keyway, and the driveway material is also acceptable, provided it is capable of handling apparatus with a 25,000 lb axle rating.
- 4 Truck turning clearances are shown on Sheet 30 of 41. This is acceptable, provided that all overhead clearance is a minimum of 14'-0". Also any driveway shown as part of the apparatus access lanes on the referenced sheet shall be designed to accommodate the 25,000 lb axle rating. Particular note is made of the various stormwater and BMP details properly supporting the required weight.
- 5 Hydrant locations shown on Sheets 15 of 41 and 9 of 41 are acceptable. Fire Department Connection for the building shall be coordinated to be within 75 feet of one of the hydrants shown on the referenced sheets, without requiring the placement of a connecting hose across a driveway.
- No Parking by Order of Fire Marshal signs shall be placed on all roadways (signage for this was not included in these details). No parking shall be posted to restrict all parking and stopping areas to the parking and stopping locations identified on the plans, and not blocking apparatus access on the site.

October 23, 2024

Ms. Jamie Worman Assistant Township Manager Lower Gwynedd Township

Re: Acts Gwynedd Estates AL 301 Norristown Road

PARID: 39-00-02955-00-3/TMID: Block 19, Unit 100

Land Development Application

Dear Ms. Worman,

On behalf of the owner/applicant, Adult Communities Total Services, Inc., we respectfully request the following waivers from Chapter 1230 of the Township's Codified Ordinances.

The following requested waivers were previously approved per Resolution 2022-26 on November 7. 2022:

- 1. §1230.16 A waiver to permit a single submission for Preliminary and Final approval.
- 2. §1230.19(c)(3)&(4) A waiver from the requirement that all existing features within two hundred feet (200') of the Property boundary be depicted on the Plans. The Applicant has agreed to provide any offsite detail that the Township Engineer deems necessary as part of future project reviews.
- 3. § 1230.30(c) A waiver to permit the proposed loading area being located within the existing Williams-Transco Gas Pipeline Corporation gas line easement.

We will provide written approval from Williams-Transco, permitting the proposed drop-off area within the existing easement.

4. §1230.37(c) & §1230.61 - A waiver from the requirement to install curb and to widen the cartway along all existing roads abutting the Property.

The following requested waivers have been modified or not previously approved:

5. §1230.41(g) - A waiver to allow thirteen (13) parking spaces in a row without the required ten foot (10') landscape strip.

This waiver request was previously approved at 12 spaces per row. There are two locations shown with 13 spaces in a row on the current version of the land development set. One over the underground basin East of the new building and the other East of Building C where accessible spaces have been relocated to a more convenient location on the North side of the building. Two parking rows in the bay north of Building B will have 10 foot wide islands added to reduce the parking runs.

6. §1230.42(a) – A waiver from providing the required street trees along Norristown Road and Tennis Avenue at a frequency of two shade trees per 40 linear feet of street: to count the existing vegetation in lieu of street trees.

Additional street trees complying with the ordinance requirement are proposed in the first 267 feet of tennis avenue associated with the new building. This waiver request is to not be required to provide additional street tress along the portion of Tennis Avenue and Norristown Road that is not affected by this land development there is significant mature vegetation along both frontages.

We appreciate the Township's consideration of this request and ask that you not hesitate to contact us should you have any questions.

Sincerely,

Chris B. Isenberg, RLA

Preliminary/Final Land Development Plans ACTS GWYNEDD ESTATES AL LOWER GWYNEDD, MONTGOMERY COUNTY, PENNSYLVANIA

prepared for

ACTS RETIREMENT-LIFE COMMUNITIES INC.

prepared by



Drawing	Sheet	Name	Date	Last Revised
Number	Number			100000000000000000000000000000000000000
2373 08B 00	0	Cover Sheet	6/21/2024	10/16/2024
2373 08B 48	1	Legend Sheet	6/21/2024	10/16/2024
2373 08B 21	2	Land Development Plan	6/21/2024	10/16/2024
2373 08B 18	3	Existing Features Plan	6/21/2024	10/16/2024
2373 08B 09	4	Existing Features / Demolition - Plan A	6/21/2024	10/16/2024
2373 08B 10	5	Existing Features / Demolition - Plan B	6/21/2024	10/16/2024
2373 08B 20	6	Geometry, Signage & Pavement Marking Plan	6/21/2024	10/16/2024
2373 08B 45	7	Grading Plan - A	6/21/2024	10/16/2024
2373 08B 46	8	Grading Plan - B	6/21/2024	10/16/2024
2373 08B 31	9	Utility Plan - A	6/21/2024	10/16/2024
2373 08B 32	10	Utility Plan - B	6/21/2024	10/16/2024
2373 08B 16	11	Erosion & Sedimentation Control Plan - A	6/21/2024	10/16/2024
2373 08B 17	12	Erosion & Sedimentation Control Plan - B	6/21/2024	10/16/2024
2373 08B 15	13	Erosion & Sedimentation Control Notes	6/21/2024	10/16/2024
2373 08B 14	14	Erosion & Sedimentation Control Details	6/21/2024	10/16/2024
2373 08B 25	15	PCSM Plan - A	6/21/2024	10/16/2024
2373 08B 26	16	PCSM Plan - B	6/21/2024	10/16/2024
2373 08B 22	17	PCSM Notes & Details A	6/21/2024	10/16/2024
2373 08B 24	18	PCSM Notes & Details B	6/21/2024	10/16/2024
2373 08B 47	19	PCSM Notes & Details C	6/21/2024	10/16/2024
2373 08B 27	20	Roadway Profile	6/21/2024	10/16/2024
2373 08B 35	21	Storm Sewer Profile A	6/21/2024	10/16/2024
2373 08B 36	22	Storm Sewer Profile B	6/21/2024	10/16/2024
2373 08B 34	23	Storm Sewer Profile C	6/21/2024	10/16/2024
2373 08B 38	24	Yard Drain Profiles	6/21/2024	10/16/2024
2373 08B 19	25	Williams-Transco Gas Pipeline - Plan &	6/21/2024	10/16/2024
2373 08B 28	26	Sanitary Sewer Plan & Profile	6/21/2024	10/16/2024
2373 08B 37	27	Water Plan & Profile	6/21/2024	10/16/2024
2373 08B 29	28	Sight Distance Plan & Profile A	6/21/2024	10/16/2024
2373 08B 30	29	Sight Distance Plan & Profile B	6/21/2024	10/16/2024
2373 08B 50	30	Truck Turning Plan	6/21/2024	10/16/2024
2373 08B 33	31	Water Details	6/21/2024	10/16/2024
2373 08B 13	32	Construction Details	6/21/2024	10/16/2024
2373 08B 12	33	Sanitary Sewer Details	6/21/2024	10/16/2024
2373 08B 12	34	Sanitary Sewer Details Sanitary Sewer Details - B	6/21/2024	10/16/2024
2373 08B 11	35	Site Landscape Plan - A	6/21/2024	10/16/2024
2373 08B 39	36	Tree Removals Plan - A	6/21/2024	10/16/2024
2373 08B 40	37	Tree Removals Plan - B	6/21/2024	10/16/2024
2373 08B 41	38	Overall Landscape Plan	6/21/2024	10/16/2024
2373 06B 42 2373 08B 43	39	Landscape Details - A	6/21/2024	10/16/2024
2373 08B 49	40	TO COMPANY AND ADDRESS TO THE PARTY OF THE P		10/16/2024
8-34/40 38 7 943		Landscape Details - B	6/21/2024	1 - 1/7 (7 17 17 17 17 17
2373 08B 44	41	Site Lighting Plan	6/21/2024	10/16/2024
2373 08B 42	42	PCSMLandscape Plan	6/21/2024	10/16/2024
2373 08B 43	43	PCSM Landscape Details	6/21/2024	10/16/202

RESPONSE 10/11/19

CANONSBURG, PA. 15317
CONTACT: TYLER STEIN
EMAIL: tyler.stein@crowncastle.com

COMCAST CABLEVISION
1 APOLLO RD.
PLYMOUTH MEETING, PA. 19462
CONTACT: TOM DEMSEY

ACT 287, AS AMENDED, TABLE OF CONTACTS

CONTACT: TOM DEMSEY

COMCAST

4400 WAYNE AVE.
PHILADELPHIA, PA. 19140
CONTACT: ROBERT HARVEY
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PECO ENERGY

450 S. HENDERSON RD. SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: NIKKIA SIMPKINS
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LOWER GWYNEDD TOWNSHIP
1130 N. BETHLEHEM PIKE
P.O.BOX 625

SPRING HOUSE, PA. 19477
CONTACT: ALFRED ZOLLERS
EMAIL: fzollers@lowergwynedd.org

NORTH WALES WATER AUTHORITY
200 WEST WALNUT STREET
P.O.BOX 1339

CLEAR - NO FACILITIES

CLEAR - NO FACILITIES

ENGINEERING COMPLETE

NORTH WALES, PA. 19454
CONTACT: JOSEPH MURPHY
EMAIL: jmurphy@nwwater.com

TRANSCONTINENTAL GAS/WILLIAMS GAS

99 FARBER ROAD
PRINCETON N.L. 08540

99 FARBER ROAD
PRINCETON, NJ. 08540
CONTACT: DAN SCHWEITZER
EMAIL: dan.schweitzer@williams.com

VERIZON PENNSYLVANIA LLC.
1050 VIRGINIA DR.
FORT WASHINGTON, PA. 19034
CONTACT: DARLENE LEPPERD JOHNSON
EMAIL: darline.k.lepperd@one.verizon.com

UPPER DUBLIN TOWNSHIP

801 LOCH ALSH AVENUE
FORT WASHINGTON, PA. 19034
CONTACT: TOM FOUNTAIN
EMAIL: TFOUNTAIN@UPPERDUBLIN.NET

RECORDS AND/OR ABOVE—GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK, AS PER PENNSYLVANIA ACT 287, CONTACTED 10/11/2019, 10/16/2019, SERIAL # 20192841397, 20192891090, 20192891091.

ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY

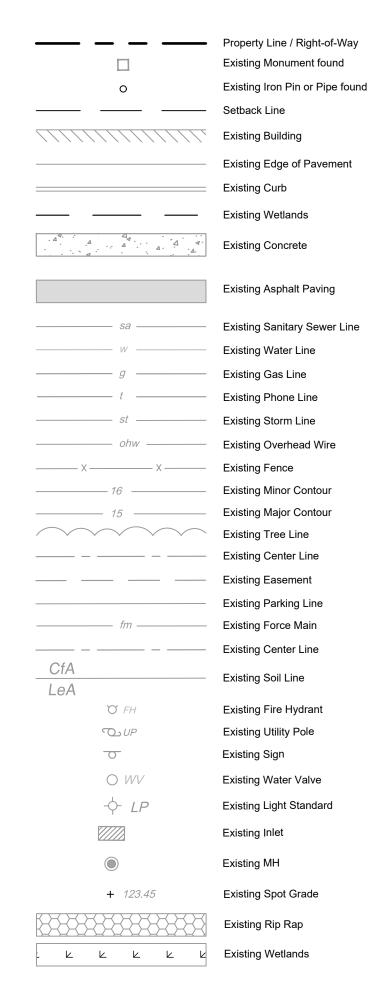
* PA ONE CALL INFORMATION WAS TAKEN FROM CHAMBERS ASSOCIATES, INC. PLANS



Serial Number: 20192891091

ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.

Legend



Proposed Monument to be set Proposed Iron Pin to be set Proposed Building Proposed Curb Proposed Concrete Proposed Edge of Pavement Proposed Pavers Proposed Sidewalk Proposed Parking Count Proposed Handicap Stall Proposed Retaining Wall $\overline{\mathsf{o}}$ Proposed Sign Proposed Surface Basin Proposed Grass Area ——— FS — Proposed Filter Sock LOD Proposed Limit of Disturbance Proposed Limit of Tree Disturbance Proposed NPDES Permit Area Proposed Staging Area Proposed Stockpile Proposed Rock Construction Entrance ECB Proposed Erosion Control Blanket Proposed Rip Rap Proposed Reinforced Vegetated Turf \boxtimes Proposed Inlet Protection Proposed Concrete Washout + 123.45 Proposed Spot Grade Proposed Index Contour — SA — Proposed Sanitary Sewer Line Proposed Water Line ———— G ———— Proposed Gas Line Proposed Electric Line ---- Drainage Area ———**>**———**>**— TOC Path TOC Point Discharge Point Proposed Inlet

Infiltration Testing Pit Location

Proposed MH

Geotechnical Investigation Boring Location

D 2373 08B 48

Legend

LEGEND

ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

DRAWN BY

MARTIN J. EUSTACE, III

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Building B - 2nd Floor
Willow Grove, PA 19090

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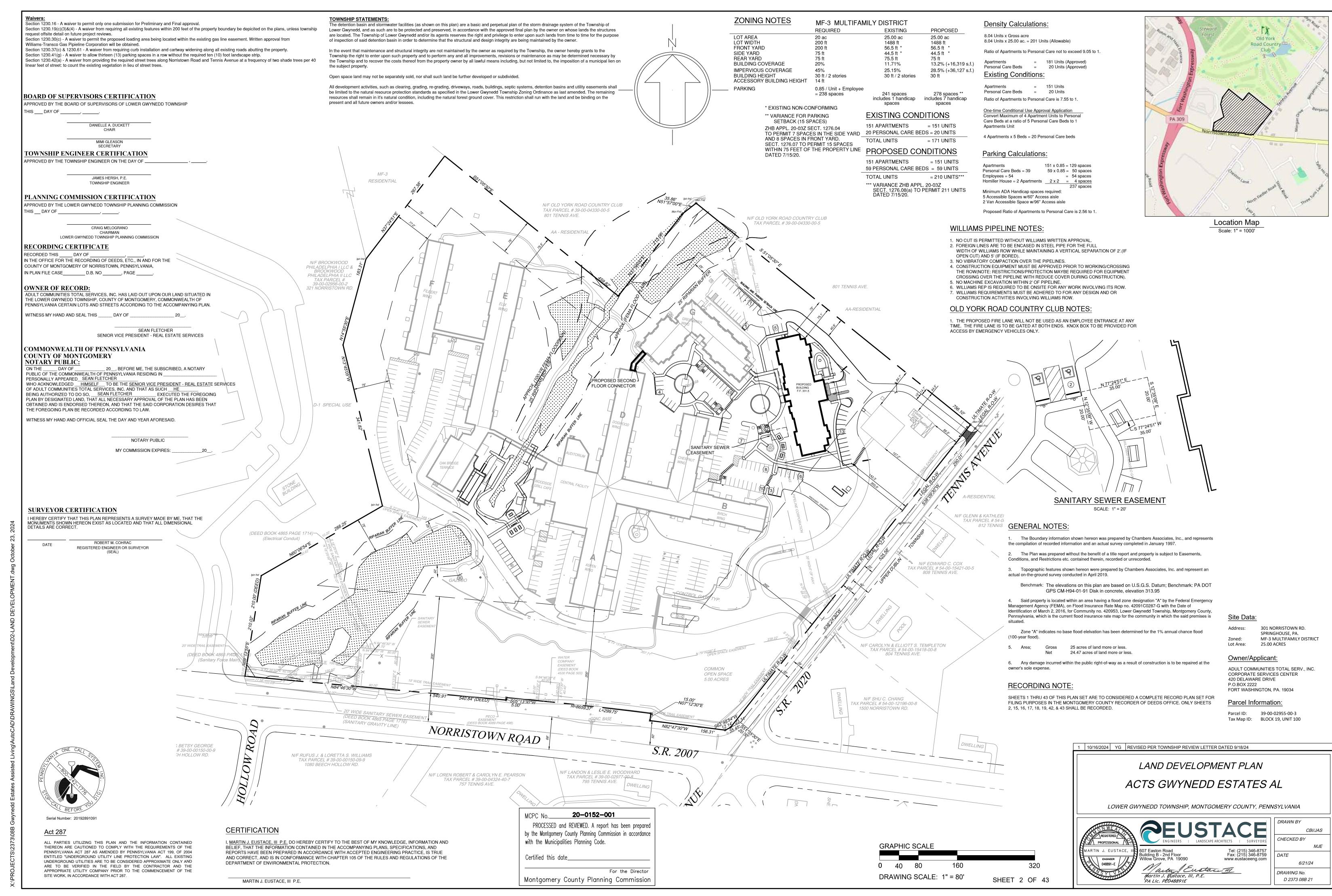
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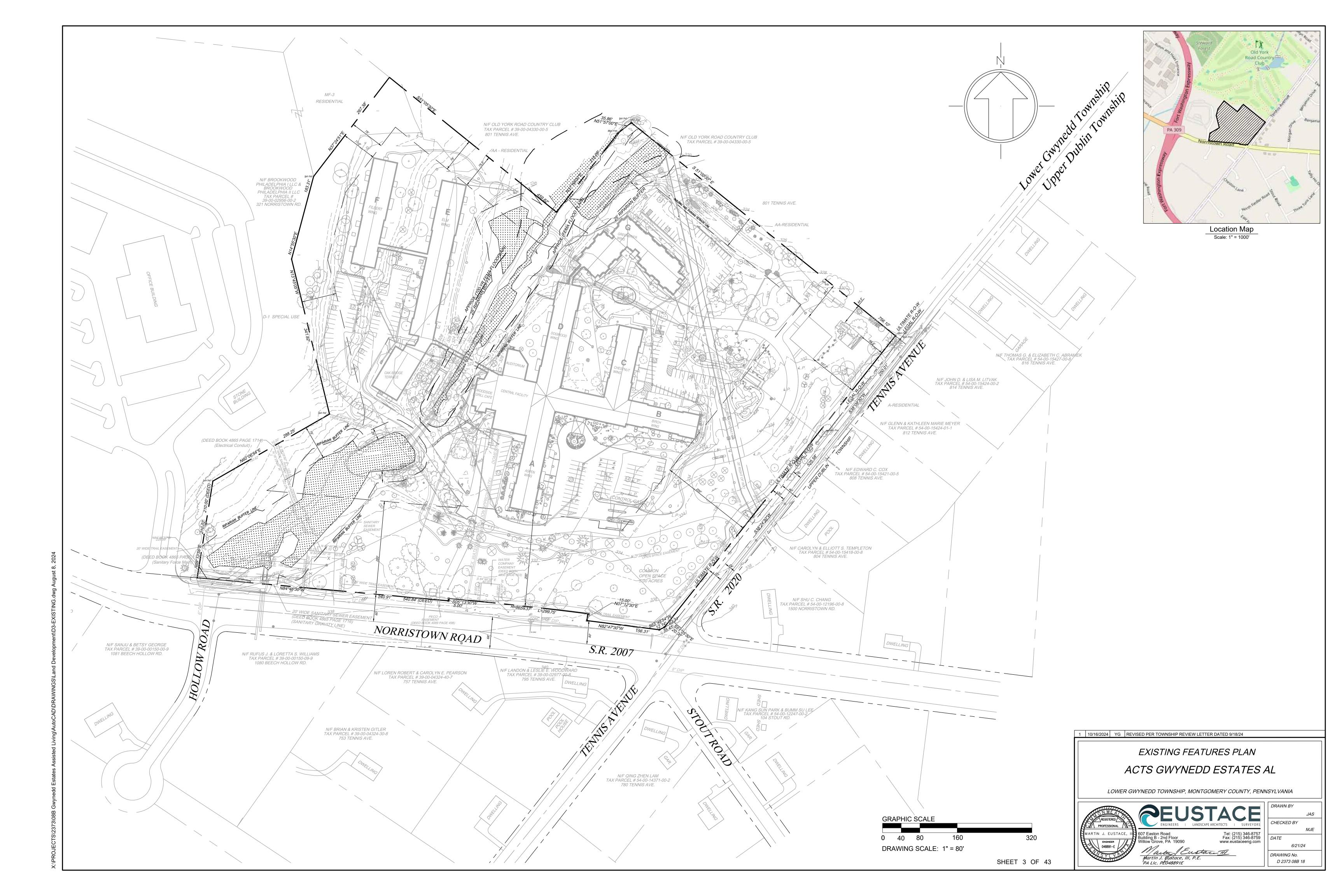
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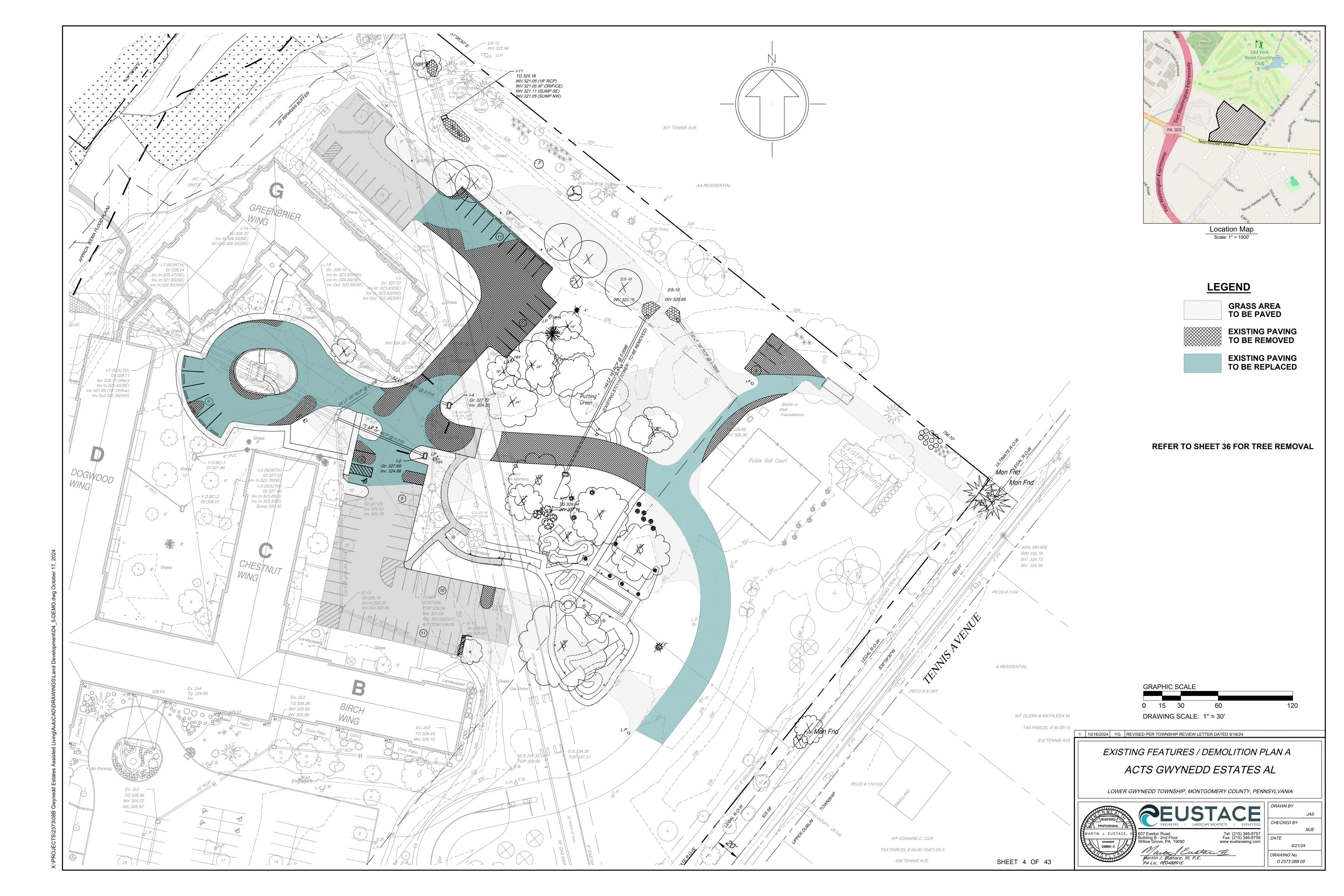
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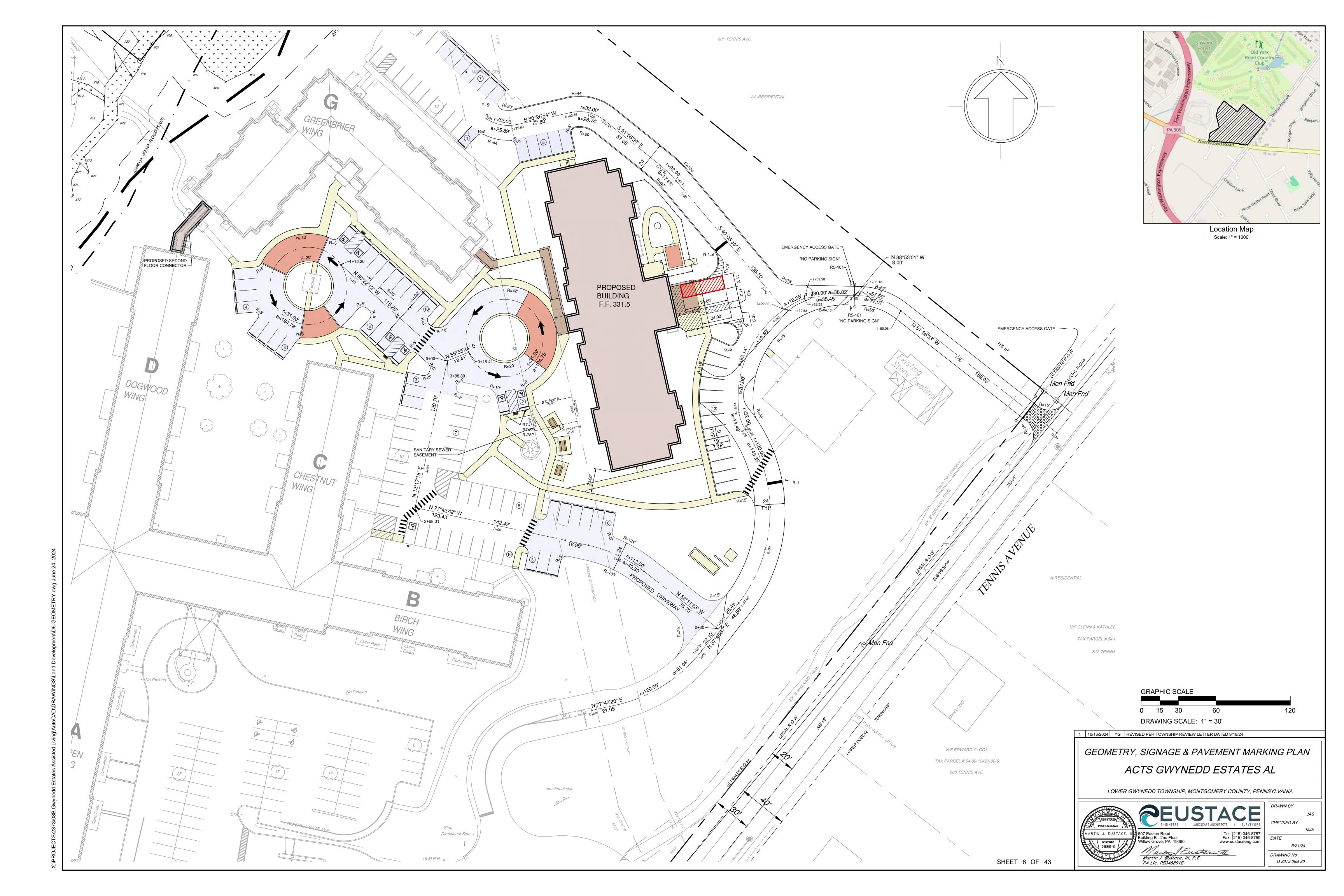
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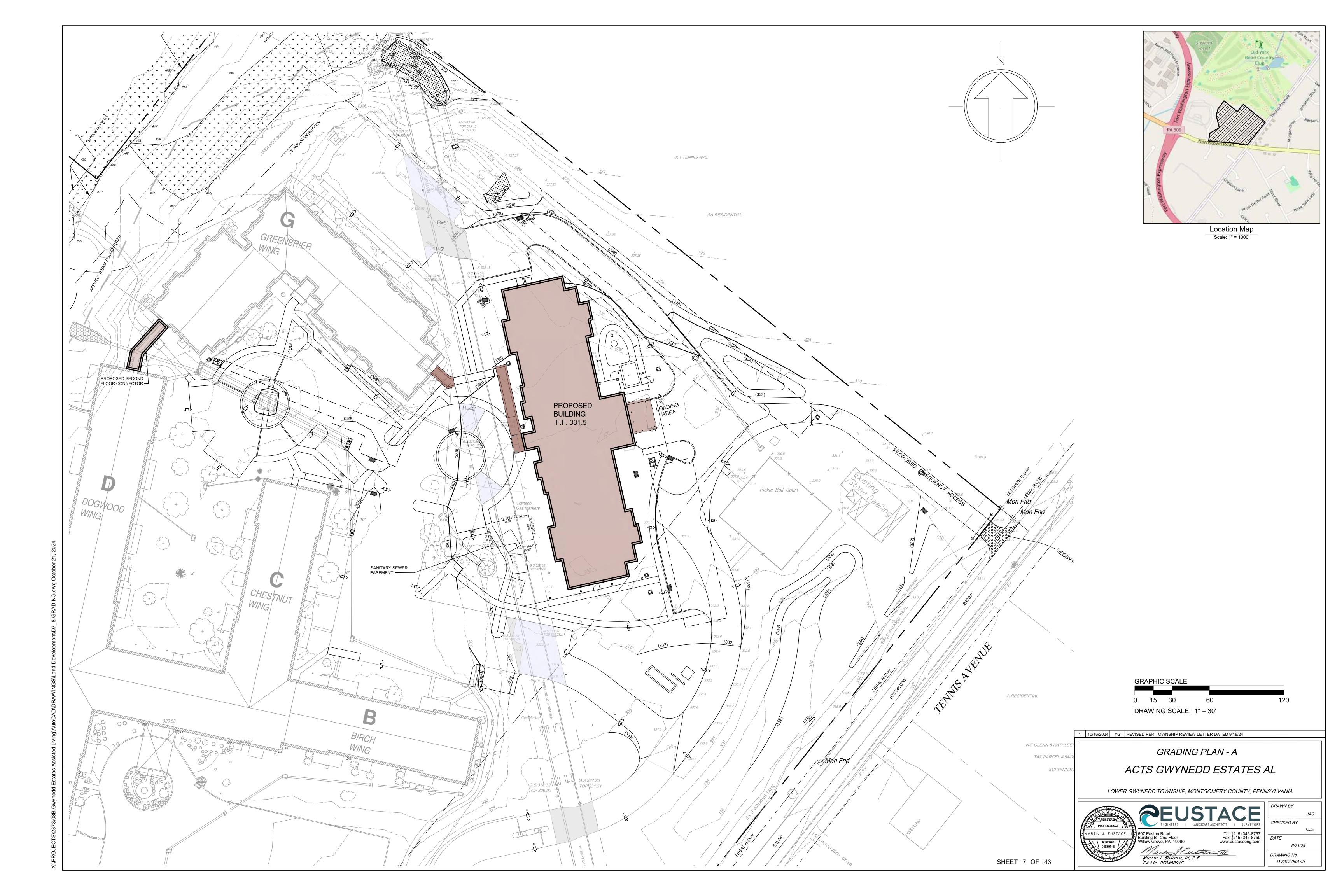


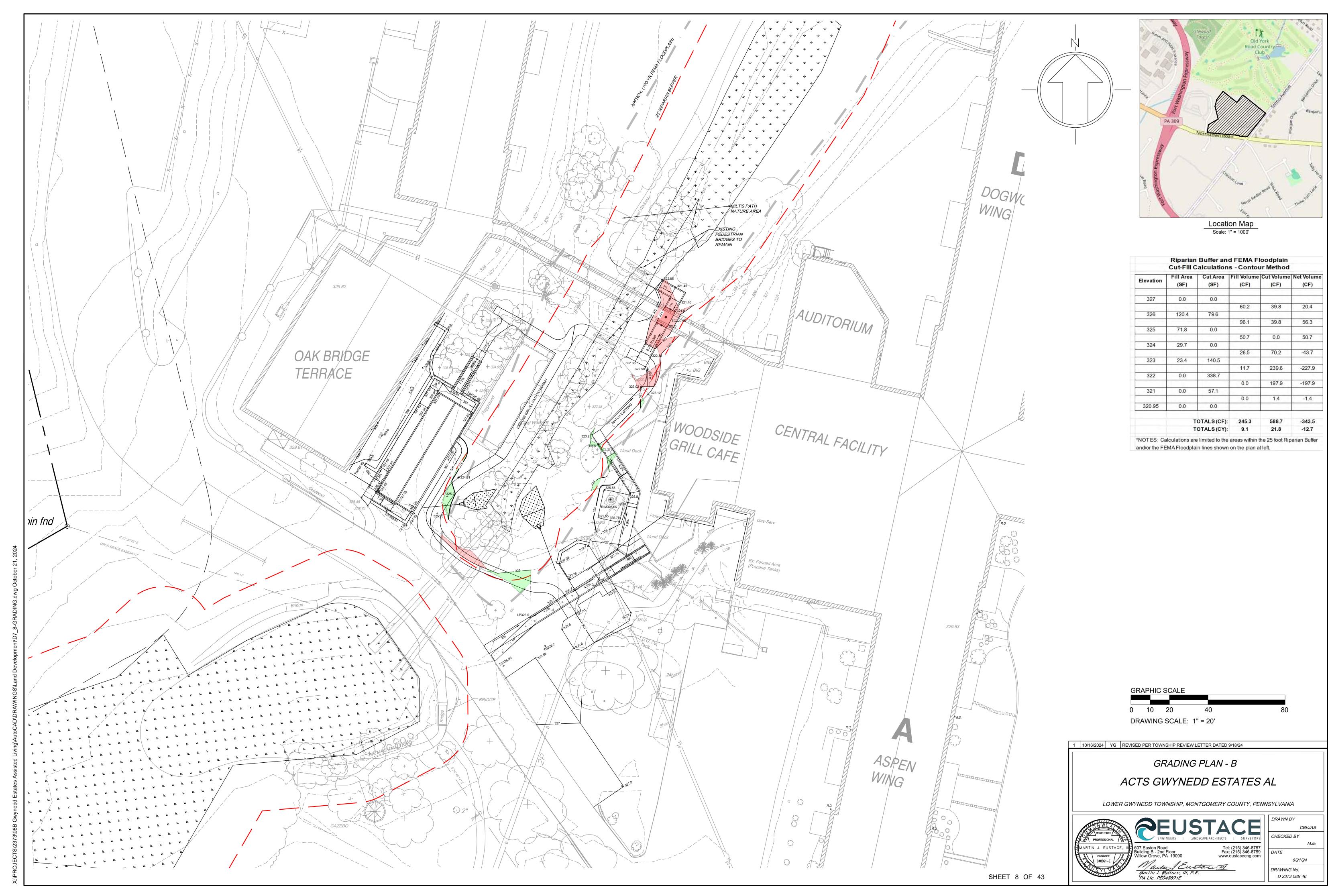


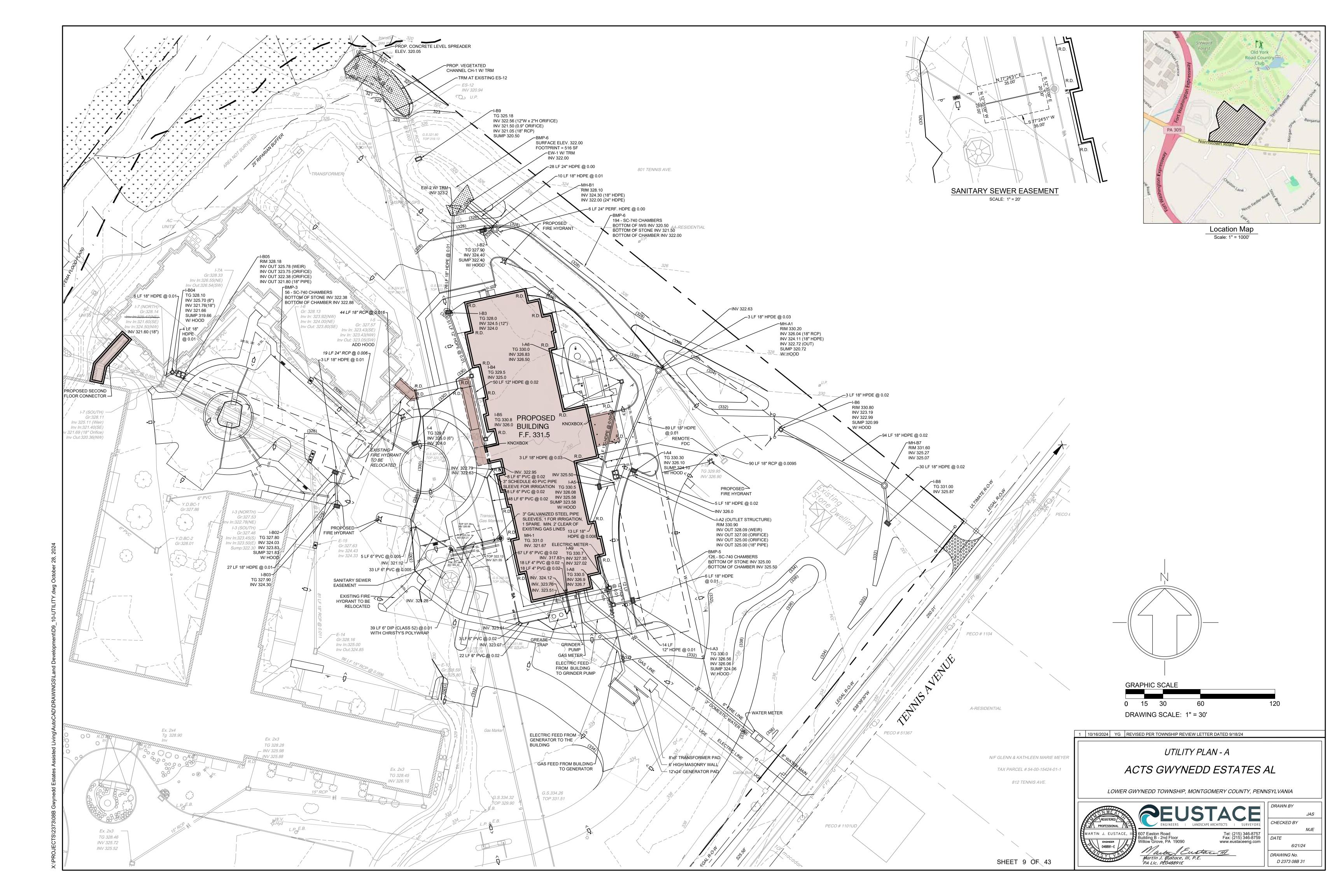


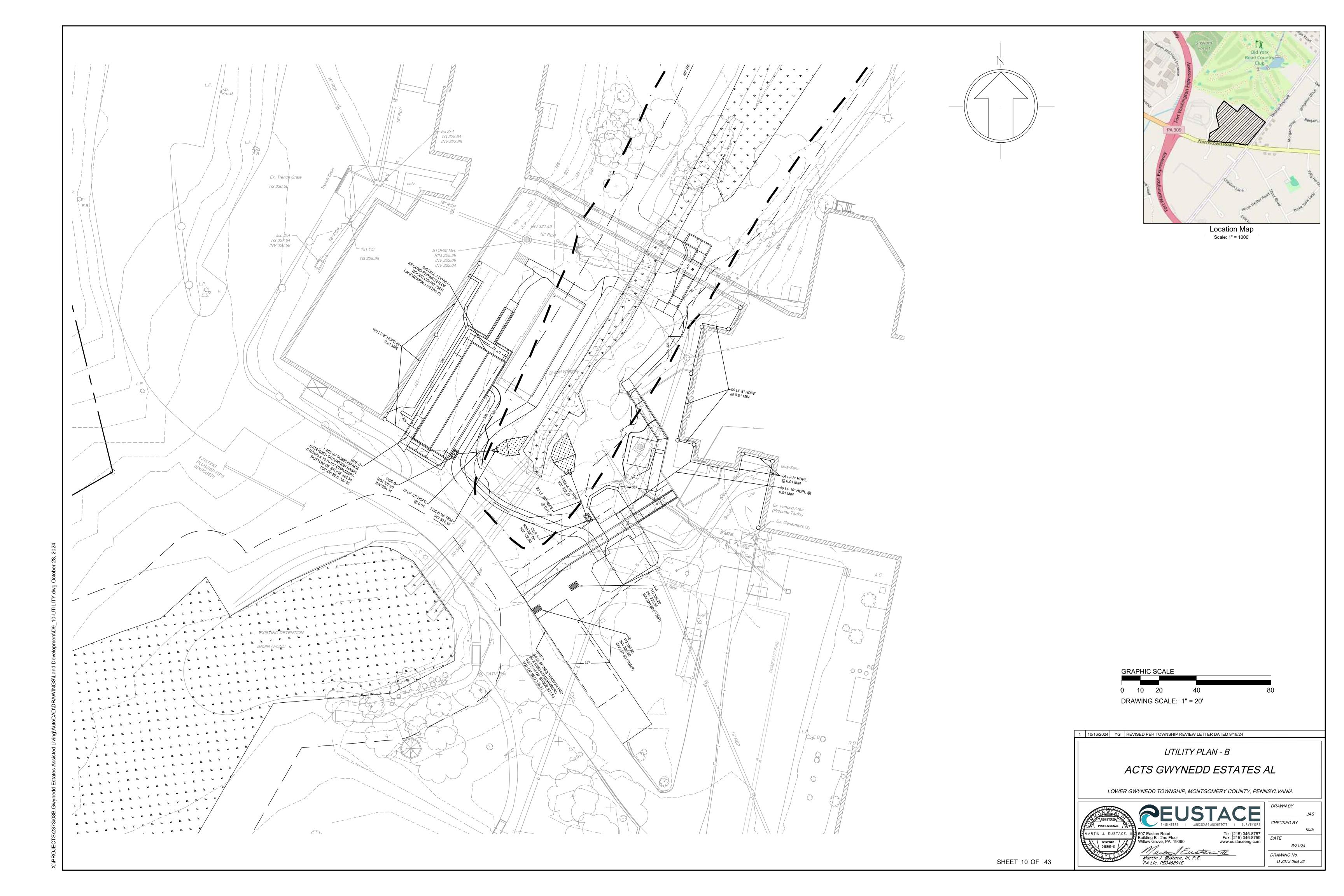


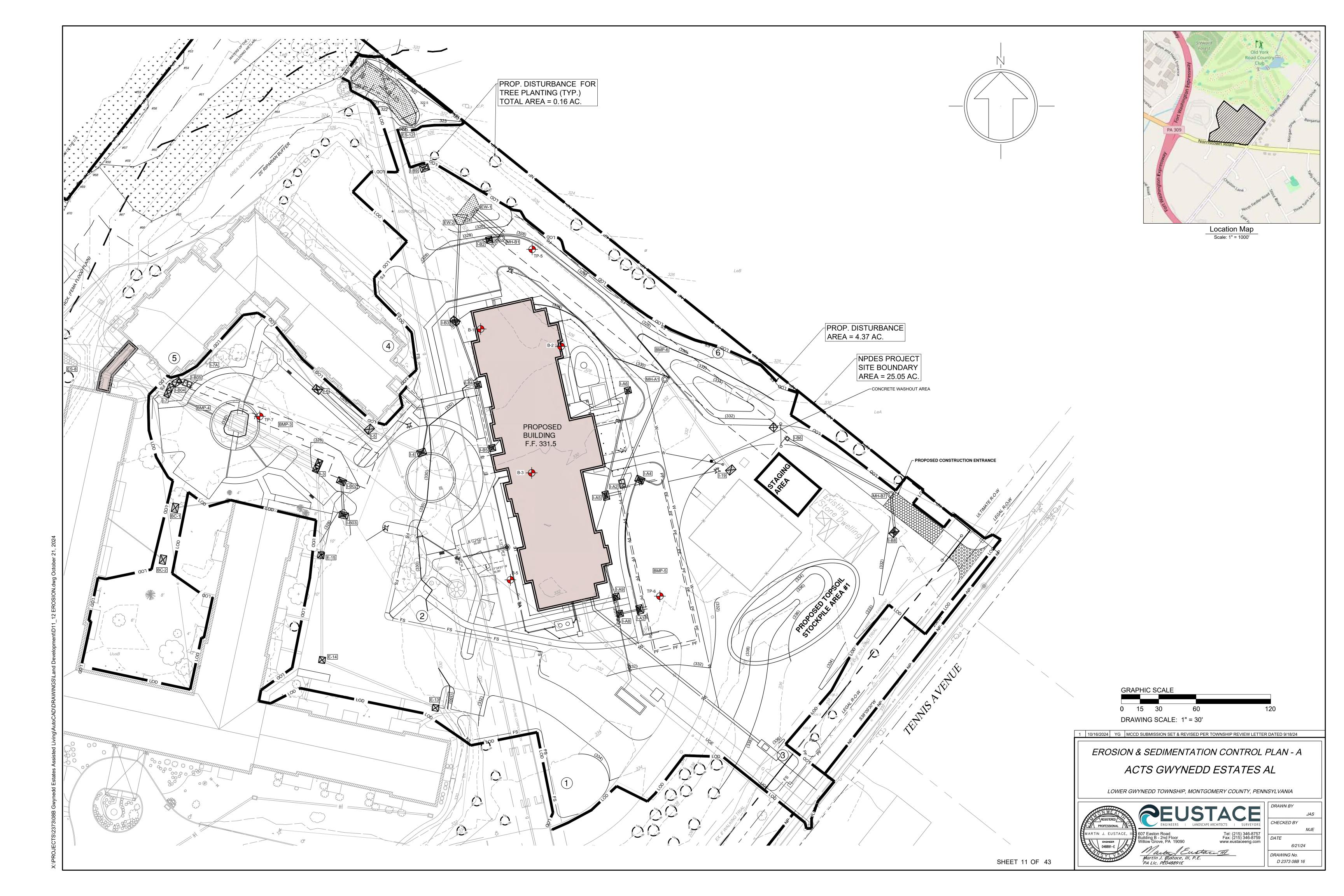


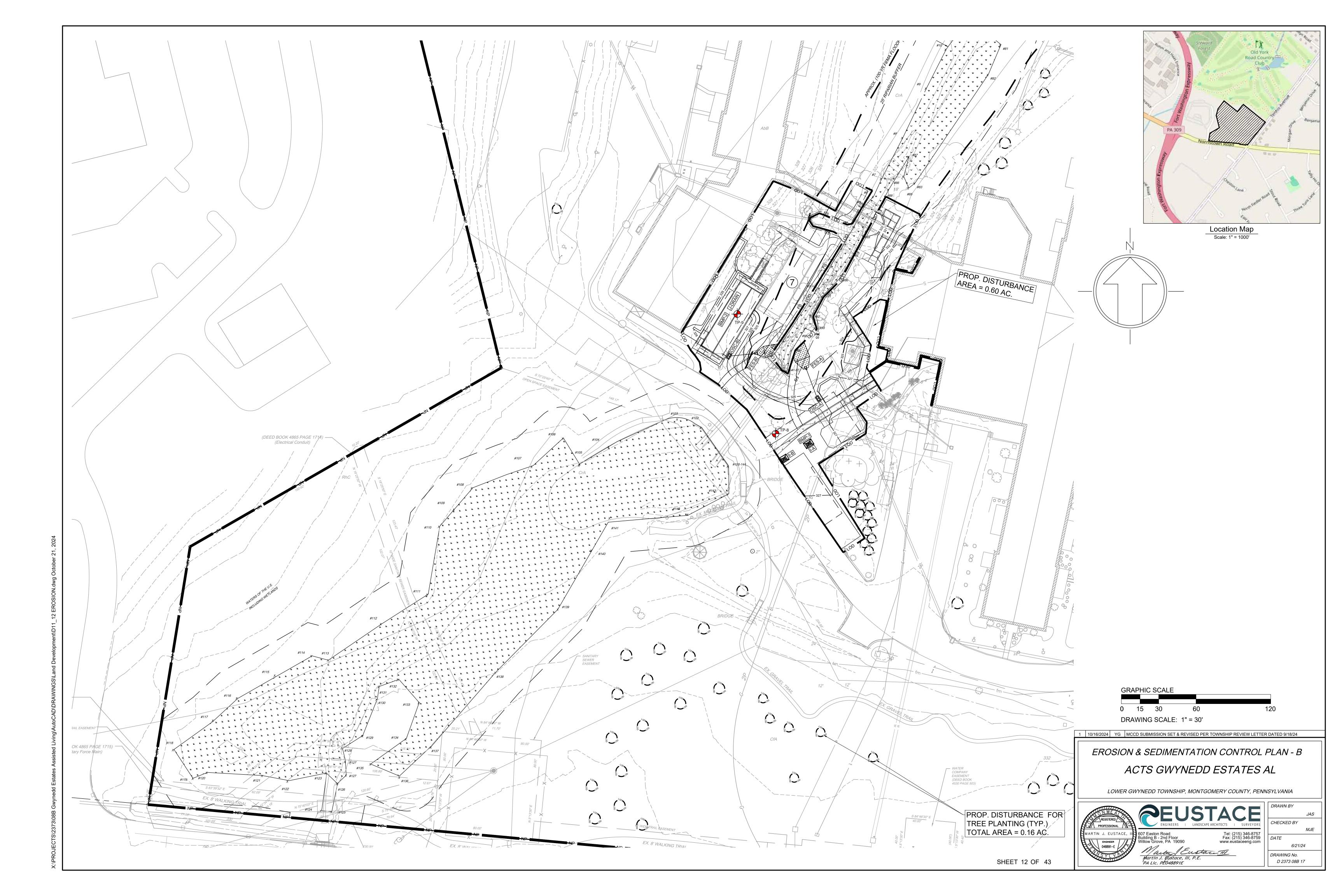












submittal of those changes for review and approval at its discretion. 2. At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E & S plan preparer, the PCSM plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCSM plan, and a representative from the local conservation district to an on-site

preconstruction meeting. 3. At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System, Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.

4. All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the local conservation district or by the department prior to implementation

5. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material. 6. Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E & S BMP's specified by the BMP sequence for that stage or phase have been installed and are functioning as described in this E & S plan.

7. At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.

8. Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan map(s) in the amount necessary to complete the finish grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2H:1V or flatter. 9. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall

implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department 10. All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste

Management Regulations at 25 Pa. Code 260.1 et. seq., 271.1 and 287.1 et. seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.

11. All off-site waste and borrow areas must have an E & S plan approved by the local conservation district or the Department fully implemented prior to being activated.

12. The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing. 13. All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas 14. Vehicles and equipment may neither enter directly nor exit directly from parking lot onto Tennis Ave

15. Until the site is stabilized, all erosion and sediment BMP's shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMP's after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting must be performed immediately. If the E & S BMP's fail to perform as expected, replacement BMP's, or modifications of those installed will be required.

16. A log showing dates that E & S BMP's were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.

17. Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water. 18. All sediment removed from BMP's shall be disposed of in the manner described on the plan drawings 19. Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches - 6 to 12 inches on compacted soils - prior to placement to topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outslopes shall have a minimum

20. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.

21. All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness. 22. Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent

construction of satisfactory fills. 23. Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.

24. Fill shall not be placed on saturated or frozen surfaces. 25. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or

other approved method 26. All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.

27. Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.

28. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding or other movements. 29. E & S BMP's shall remain functional as such until all areas tributary to then are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or the Department.

30. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district for an inspection prior to removal / conversion of the E & S BMP's. 31. After final site stabilization has been achieved, temporary erosion and sediment BMP's must be removed or converted to permanent post

construction stormwater management BMP's. Areas disturbed during removal or conversion of the BMP's shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal / conversions are to be done only during the germinating season. 32. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the

local conservation district to schedule a final inspection. 33. Failure to correctly install E & S BMP's, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E & S BMP's may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.

OPTIONAL E & S PLAN NOTES:

1. Concrete wash water shall be handled in the manner described on the plan drawings. In no case shall it be allowed to enter any surface waters or

2. All channels shall be kept free of obstructions including but not limited to fill, rocks, leaves, woody debris, accumulated sediment, excess vegetation, and construction material/wastes.

3. Underground utilities cutting through any active channel shall be immediately backfilled and the channel restored to its original cross-section and protective lining. Any base flow within the channel shall be conveyed past the work area in the manner described in this plan until such restoration is complete.

4. Channels having riprap, Reno mattress, or gabion linings must be sufficiently over-excavated so that the design dimensions will be provided

after placement of the protective lining 5. Sediment basins and/or traps shall be kept free of all construction waste, wash water, and other debris having potential to clog the basin/trap

outlet structures and/or pollute the surface waters. 6. Sediment basins shall be protected from unauthorized acts by third parties.

7. Any damage that occurs in whole or in part as a result of basin or trap discharge shall be immediately repaired by the permittee in a permanent manner satisfactory to the municipality, local conservation district, and the owner of the damaged property. 8. Upon, request, the applicant or his contractor shall provide an as-built (record drawing) for any sediment basin or trap to the municipal

inspector, local conservation district or the Department. 9. Erosion control blanketing shall be installed on all slopes 3H:1V or steeper within 50 feet of a surface water and on all other disturbed areas

specified on the plan maps and/or detail sheets.

10. Fill material for embankments shall be free of roots, or other woody vegetation, organic material, large stones, and other objectionable materials. The embankment shall be compacted in maximum 8" layered lifts at 95 % density.

CRITICAL EROSION AREAS

The critical erosion areas on the site will be stabilized in accordance with the structural practices and monitored in accordance with the management strategies The site plan has been developed to minimize land disturbance where grading is necessary, and preserve existing vegetation. Adequate precautions will be taken to minimize erosion and trap sediment.

Unless otherwise indicated, all vegetative and structural erosion and sediment control practices will be constructed and maintained according to the Minimum Standards of Lower Gwynedd Township and the Local Conservation District.

STRUCTURAL PRACTICES

1. Silt Fence - A silt fence barrier is to be placed at the locations designated on the E&S Control Plan. 2. Compost Filter Sock - A compost filter sock barrier is to be placed at the locations designated on the E&S Control Plan.

3. Temporary Construction Entrance - A temporary construction entrance shall be installed at the location designated on the E&S Plan. 4. Storm Sewer Drain Inlet Protection - All storm sewer drain inlets shall be protected during construction, as specified on the E&S Plan. 5. Driveways - All roads on the site shall be stabilized with gravel, or a base course immediately after grading. Construction traffic shall be

VEGETATIVE PRACTICES

Topsoil Stockpile - Topsoil shall be stripped from areas to be graded and stockpiled for later use.

2. Temporary Seeding - The topsoil stockpile and detention basin and all other areas to be regraded during the initial phase of construction, especially those not scheduled for immediate construction, shall be seeded with a fast-germinating, temporary vegetation mixture, immediately upon grading. Selection of the appropriate seed mixture would depend on the time of year it is applied.

PERMANENT STABILIZATION

All areas disturbed by construction will be stabilized with permanent seeding, especially following finished grade. Seeding shall be done in accordance with the Local Conservation District and the Department of Environmental Protection. Permanently seeded areas shall be protected during establishment with a straw mulch. Stabilization is defined as 70% perennial growth.

MANAGEMENT STRATEGIES

1. Construction should be sequenced so that the grading operations can begin and end as quickly as possible. 2. Sediment trapping measures shall be installed as a first step in grading, and shall be seeded and mulched immediately following installation.

3. Temporary seeding or other stabilization shall follow immediately after grading.

4. Areas which are not to be disturbed during construction shall be clearly marked by flags or signs. 5. The Job Superintendent shall be responsible for the installation and maintenance of all erosion and sediment control practices. 6. The permitee must develop and have approved by the Local Conservation District, separate erosion and sedimentation control plan for each spoil, borrow, or other work area not detailed in the permitted plan, whether located within or outside the construction limits.

MAINTENANCE PROGRAM 102.4(b)(5)(x):

Until the site is stabilized, all erosion and sediment BMP's shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMP's after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting must be performed immediately. The following controls will be checked in particular:

1. The inlet protection devices will be checked weekly and after each runoff event for sediment clean out. 2. All seeded areas will be checked weekly and after each runoff event to see that a good stand in maintained. Areas should be fertilized and reseeded as necessary. Areas which continue to wash will be sodded.

3. The silt fence barrier will be checked weekly and after each runoff event for undermining determination of the fabric. 4. The construction entrance driveway shall be maintained in a condition which will prevent tracking of flowing of sediment onto public right of way. This may require periodic top dressing with additional stone as conditions demand and repair and/or clean out of any measures used to trap sediments spilled, dropped, washed or tracked onto public right of way must be removed immediately.

A log showing dates that E & S BMP's were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.

STANDARD BMP NOTES:

Vehicles and equipment may neither enter directly to nor exit directly from parking lot

Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2: 1 or flatter. The operator shall assure that the approved erosion and sediment control plan is properly and completely implemented.

Until the site achieves final stabilization, the Permittee and Copermittee shall assure that the best management practices are implemented, operated, and maintained properly and completely. Maintenance shall include inspections of all best management practice facilities and maintain and make available to the Local Conservation District complete, written inspection logs of all those inspections. All maintenance work, including cleaning, repair, replacement, regarding, reseeding, and restabilization shall be performed

Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment

Before initiating any revisions to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval of the revisions from the Local Conservation

The operator shall assure that an erosion and sediment control plan has been prepared, approved by the appropriate Conservation District, and is being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their locations.

All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag discharging over non-disturbed areas.

The contractor is advised to become thoroughly familiar with the provisions of the Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection, Subpart C, Protection of Natural Resources, Article III, Water Resources, Chapter 102, Erosion Control.

A copy of the approved erosion and sediment control plan must be available at the project

Only limited disturbance will be permitted to provide access to Tennis Ave. for grading and acquiring borrow to construct those BMP's. No borrows needed

Erosion and sediment BMP's must be constructed, stabilized, and functional before site disturbance begins within the tributary areas of those BMP's.

After final site stabilization has been achieved, temporary erosion and sediment BMP controls must be removed. Areas disturbed during removal of the BMP's must be

The permittee or co permittee shall contact the department or authorized conservation district at least seven days before construction is to begin to determine if a preconstruction conference is required. The permittee, co permittee, and others undertaking the earth disturbance activity must attend a preconstruction conference when requested by the department or authorized conservation district. The permittee or co-permittee must bring a copy of their NPDES permit, a copy of the stamped plan from the conservation district, and all associated department approvals/permits which must be available at the conference upon request. Also, at least 3 days before starting any earth disturbance activities, all contactors involved in those activities shall notify the Pennsylvania One Call System Incorporated at 1-800-242-1776 for buried utilities

Upon the installation or stabilization of all perimeter sediment control BMPs and at least 3 days prior to proceeding with the bulk earth disturbance activities, the permittee or co-permittee shall provide notification to the department or authorized conservation

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEOUENCE. EACH STAGE SHALL BE COMPLETED. BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE ARES DESCRIBED IN EACH STAGE.

Immediately after earth disturbance activities cease, the operator shall stabilize any areas disturbed by the activities. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be redisturbed within one year must be stabilized in accordance with the temporary vegetative stabilization specifications. Disturbed areas which are at finished grade or which will not be redisturbed within one year must be stabilized in accordance with the permanent vegetative stabilization specifications.

An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements.

Permittees and co permittees are responsible for ensuring that a licensed professional have oversight responsibilities for the design and proper installation of BMPs identified in the PCSM Plan prior to the submission of the NOT for this permit. The licensed professional shall certify that the BMPs identified in the plan have been installed in accordance with the approved plan The installation schedule of PCSM BMPs and maintenance requirements contained within the approved PCSM Plan must be followed; and failure to comply with the installation schedule is a violation of this permit, the Clean Streams Law, and the Clean Water Act.

Other BMP's

Sediment must be removed from storm water inlet protection after each runoff event.

Temporary Stabilization and Permanent Stabilization

Hay or straw mulch must be applied at 3.0 tons per acre.

Mulch with mulch control netting or erosion control blankets must be installed on all

Straw mulch shall be applied in long strands, not chopped or finely broken.

Until the site is stabilized, all erosion and sediment BMP's must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMP's after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching, and renetting, must be done immediately. If erosion and sediment control BMP's fail to perform as expected, replacement BMP's, or modifications to those installed will be

Upon completion or temporary cessation of the earth disturbance activity the project site shall be immediately stabilized in accordance with the recommendations contained in the Erosion and Sediment Pollution Control Program Manual (E&S Manual), Commonwealth of Pennsylvania, Department of Environmental Protection No. 363-2134-008, March 2012. as amended and updated. Erosion and sediment control BMPs shall be implemented and maintained until permanent stabilization is completed and PCSM BMPs are operational.

Sediment removed from BMP's shall be disposed of in landscape areas outside of steep slopes, wetlands, floodplains or drainage swales and immediately stabilized, or placed in

The operator shall remove from this site, recycle, or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq. The contractor shall not illegally bury, dump, or discharge any building material or wastes at this site.

An E&S Plan shall be submitted to the department or authorized conservation district and implemented for all spoil and borrow areas, regardless of their location. NPDES BOUNDARY

The NPDES Boundary is 25.05 acres, including the property area and earth disturbance off the property for utility trenching. SURFACE WATER CHAPTER 93 CLASSIFICATION:

The existing on-site and off-site runoffs flow to an Unnamed tributary to Park Creek, which is located 1000' North of the project area. Park Creek is the receiving water course in the Little Neshaminy Creek Watershed. Park Creek is classified as WWF (Warm Water Fisheries) within Chapter 93 of the PA Code.

Utility Line Trench Excavation Notes

1. Limit advanced clearing and grubbing operations to a distance equal to two times the length of pipe installation that can be completed in one day. 2. Work crews and equipment for trenching, placement of pipe, plug construction and backfilling will be self-contained and separate from clearing and grubbing and site restoration and stabilization operations

3. All soil excavated from the trench will be placed on the uphill side of the trench. 4. Limit daily trench excavation to the length of pipe placement, plug installation and backfilling that can be completed the same day. 5. Water which accumulates in the open trench will be completely removed by pumping before pipe placement and / or backfilling begins. Water removed from the trench shall be pumped through a filtration device.

6. On the day following pipe placement and trench backfilling, the disturbed area will be graded to final contours and immediately stabilized. 7. Soils excavated from existing surface layer should be stockpiled separately and returned as final surface layer following trench backfilling.

MONITORING, INSPECTION, AND REPORTING REQUIREMENTS: Sequence of Construction

The permittee and co permittee(s) must ensure that visual site inspections are conducted weekly, and within 24 hours after each measurable rainfall event throughout the duration of construction and until the receipt At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the E&S plan preparer, the and acknowledgement of the NOT by the department or authorized conservation district. The visual site inspections and reports shall be completed in a format provided by the department, and conducted by qualified personnel, trained and experienced in erosion and sediment control, to ascertain that E&S BMPs and PCSM BMPs are properly constructed and maintained to effectively minimize pollution to the waters of this commonwealth. A written report of each inspection shall be kept and include at a minimum: (1) a summary of site conditions, E&S BMP and PCSM BMP, implementation and maintenance and

compliance actions: and (2) the date, time, name and signature of the person conducting the inspection.

Noncompliance Reporting

Visual Inspections

Where E&S, PCSM or PPC BMPs are found to be inoperative or ineffective during an inspection, or any other time, the permittee and co permittee(s) shall, within 24 hours, contact the department or authorized conservation district, by phone or personal contact, followed by the submission of a written report within 5 days of the initial contact. Noncompliance reports shall include the following information: (1) any condition on the project site which may endanger public health, safety, or the environment, or involve incidents which cause or threaten pollution:

(2) the period of noncompliance, including exact dates and times and/or anticipated time when the activity

(3) steps being taken to reduce, eliminate, and prevent recurrence of the noncompliance; and (4) the date or schedule of dates, and identifying remedies for correcting noncompliance conditions.

Reduction, Loss, or Failure of the BMPs

Upon reduction, loss, or failure of the BMPs, the permittee and co permittee shall take immediate action to 6. restore the BMPs or provide an alternative method of treatment. Such restored BMPs or alternative treatment shall be at least as effective as the original BMPs.

Termination of Coverage

NOT: Upon permanent stabilization of earth disturbance activities associated with construction activity that are authorized by this permit and when BMPs identified in the PCSM Plan have been properly installed, the permittee and/or co permittee of the facility must submit a NOT form that is signed in accordance with Part B, Section 1.c, Signatory Requirements, of this permit. All letters certifying discharge termination are to be sent to the department or authorized conservation district. The NOT must contain the following information: facility name, address, and location, operator name and address, permit number, identification and proof of acknowledgment from the person(s) who will be responsible for operation and maintenance of the PCSM BMPs in accordance with the approved PCSM Plan, and the reason for permit termination. Until the permittee has received written acknowledgement of the NOT, the permittee will remain responsible for operating and maintaining all E&S BMPs and PCSM BMPs on the project site and 13. Complete building construction. Install fencing, gates, lighting, and electrical work. will be responsible for violations occurring on the project site.

Completion Certificate and Final Plans

Within 30 days after the completion of earth disturbance activities authorized by this permit, including the permanent stabilization of the site and proper installation of PCSM BMPs in accordance with the approved PCSM Plan, or upon submission of the NOT if sooner, the permittee shall file with the department or authorized conservation district a statement signed by a licensed professional and by the permittee certifying that work has been performed in accordance with the terms and conditions of this permit and the approved E&S and PCSM Plans. 18. Remove temporary erosion control measures after all disturbed areas are stabilized with a minimum of 80% vegetative cover. Re-stabilize all areas disturbed due to the removal of temporary erosion control

RESPONSIBILITIES FOR FILL MATERIALS:

If the site will need to import or export material from the site, the responsibility for performing environmental due diligence and determination of clean fill will rest with (Responsible Party).

Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for

Clean Fill affected by a spill or release of a regulated substance: Fill materials affected by a spill or release of a regulated substance still qualifies as clean fill provided the testing reveals that the fill material contains concentrations of regulated substances that are below the residential limits in Tables FP-1a and FP-1b found in the Department's policy "Management of Fill".

Any person placing clean fill that has been affected by a spill or release of a regulated substance must use form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the material as clean fill. Form FP-001 must be retained by the owner of the property receiving the fill. A copy of Form FP-001 can be found at the end of these instructions. **Environmental due diligence:** The applicant must perform environmental due diligence to determine if

the fill materials associated with the project qualify as clean fill. Environmental due diligence is defined as: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".

Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapters 287 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable. These regulations are available on-line at www.pacode.com.

PLANNING & DESIGN 102.4(b)(4):

To minimize extent and duration of earth disturbance, Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E & S BMP's specified by the BMP sequence for that stage or phase have been installed and are functioning as described in this E & S plan.

To maximize protection of existing drainage features and vegetation, temporary tree protection fence will be installed along existing trees to be saved. To minimize soil compaction, at no time shall construction vehicles be allowed to enter areas

outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin. To minimize generation of increased stormwater runoff, immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall

be stabilized in accordance with the permanent stabilization specifications. In addition to stabilizing

SOIL RESOLUTIONS 102.4(b)(5)(ii)

construction of embankment facilities as necessary.

disturbed areas proposed Deciduous and Evergreen trees will be planted.

1. Low PH: for soils with PH values lower than 5.5 adjust PH by applying lime at rates determined by soils testing in combination with selecting and planting vegetative species tolerant of acidic conditions.

RECYCLING OR DISPOSAL OF MATERIALS 102.4(b)(5)(xi): 2. Low Fertility: incorporate additional soil nutrients at rates determined by soil testing in combination with selecting and planting vegetative species tolerant of low fertility conditions.

3. **Dry or Droughty Soils:** select vegetative species tolerant of dry conditions.

4. High Water Table or Wet/Hydric Soils prone to flooding: select vegetative species tolerant of wet conditions. If buildings are located in said soils provide sump pumps with back flow prevention devices in basements. If high water is encountered during construction, contractor shall utilize pumped water filtration methods (ie. Dirt Bag). For basin construction in areas of wet soils, preferably relocate stormwater and sediment basins and facilities in soils more conductive to such facilities. If facilities can not be relocated, provide pumped water sediment removal facilities for basin construction, limit reservoir depths, and limit clean

5. **Erodible Soils Types:** for soils with erodibility values higher than 0.36, contractor should incorporate some or all of the following stabilization techniques. In proposed channels, provide temporary linings until grass is established, provide permanent grass reinforced linings through the installation of sod or select permanent linings other than grasses. Decrease channel grades and increase channel widths to help reduce erosion.

6. Soils prone to Sinkholes and Solution Channels: locate stormwater retention facilities, sediment traps and basins, on other soil types. If facilities must be located in sinkhole susceptible soils, line reservoir area with plastic, clay, bentonite, or other acceptable linings. Limit standing water depths and retention times.

other soil types, limit embankment slope steepness, provide clay embankment cores and import other soils for

8. Soils Unsuitable for Winter grading, prone to frost action, or difficult to compact: grading during periods prone to frost should be limited. Construction of structural embankment should be performed. During the period of May to October if such facilities cannot be relocated to an area with more conductive soils.

7. Soils prone to Instability piping and seeping: if stormwater or sediment basin/traps can not be relocated to || Rho

9. **Unsuitable Topsoil:** if suitable topsoil is not found on-site, topsoil shall be imported.

All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed in compliance with Chapter 102 regulations before any following stage is initiated. Clearing and grubbing shall be limited only to those areas described in each stage

licensed design professional, and a representative of the Montgomery County Conservation District to schedule an on-site meeting. At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System Incorporated at 1-800-242-1776 for buried utilities locations. The contractor shall verify locations and depths of all exiting utilities prior to start of work

Before implementing any revisions to the approved erosion and sediment control plan, or revisions to other plans which may affect the effectiveness of the approved E&S control plan(s), the operator must receive the approval of the revisions from the Montgomery County Conservation District and Township.

Water pumped from work areas shall be treated for sediment removal prior to discharging to a surface water. The operator is responsible for ensuring that any fill or borrow sites used for soil import/export have all applicable approved permits and/or E&S plans. A designated Licensed Professional shall be present during all critical stages of construction. See BMP Construction sequence on PCSM plan.

Cessation of activity for 4 days or longer requires temporary stabilization. No more than 15,000 square feet of disturbed area shall reach final grade before initiating seeding and mulching operations. Stabilization of

Stake out the limit of disturbance. Install perimeter compost filter sock, sock traps, tree protection fencing, and inlet protection on any exiting inlets as shown on plans.

Construction vehicles shall enter or exit the site via the rock construction entrance. Existing paved areas shall be swept regularly throughout the day to prevent soil and sediment from being tracked into undisturbed areas and onto Tennis Ave. The sediment shall be recycled or disposed of per notes on this sheet. Dust control shall be provided as needed. Upon the installation or stabilization of all perimeter sediment control BMPs and at least 48 hours prior to proceeding with the bulk earth disturbance activities, the operator shall provide notification to the

Strip and stockpile topsoil from areas of proposed building, parking, and driveways. Surround stockpile with compost filter sock and stabilize immediately with temporary seed.

5. Saw cut existing paving along proposed paving. Remove existing asphalt, concrete, and miscellaneous existing features.

Rough grade in the area of improvements. Immediately install stone subbase for paved areas. Stabilize disturbed areas with permanent seeding and mulch and/or place erosion control blankets on all slopes 3:1 or steeper along with permanent lining as noted on plans.

Begin retaining wall construction.

Begin building foundation and walls.

Montgomery County Conservation District, Township, and Township Engineer.

10. Construct underground site utilities including new water and electric line as necessary.

Construct curbing and asphalt base course for driveways and parking areas.

Construct stormwater BMPs. Install TRM at outlets. Temporarily divert runoff around upslope sides of the BMPs to protect from sedimentation. BMPs shall be constructed with weather in mind and in such a manner to limit sedimentation within the basin stone/soil media areas while the excavation is open. A pump water filter bag shall be used as necessary.

eliminate potential for accelerated erosion and/or sediment pollution.

14. Perform final site grading where necessary. Install asphalt wearing course and concrete sidewalks.

8. Relocate utility lines. Construct new inlets, yard drains, and storm pipes. Install inlet protection immediately utilizing appropriate details.

Remove any accumulated sediment from compost filter socks and stabilize elsewhere on site.

Contact Montgomery County Conservation District once 70% uniform perennial cover is reached and before any sediment control BMPs are removed.

Install lawns, landscape beds, permanent seeding, landscaping, and mulch. A licensed professional shall be present to oversee topsoil preparation.

19. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to

Gwynn

Oaks

Map Unit Name

Abbottstown silt loam, 0 to 3

Abbottstown silt loam, 3 to 8

Croton silt loam, occasionally

Lawrenceville silt loam, 0 to 3

Lawrenceville silt loam, 3 to 8

Reaville silt loam, 8 to 15

ponded, 0 to 3 percent slopes

Chalfont silt loam, 0 to 3

percent slopes

percent slopes

percent slopes

percent slopes

percent slopes

percent slopes

8 percent slopes

20. Within 30 days after the completion of earth disturbance activities authorized by the permit, including the permanent stabilization of the site and proper installation of PCSM BMPs in accordance with the approved PCSM plan, or upon submission of the NOT if sooner, the permittee shall file with the department or authorized conservation district a stated signed by a licensed professional and by the permittee certifying that work has been performed in accordance with the terms and conditions of this permit and approved E&S and PCSM Plans. See BMP Construction sequence on PCSM Plan for critical stages.

Temporary and Permanent Vegetative Stabilization Specifications

Temporary: ANNUAL RYEGRASS % PURE LIVE SEED 48 LB. / ACRE APPLICATION RATE FERTILIZER TYPE: 500 LB. / ACRE FERTILIZER APPL. RATE 1 T. / ACRE LIMING RATE: MULCH TYPE: STRAW 3 T. / ACRE MULCHING RATE: **Permanent:**

TOPSOIL PLACEMENT DEPTH REDTOP TALL FESCUE % PURE LIVE SEED 60 LB. / ACRE 3 LB. / ACRE APPLICATION RATE (10-10-20)(10-10-20)FERTILIZER TYPE: 1,000 LB. / ACRE 1.000 LB. / ACRE FERTILIZER APPL. RATE 6 T. / ACRE 6 T. / ACRE LIMING RATE: STRAW MULCH TYPE: 3 T. / ACRE 3 T. / ACRE MULCHING RATE: TRACTOR-DRAWN IMPLEMENT TRACTOR-DRAWN IMPLEME ANCHOR MATERIAL ANCHORING METHOD: CRIMPING CRIMPING LB. / ACRE RATE OF ANCHOR MATERIAL APPL MARCH, APRIL, EARLY MAY MARCH, APRIL, EARLY MA SEEDING SEASON DATES: BEFORE AUGUST 15 / BEFORE AUGUST 15

Permanent - Steep Slope: TOPSOIL PLACEMENT DEPTH: TALL FESCUE REDTOP 74 % % PURE LIVE SEED 60 LB. / ACRE 3 LB. / ACRE APPLICATION RATE: (10-10-20)FERTILIZER TYPE: 1.000 LB. / ACRE 1,000 LB. / ACRE FERTILIZER APPL, RATE 6 T. / ACRE 6 T. / ACRE LIMING RATE: STRAW STRAW MULCH TYPE: 3 T. / ACRE 3 T. / ACRE MULCHING RATE: TRACTOR-DRAWN IMPLEMENT TRACTOR-DRAWN IMPLEME ANCHOR MATERIAL CRIMPING ANCHORING METHOD LB. / ACRE RATE OF ANCHOR MATERIAL APPL MARCH, APRIL, EARLY MAY MARCH, APRIL, EARLY MA SEEDING SEASON DATES:

1. Temporary Seeding - typically lime and fertilizer is not required for topsoil stockpiles. 2. Permanent Seeding - lime and fertilizer application as above or as per soil test; may not be required in agricultural fields. 3. A compost blanket which meets the standards of Chapter 11 of Erosion and Sediiment Pollution Control Program

/ BEFORE AUGUST 15

BEFORE AUGUST 15

SEQUENCE OF EARTHMOVING

Anticipated Start Date:

Developer and/or Contractor shall notify the Montgomery County Conservation District at least 72 hours prior to the commencement of earthmoving activities, and setup a pre-construction meeting with representatives of, but not limited to, the Conservation District, Municipality, Contractor and Developer.

Montgomery County Conservation District 143 Level Road Collegeville, PA 19426

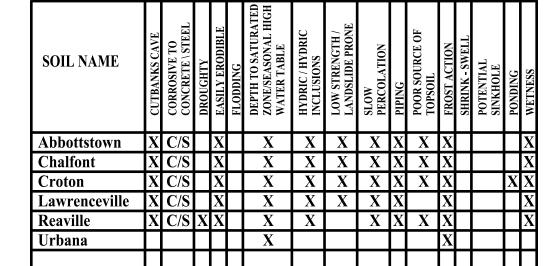
(610) 489-4506

MULCH TACKING

windblown. A tractor-drawn implement may be used to "Crimp" the straw or hay into the soil. This method is limited to slopes no steeper than 3 to 1 and machinery shall be operated on the contour. (Note: crimpping by traversing with track machinery is not acceptable). Emulsified asphalt containing no solvents or other diluting agents toxic to plant or animal life, uniformly applied at the rate of 31 gallons per 1,000 s.y. may be used to tack mulch. Synthetic or Chemical binders may be used as recommended by the manufacturer to anchor mulch provided that sufficient documentation is submitted to and approved by the Township and the Conservation District to show that the material is non-toxic to native plant and animal species and otherwise acceptable. Lightweight plastic, fiber or paper netting may be stapled over the mulch according to the manufacture's

Runoff from the site in both pre-and post-development condition discharges directly to an unnamed tributary to Park Creek. BMP's are utilized to the maximum extent possible in order to avoid thermal impacts. Where impervious areas are proposed, naturalized deten basins, landscape restoration, vegetated swales and runoff directed to vegetated areas help reduce runoff volume, improve water quality, and regulate water temperature before

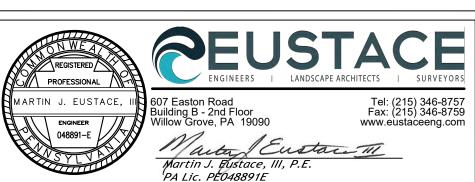
TABLE E.1 LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS



1 1 10/16/2024 YG MCCD SUBMISSION SET & REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

EROSION & SEDIMENTATION CONTROL NOTES

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA



COCATION WHERE THE SITE DISCHARGES TO

THE RECEIVING STREAM.

RECEIVING SURFACE WATERS

U.S.G.S. QUADRANGLE

1" = 2000'

Acres in AOI

57.9% Urban land-Udorthents, shale and sandstone complex, 0 to 100.0% 25.1

SHEET 13 OF 43

Percent of AOI

6.2%

13.4%

1.0%

3.7%

4.9%

* If more than one species is used, indicate application rate for each species.

Manual may be substituted for the soil amendments shown above.

Anticipated Completion Date: Spring 2026

This project will be developed in one phase.

Straw hay mulch shall be anchored immediately after application to prevent being

THERMAL IMPACT STATEMENT 102.4(b)(5)(xiii):

reaching existing stream channel.

ACTS GWYNEDD ESTATES AL

Map Unit Symbol

Totals for Area of Interest

3/13/24 DRAWING No. D 2373 08B 15

FILTER SOCK

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUA COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

PLAN VIEW

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. $\label{eq:decomposition}$

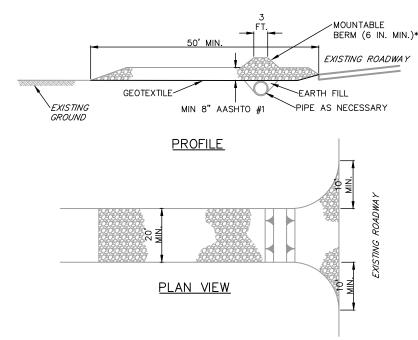
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN

SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

NOT TO SCALE		
LOCATION	SOOK I.D.#	DIAMETER (IN)*
SOUTH OF PROPOSED DRIVE CONNECTION	1	12
SOUTH OF PROPOSED BUILDING	2	12
ALONGTENNISAVE NEARCABLEBOX	3	12
NORTH OF PROPOSED LOOP DRIVE	4	12
WEST OF PROPOSED LOOP DRIVE	5	12
ALONG NORTHERN PROPERTY LINE	6	12
RECREATION AREA	7	12

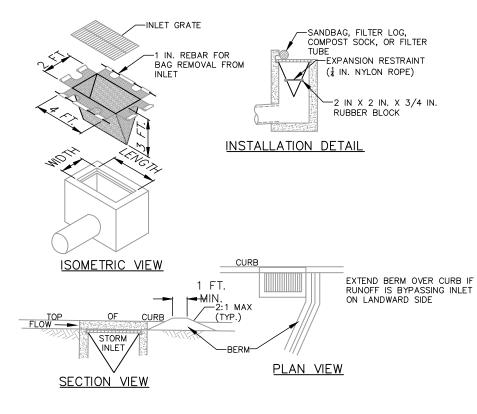


* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY, IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

> STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE NOT TO SCALE



MAXIMUM DRAINAGE AREA = 1/2 ACRE.

EXCAVATE CHANNEL TO

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40

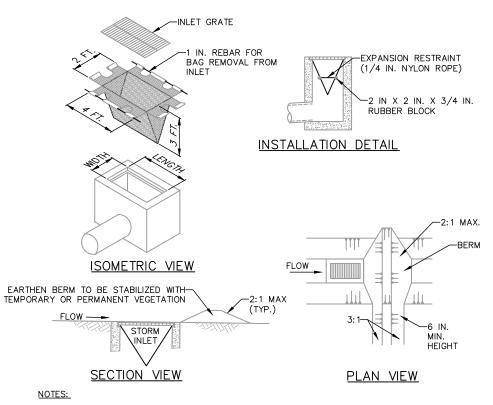
INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET.

DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-15 FILTER BAG INLET PROTECTION - TYPE C INLET

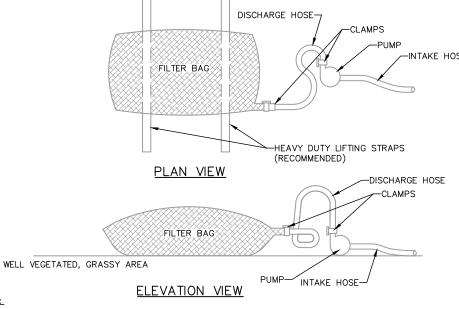
-SOIL BACKFILL



MAXIMUM DRAINAGE AREA = 1/2 ACRE. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS. ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS. STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET NOT TO SCALE



WELL VEGETATED, GRASSY AREA

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE

G STANDARDS:		
PROPERTY	TEST METHOD	MINIMUM STANDARD
IDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
JV RESISTANCE	ASTM D-4355	70%
OS % RETAINED	ASTM D-4751	80 SIEVE

AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

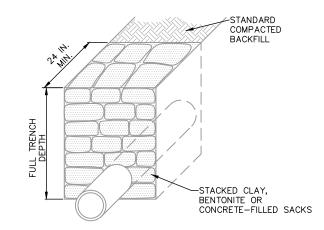
PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE

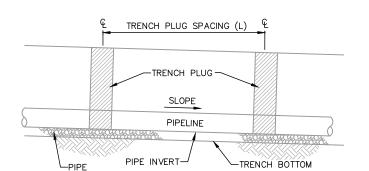
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOS FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY

STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG NOT TO SCALE



SECTION VIEW



PROFILE VIEW

BEDDING

PA DEP EROSION CONTROL MANUAL TABLE 13.1 MAXIMUM SPACING AND MATERIALS FOR TRENCH PLUGS * CLAY, BENTONITE, OR CONCRETE FILLED

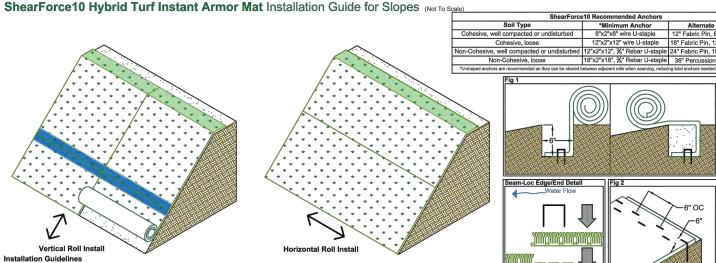
* CLAY, BENTONITE, OR CONCRETE FILLED

* CLAY, BENTONITE, OR CONCRETE FILLED

IMPERVIOUS TRENCH PLUGS ARE REQUIRED FOR ALL STREAM, RIVER, WETLAND, OR OTHER WATER BODY

STANDARD CONSTRUCTION DETAIL #13-4

TRENCH PLUG INSTALLATION NOT TO SCALE



oil used to fill rills or low spots must Fi

Effective Date: SEP 2020

PLACED 10 FT ON CENTER

In bends or reaches that are not straight, miter cut roll joints to prevent wrinkles in material.

Use a heavy duty utility knife or commercial-grade shears to cut material as necessary

Apply seed and fertilizer. Apply seed in the interest of the Apply seed, fertilizer and other amendments at the specified rates, either by broadcasting, drilling or hydro-seeding.

Position and anchor leading edge of mats at the top of, or over the shoulder of the slope with one of the following acceptable methods

installations) in the bottom of the trench, with the topside (simulated turf surface) facing down. Make sure mat rolls are properly aligned with slope direction. Position adjacent rolls according to Step 5 (to ensure proper overlap). Anchor edges of all mats into bottom of trench on 1-foot centers. Backfill trench, compact soil and apply additional seed to compacted soil surface. Unroll material over compacted anchor trench (Fig 1).

4.2. Double Row Anchor Check (Figure 2) Where trenching is not practical or desired, an anchor check may be used alternatively to secure the leading edge of the mats. Position the leading edges of the mats (or nubbed Seam-Loc edges for horizontal installations) with the topside (simulated turf surface) facing up, ensuring that mat rolls are properly aligned with slope direction. Posi adjacent rolls according to Step 5 (to ensure proper overlap). Secure leading edges of mats with a row of anchors spaced 6-inches apart, with a second staggered row of anchors spaced 6-inches apart, approximately 6-inches behind the first row (Fig 2)

mat body. Work out any wrinkles in material before anchoring. If there are areas where some wrinkles remain, additional anchors may be necessary to ensure good fabric-to-soil contact.

When seaming cut roll ends or edges, DO NOT OVERLAP. Simply butt together cut ends or edges and seam together with a single row of anchors spaced 6-inches apar

construct a 6-inch wide by 6-inch deep anchor trench across the top width of the slope. Position the leading edges of the mat (or nubbed Seam-Loc side edge for horizonta

Seam adjacent rolls. (Seam-Loc Edge Detail) Unroll material down (vertically) or across (horizontally) the slope face, slightly stretch and relax mat to remove any wrinkles. Let unrolled mats rest in sunlight for a minimum of 15 minutes to normalize surface temperature before anchoring. Overlap roll edges by placing full-turf roll edges on top of nubbed Seam-Loc edges (2-inch turf inset) of adjacent rolls. I necessary, simply step on overlaps to flatten and snap Seam-Loc edges together. Anchor mat to soil. (Figure 3) Starting at the top and working downslope, fasten mats with a row of anchors spaced 1.5-feet apart across the mat width, and anchor rows spaced 1.5-2.0-feet apart down the ma

length, making sure all overlaps and factory pre-fabricated seams (6-ft wide rolls only) are secured, according to Fig. 3. Installations on non-cohesive sandy soils and/or on slopes >= 1:1 and/or with significant overland flow, should use the 1.5-foot row spacing along mat length. Use additional anchors as necessary to smooth any remaining wrinkles and Seam consecutive roll ends. (Seam-Loc End Detail) Overlap roll ends "shingle-style" by placing full-turf roll ends (tail of upslope rolls) on top of nubbed Seam-Loc roll ends (3-inch turf inset at head of downslope rolls), and secure with a row of anchors spaced 6-inches apart (Fig 4) Additional Tips for Fast & Effective Installation
Install mat with simulated turf on top and fabric backing against soil surface.

For best vegetative results, do not install on top of any additional erosion control blanket, TRM, or fabric Overlap adjacent rolls by placing full-turf roll edjes on top of nubbed Seam-Loc roll edges (2-inch turf inset). Ensure that all overlaps and seams are properly anchored and secure. If necessary, simply step on overlaps to flatten Overlap adjacent time by precing further for edges of top of habota death record to adjace to the adjacent times, and snap Searn-Loc edges together.

Continuous fabric contact with the underlying soil surface is very important for effective product performance. Unroll mat and let rest in sunlight for a minimum of 15 minutes to normalize surface temperature before anchoring the

DESIGN GRADE AND CROSS OVERCUT CHANNEL 2 IN. TO-ONGITUDINAL ALLOW BULKING DURING SEED ANCHOR TRENCH BED PREPARATION LONGITUDINAL ANCHOR TRENCH INTERMITTENT CHECK SLOT SHINGLE-LAP SPLICED ENDS OR BEGIN NEW ROLL IN AN INTERMITTENT CHECK SLOT MIN. SHINGLE LAP=6 IN. PREPARE SOIL AND APPLY SEED BEFORE INSTALLING BLANKETS, MATS, OR OTHER TEMPORARY CHANNEL LINER SYSTEM. LONGITUDINAL ANCHOR TRENCH (LOOKING DOWNSTREAM)

6 IN. MIN.

CHANNEL CROSS-SECTION * SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION

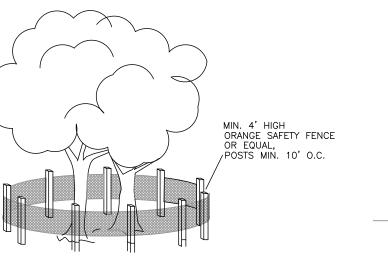
CHANNEL NO.	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING *
CH-1	12	1	15	3	3	SF10 - VEGETATED

ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL

CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY

NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

> STANDARD CONSTRUCTION DETAIL #6-1 **VEGETATED CHANNEL** NOT TO SCALE



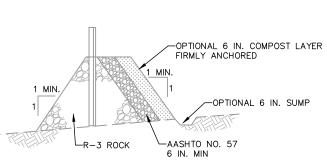
TREE PROTECTION DURING CONSTRUCTION DETAIL

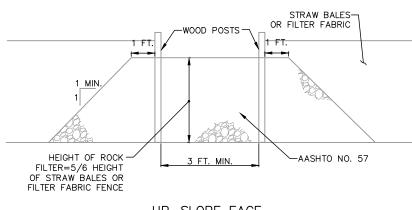
 BOX TREES WITHIN 25 FEET OF BUILDING AREA TO PREVENT MECHANICAL INJURY TO TREE. FENCING OF OTHER BARRIERS SHALL BE INSTALLED AT THE DRIP LINE OF THE TREE BRANCHES.

BOARDS SHALL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS. NO MORE THAN 1/3 OF FEEDER ROOTS SHALL NOT BE CUT IN AN AREA INSIDE THE DRIP LINE OF THE TREE BRANCHES. 4. DAMAGED TRUNKS OR EXPOSED ROOTS SHALL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT". CARE FOR SERIOUS INJURY

SHALL BE PRESCRIBED BY A PROFESSIONAL FORESTOR OR LICENSED TREE EXPERT. 5. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT STUB AREA WILL BE PAINTED WITH A GOOD GRADE OF "TREE PAINT".

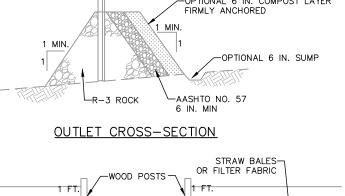
> TREE PROTECTION **DURING CONSTRUCTION**





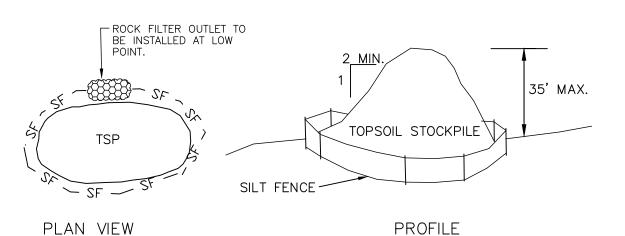
A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.

STANDARD CONSTRUCTION DETAIL #4-6 **ROCK FILTER OUTLET** NOT TO SCALE



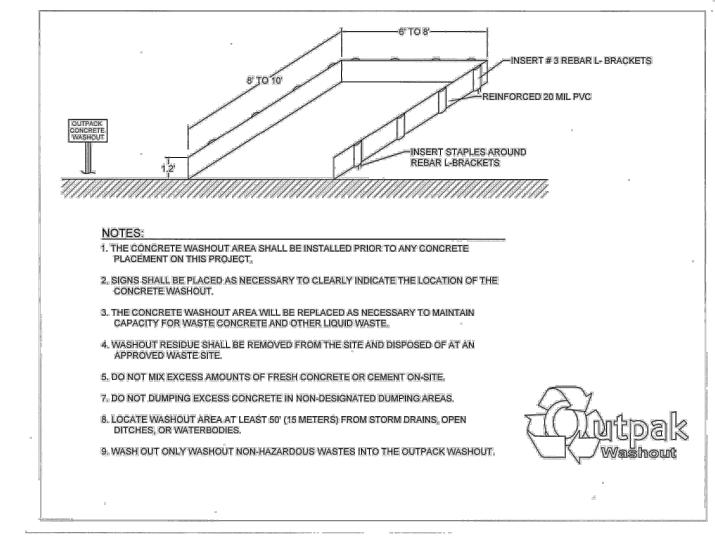
UP-SLOPE FACE

SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.



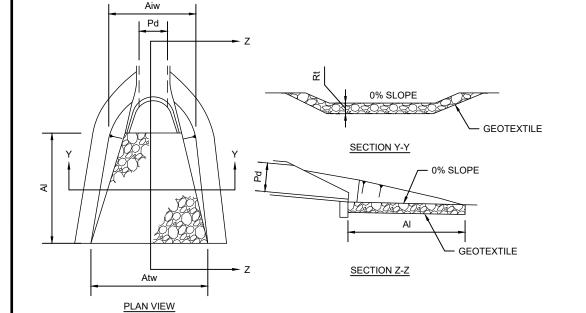
TOPSOIL STOCKPILE DETAIL 1. SILT FENCE MUST BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES.

2. IMMEDIATELY STABILIZE STOCKPILES



CONCRETE WASHOUT - For any project on which concrete will be poured or otherwise formed on site, a suitable washout facility must be provided for the cleaning of chutes, mixers, and hoppers of the delivery vehicles unless such a facility will be used at the source of the concrete. Under no circumstances may wash water from these vehicles be allowed to enter any surface waters. Make sure that proper signage is provided to drivers so that they are aware of the presence of washout facilities.

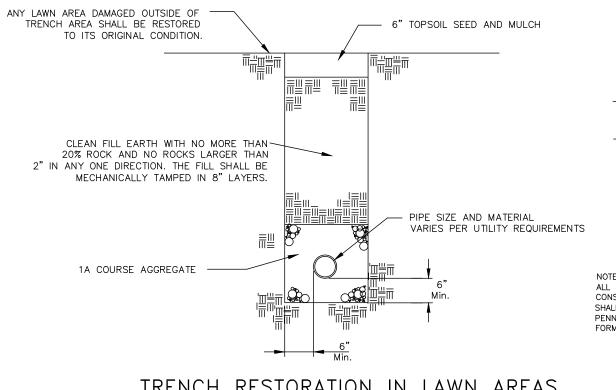
Washout facilities should not be placed within 50 feet of storm drains, open ditches or surface waters. They should be in a convenient location for the trucks, preferably near the place where the concrete is being poured, but far enough from other vehicular traffic to minimize the potential for accidental damage or spills. Wherever possible, they should be located on slopes not exceeding a 2% grade. Additional information on washouts may be obtained from EPA's stormwater website.



OUTLET PIPE		RIPRAP *		APRON			NOTES.		
	NO.	DIA Pd (IN)	SIZE R	THICK. Rt (IN)	LENGTH AI (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)	NOTES: ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING	
	FES-A	18	4	18	8	4.5	12.5	CHANNELS.	
	FES-B	12	3	9	6	3	9	ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH	
	EW-1	24	4	18	11	6	17	RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED	
	EW-2	18	4	18	8	4.5	12.5	IMMEDIATELY.	
	FS-12	18	4	18	8	4.5	12.5		

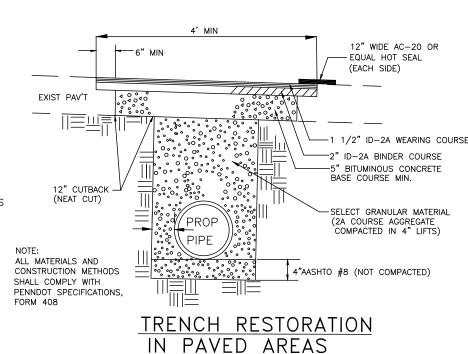
* USE SHEARFORCE10 HYBRID TURF INSTANT ARMOR MAT (TRM) IN PLACE OF

RIPRAP APRON AT PIPE OUTLET



TRENCH RESTORATION IN LAWN AREAS

1. ALL MATERIALS SHALL CONFORM TO LOWER GWYNEDD TOWNSHIP CODE SPECIFICATIONS.

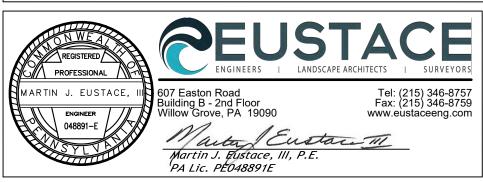


SHEET 14 OF 43



LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

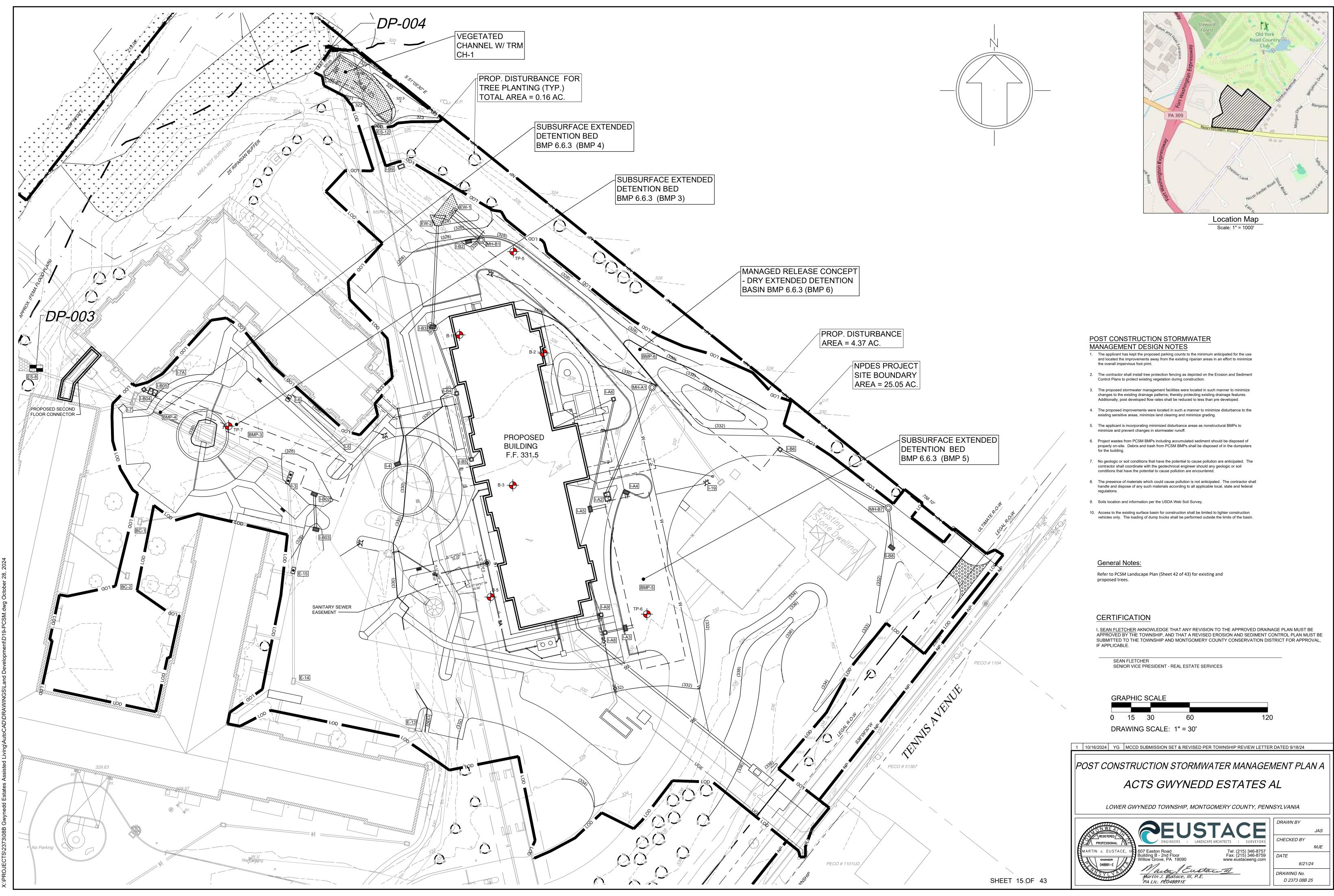
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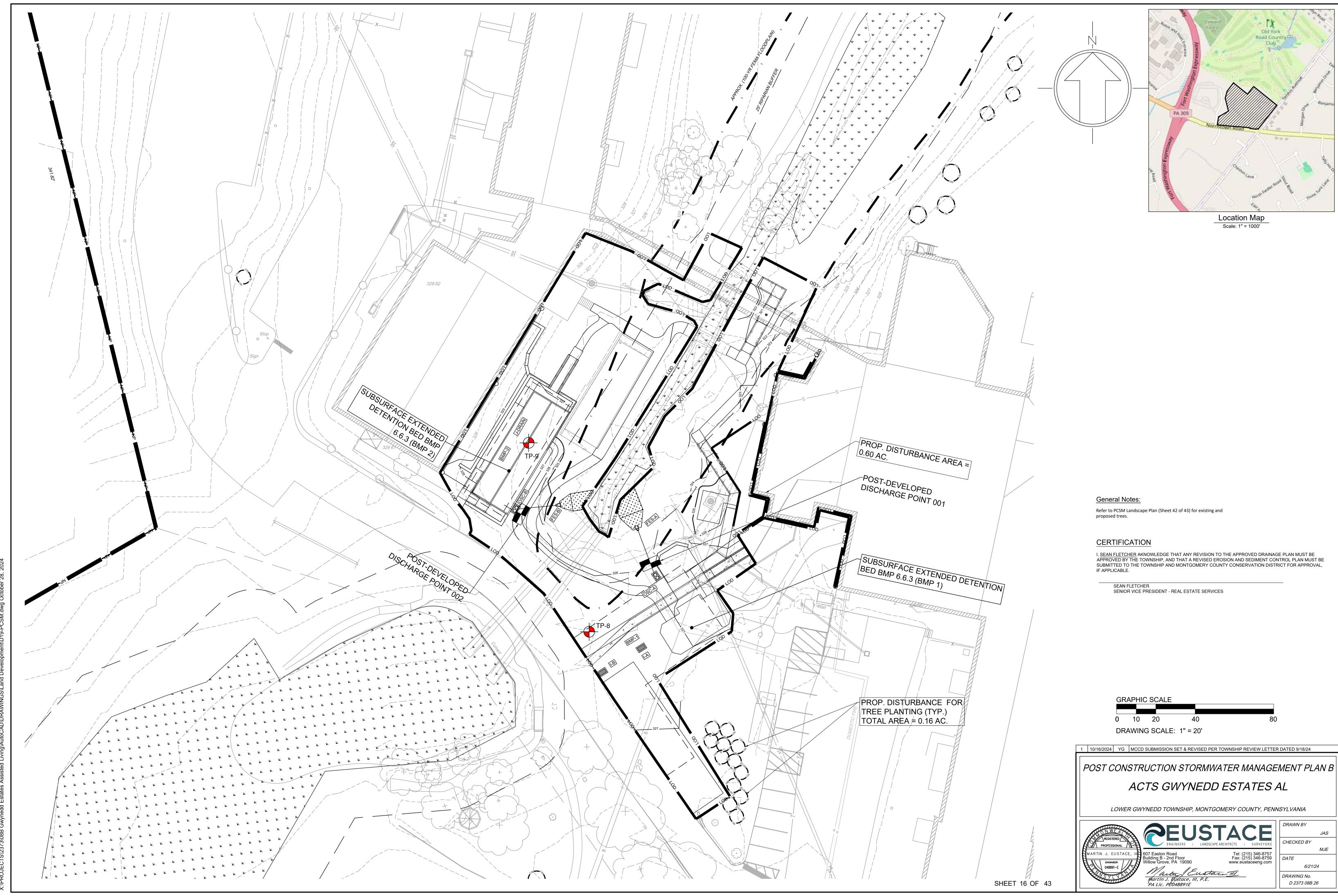


CHECKED BY DATE 3/13/24 DRAWING No. D 2373 08B 14

STANDARD CONSTRUCTION DETAIL #9-1

ES-12 | 18 | 4 | 18 | 8 | 4.5 | 12.5 |





2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.

3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.

4. FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.

5. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.

6. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS

ANY LAWN AREA DAMAGED OUTSIDE OF SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).

7. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

8. MINIMUM COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

NOMINAL	NOMINAL	TYPICAL	TYPICAL	TYPICAL SIDE	H	H
DIAMETER	O.D.	SPACING "S"	SPACING "C"	WALL "X"	(NON-TRAFFIC)	(TRAFFIC)
12"	14.5"	11"	25.4"	8"	12"	12"
(300 MM)	(368 MM)	(279 MM)	(645 MM)	(203 MM)	(292 MM)	(292 MM)
24"	28"	13.4"	41.4"	10"	12"	12"
(600 MM)	(711 MM)	(340 MM)	(1050 MM)	(260 MM)	(292 MM)	(292 MM)
36"	42"	22"	63"	18"	12"	12"
(900 MM)	(1067 MM)	(559 MM)	(1600 MM)	(457 MM)	(292 MM)	(292 MM)

4 OPENING

LINSIDE FACE

TOP SLAB WITH OPTIONAL

ROUND OPENING FOR

MANHOLE COVER

1. THE FOLLOWING CIRCULAR OPENINGS ARE

CIRCULAR OPENINGS:

PERMITTED:

27"Ø

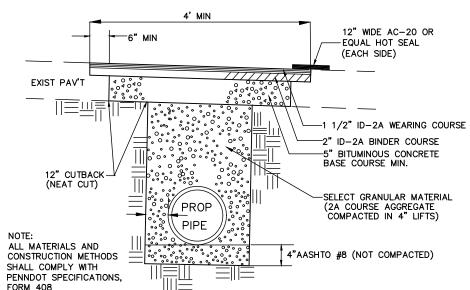
OF INLET BOX

CIRCULAR OPENING

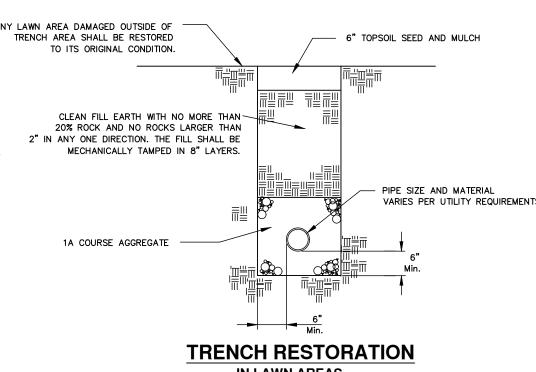
FOR MANHOLE COVER

Ls = SLAB LENGTH

SEE NOTE 2



TRENCH RESTORATION



1. ALL MATERIALS SHALL CONFORM TO WHITPAIN TOWNSHIP CODE SPECIFICATIONS.

UNDERGROUND DETENTION STRUCTURE CONSTRUCTION SEQUENCE

1. A Licensed Professional Engineer (or authorized representative) knowledgeable in the design and construction of stormwater BMP's, preferably the Design Engineer, shall conduct the oversight of installation of the Subsurface Infiltration Bed.

2. Protect Underground Detention Structure (U.D.S.) from compaction prior to installation.

3. If possible, install U.D.S. during later phase of site construction to prevent sedimentation and/or damage from construction activity.

4. Install and maintain proper Erosion and Sediment control measures during construction as per the Pennsylvania Erosion and Sediment Pollution Control Program Manual (March 2012, or latest edition).

5. Excavate U.D.S. bottom to a uniform, level uncompacted subgrade free from rocks and debris. Do not compact subgrade. To the greatest extent possible, excavation should be performed with the lightest practical equipment. Excavation equipment should be placed outside the limits of the U.D.S.

6. Place nonwoven geotextile along bottom and sides of U.D.S. (If sediment and/or debris have accumulated in U.D.S. bottom, remove prior to geotextile placement). Geotextile rolls should overlap by a minimum of 16 inches within the trench. Fold back and secure excess geotextile during stone placement.

7. If unfavorable conditions are encountered during the installation of the U.D.S. (I.E. groundwater and/or bedrock, etc.). The Owner / Engineer should be notified and the proposed U.D.S. should be relocated to a more suitable location on the property.

8. To be installed per the manufacturer's instructions.

9. Install upstream and downstream Control Structures, cleanouts, etc.

10. Place uniformly graded, clean-washed aggregate in 8 inch lifts, lightly compacting between lifts.

11. Fold and secure nonwoven geotextile over U.D.S., with minimum overlap of 12 inches.

12. Place 6 inch lift of approved topsoil over U.D.S., as indicated on plans. (IN GRASS AREAS)

13. Seed and stabilize topsoil. (IN GRASS AREAS)

14. Place 6 inch lift of approved stone over U.D.S., as indicated on plans. (IN PAVED AREAS)

15. Place approved paving over U.D.S., as indicated on plans. (IN PAVED AREAS)

16. Do not remove other Erosion and Sediment Control measures until site is fully stabilized.

17. The conveyance system should keep reused stormwater or greywater from other potable water piping systems. Do not connect to domestic or commercial potable water system.

18. Pipes or storage units should be clearly marked "Caution: Reclaimed water, Do Not Drink".

19. Screens may be used to filter debris from storage units.

20. The first flush runoff may be diverted away from storage in order to minimize sediment and pollutant entry. However, rooftop runoff contains very low concentrations of pollutants.

21. Storage elements should be protected from direct sunlight by positioning and landscaping. (Limit light into devices to minimize algae growth)

22. Covers (lids) should have a tight fit to keep out surface water, animals, dust and light.

23. Positive outlet for overflow should be provided a few inches from the top of the structure.

24. Observation risers should be at least 6" above grade for buried structure.

4" MAX.

MAINTENANCE NOTES

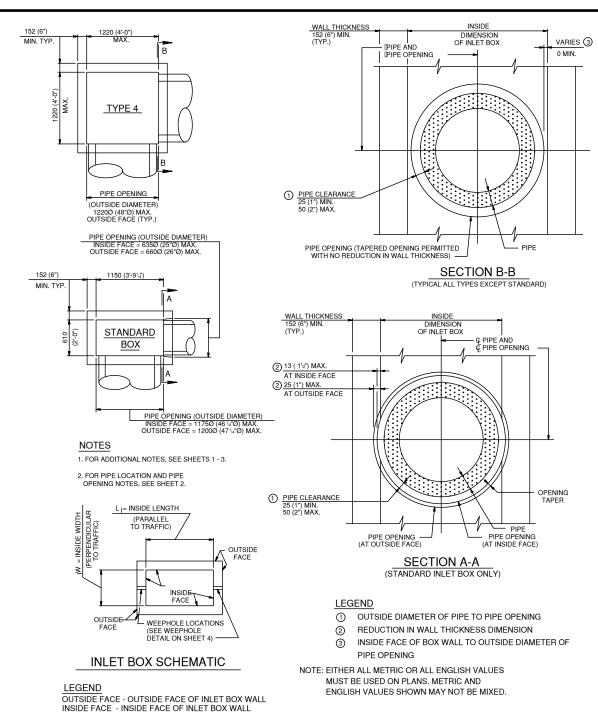
1. When Underground Detention Structures (U.D.S.) are first made functional they should be inspected monthly and after any large storm event. Thereafter, once the U.D.S. is functioning satisfactorily and without potential sediment problems, inspections may be made Semi-Annually and after any large storm events. All inspections should include investigation for potential sources of contamination.

2. Pre-treatment inlets should be cleaned of accumulated sediment and debris as needed, or annually at a minimum.

3. Vegetation surrounding the U.D.S. should be well maintained, to prevent erosion and sediment accumulating in the facility. Bare spots should be immediately stabilized and re-vegetated. Fertilizers should only be applied as necessary and in limited amounts to avoid contributing to groundwater pollution.

4. Care must be taken to protect the infiltration facility from excessive sediments from the drainage shed. Whenever additional land disturbance activity takes place in the area draining to the facility, effective erosion and sediment control measures must first be put in place to exclude sediments from the basin.

5. Flush structure to remove sediment.



REFERENCE PENNDOT RC-45M & RC-46M FOR INLET INFORMATION

NOTES:

BE AS MANUFACTURED BY:

(860) 434-0277, (860) 434-3195 FAX

WEB SITE: www.bmpinc.com

OR PRE-APPROVED EQUAL

TOLL FREE: (800) 504-8008 OR (888) 434-0277

53 MT. ARCHER RD.

LYME, CT 06371

OUTFLOW-WATER QUALITY HOOD/SNOUT

GRATE (STRUCTURAL STEEL SHOWN)

2-

SECTION A-A

STRUCTURAL STEEL GRATE

BICYCLE SAFE

CONCRETE TOP UNIT - TYPE C

1−1/4"(Typ.) -

-INLET BOX

/-INLET/ YARD DRAIN

-INFLOW

CONCRETE TOP UNIT - TYPE M

3. ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT PIPE AND ELBOW AS DRAWN. (SEE CONFIGURATION

2. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH

ISO GELCOAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.

4. THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION (SNOUT SIZE ALWAYS LARGER THAN PIPE

1. ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL

BEST MANAGEMENT PRODUCTS, INC. OR EQUIVALENT

5. THE BOTTOM OF THE HOOD SHALL EXTEND THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES <12" I.D.

6. THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM

OF 12" ACCORDING TO STRUCTURE CONFIGURATION. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHEI

SMOOTH AND FREE OF LOOSE MATERIAL AND PIPE SHALL BE FINISHED FLUSH TO WALL. 8. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE

9. INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE:

a) INSTALLATION INSTRUCTIONS b) PVC ANTI-SIPHON VENT PIPE AND ADAPTER c) OIL-RESISTANT CRUSHED CELL FOAM d) GASKET WITH PSA BACKING e) STAINLESS STEEL BOLTS

f) ANCHOR SHIELDS 10. SEE TABLE BELOW FOR SNOUT LOCATIONS, TYPE AND SIZE.

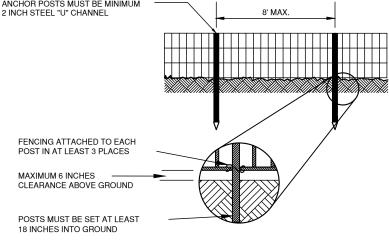
SNOUT MODEL I-B02 I-B04

CONFIGURATION DETAIL ANTI-SIPHON REMOVABLE-PIPE ADAPTER WATERTIGHT ACCESS PORT 6"-10" OPENING INSTALLATION DETAIL ANCHOR W/ BOLT MOUNTING FLANGE (HIDDEN) SIDE VIEW COMPRESSED BETWEEN HOOD AND STRUCTURE

> WATER QUALITY STRUCTURE (SNOUT)

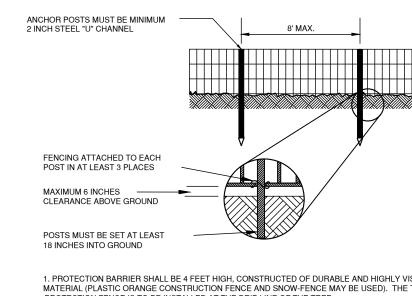
NOTE: POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2 OUTLET PIPE DIAMETER (MIN.) BELOW THE PIPE INVERT. MINUMUM DISTANCE FOR PIPES < 12" I.D. IS 6".

INLET WITH HOOD/SNOUT



. PROTECTION BARRIER SHALL BE 4 FEET HIGH, CONSTRUCTED OF DURABLE AND HIGHLY VISIBLE MATERIAL (PLASTIC ORANGE CONSTRUCTION FENCE AND SNOW-FENCE MAY BE USED). THE TREE PROTECTION FENCE IS TO BE INSTALLED AT THE DRIP LINE OF THE TREE. 2. PROTECTION BARRIERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK 3. ADDITIONAL WARNING SIGNS SHOULD ALSO BE PLACED ON THE FENCING AND IN

TREE PROTECTION FENCE FOR BMP AREA



ACTS GWYNEDD ESTATES AL

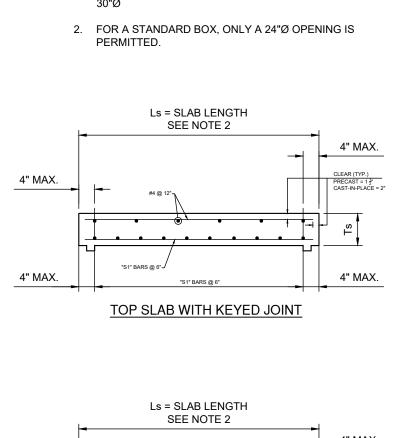
POST CONSTRUCTION STORMWATER MANAGEMENT NOTES & DETAILS A

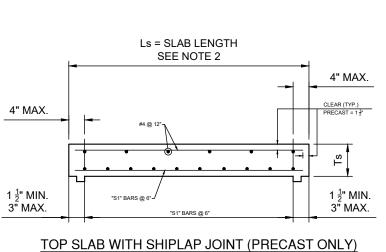
1 | 10/16/2024 | YG | MCCD SUBMISSION SET & REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

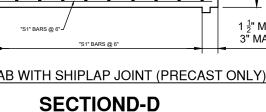
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

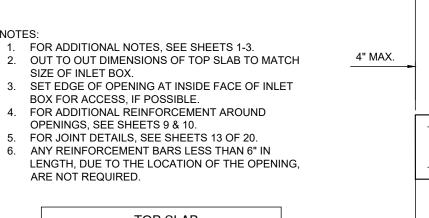


CHECKED BY Tel: (215) 346-8757 Fax: (215) 346-8759 DATE 6/21/24 DRAWING No. D 2373 08B 22









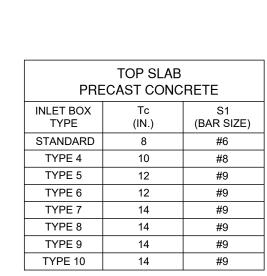
TOP SLAB CAST-IN-PLACE CONCRETE							
INLET BOX TYPE	Tc (IN.)	S1 (BAR SIZE)					
STANDARD	8	#6					
TYPE 4	12	#7					
TYPE 5	14	#8					
TYPE 6	14	#8					
TYPE 7	14	#9					
TYPE 8	14	#9					
TYPE 9	14	#9					
TYPE 10	14	#9					

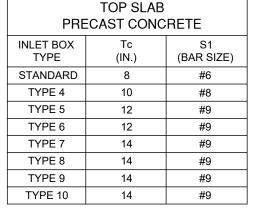
SIZE OF INLET BOX.

ARE NOT REQUIRED.

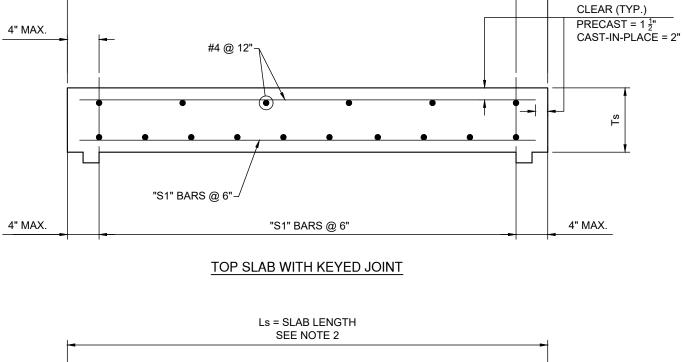
BOX FOR ACCESS, IF POSSIBLE

OPENINGS, SEE SHEETS 9 & 10.



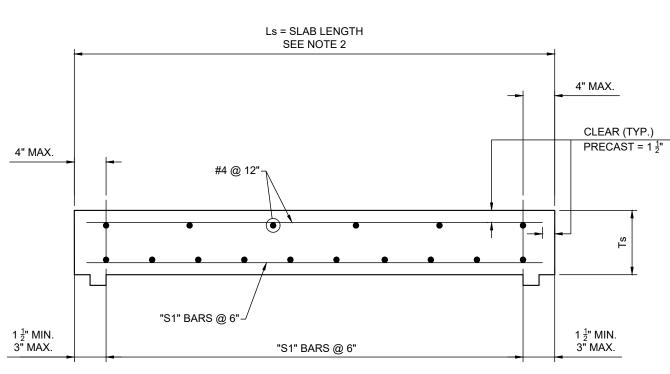


(ADDITIONAL REINFORCEMENT NOT SHOWN) FOR ADDITONAL INFORMATION REFER TO RC-46M



Ls = SLAB LENGTH

SEE NOTE 2



TOP SLAB WITH SHIPLAP JOINT (PRECAST ONLY) **SECTIOND-D** (ADDITIONAL REINFORCEMENT NOT SHOWN)

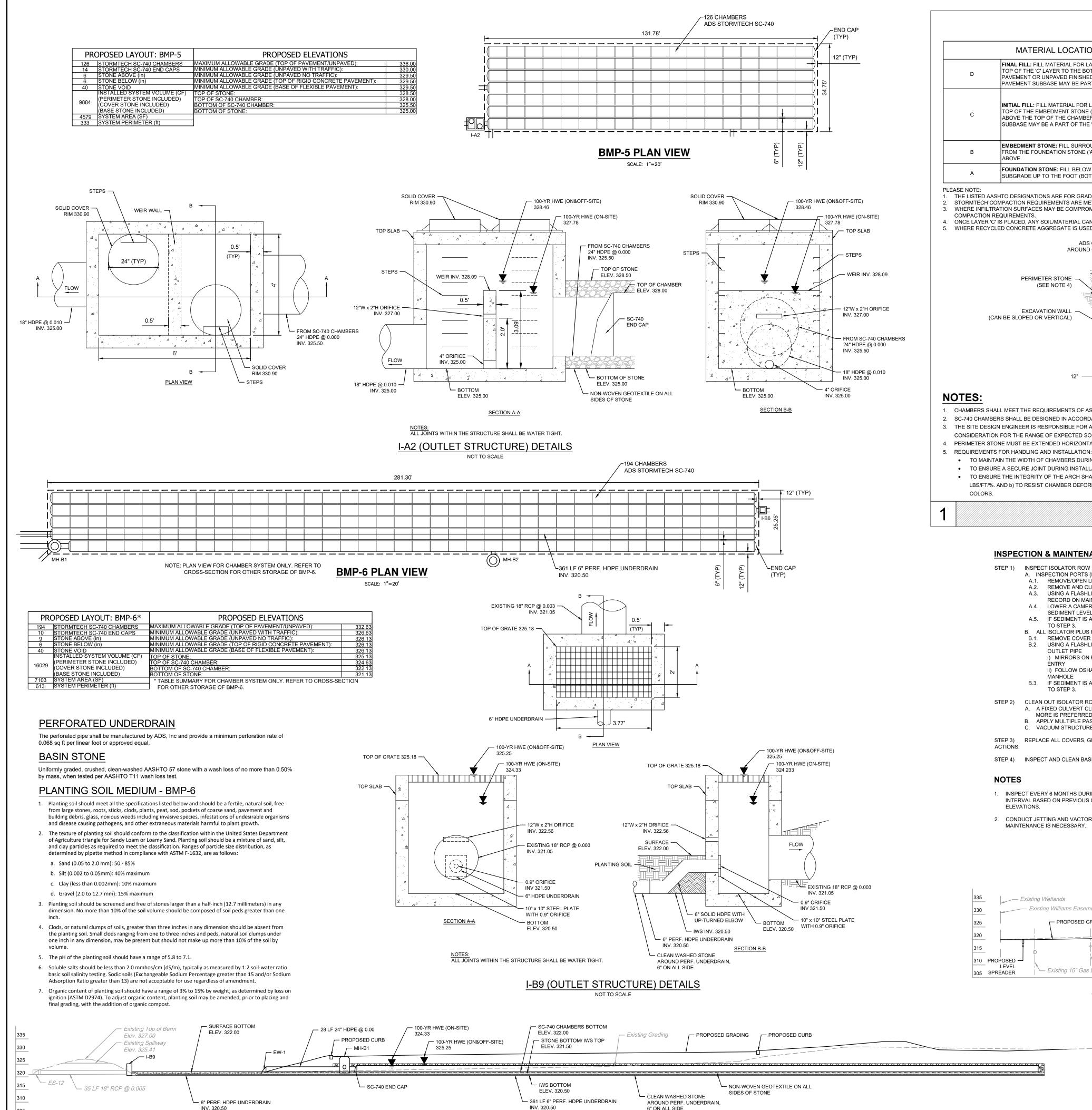
MONARCH PRECAST CONCRETE CORP

24"x24" INLET BOX w/ TYPE M INLET TOP

SECTION "A-A"

RECYCLING STATEMENT

THAN DISPOSAL.



6" ON ALL SIDE

BMP-6 CROSS SECTION

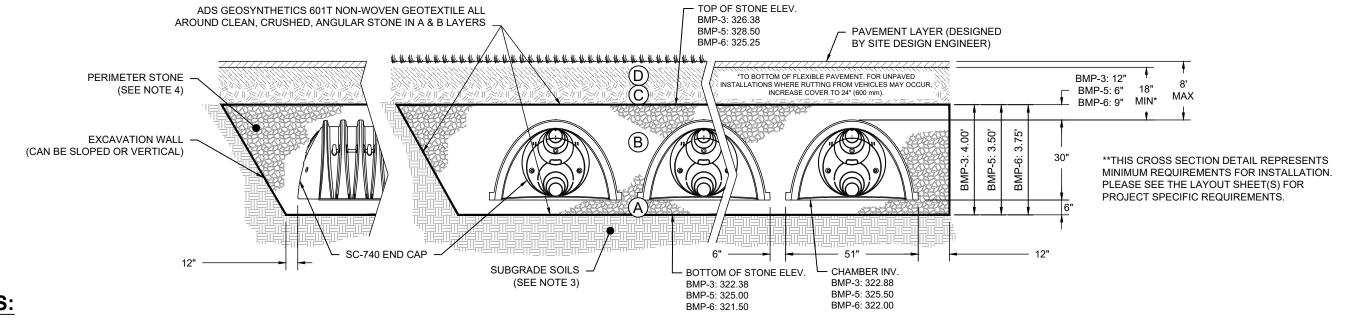
INV. 320.50

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

١.						
		MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT	
	D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.	
	С	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).	
	В	EMBEDMENT STONE : FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ⁵	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.	
	A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ⁵	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}	

THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE". STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.

- 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGNS, CONTACT STORMTECH FOR
- 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION. 5. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



- 1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
- 2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". 3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH
- CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- 4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
- TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
- TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/FT/%. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW
- COLORS.

SC-740 CROSS SECTION DETAIL

12" (300 mm) MIN WIDTH -

8" (200 mm) MIN THICKNESS OF ASPHALT

OVERLAYAND CONCRETE COLLAR

ASPHALT OVERLAY FOR -

TRAFFIC APPLICATIONS

STORMTECH CHAMBER

CONCRETE COLLAR -

INSPECTION & MAINTENANCE - CHAMBER SYSTEM

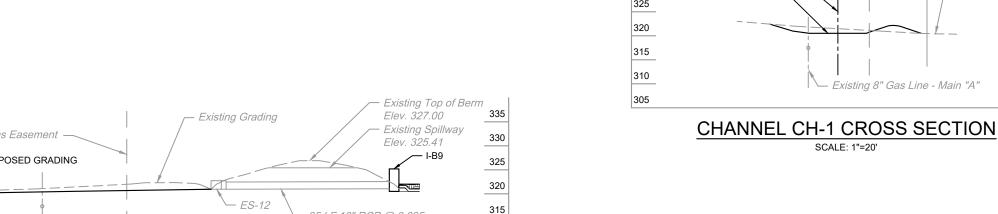
STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT A. INSPECTION PORTS (IF PRESENT)

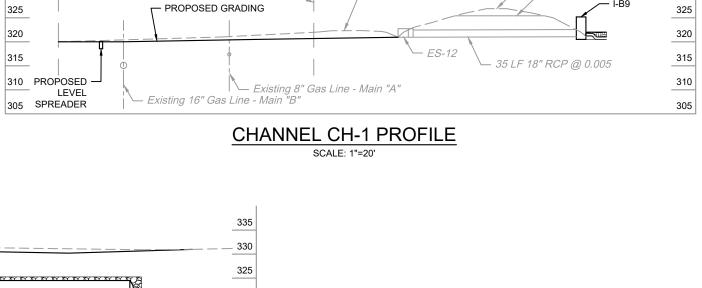
- A 1 REMOVE/OPEN LID ON NYLOPI AST INLINE DRAIN A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF
- SEDIMENT LEVELS (OPTIONAL) A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED
- B. ALL ISOLATOR PLUS ROWS B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH
- i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING
- B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR
 - MORE IS PREFERRED APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

Existing Wetlands

- 1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER
- 2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY





1 | 10/16/2024 | YG | MCCD SUBMISSION SET & REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24 POST CONSTRUCTION STORMWATER MANAGEMENT NOTES & DETAILS B ACTS GWYNEDD ESTATES AL LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA Tel: (215) 346-8757 Fax: (215) 346-8759 DATE 6/21/24 DRAWING No.

INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

Existing Williams Easement

PROPOSED G OF SWALE

PROPOSED GRADING

4" PVC INSPECTION PORT DETAIL (SC SERIES CHAMBER)

NYLOPLAST 8" LOCKING SOLID

NON-TRAFFIC APPLICATIONS

CONCRETE COLLAR / ASPHALT OVERLAY NOT REQUIRED FOR GREENSPACE OR

BODY (PART# 2708AG4IPKIT) OR TRAFFIC

TO BE CENTERED ON CORRUGATION CREST

RATED BOX W/SOLID LOCKING COVER

COVER AND FRAME

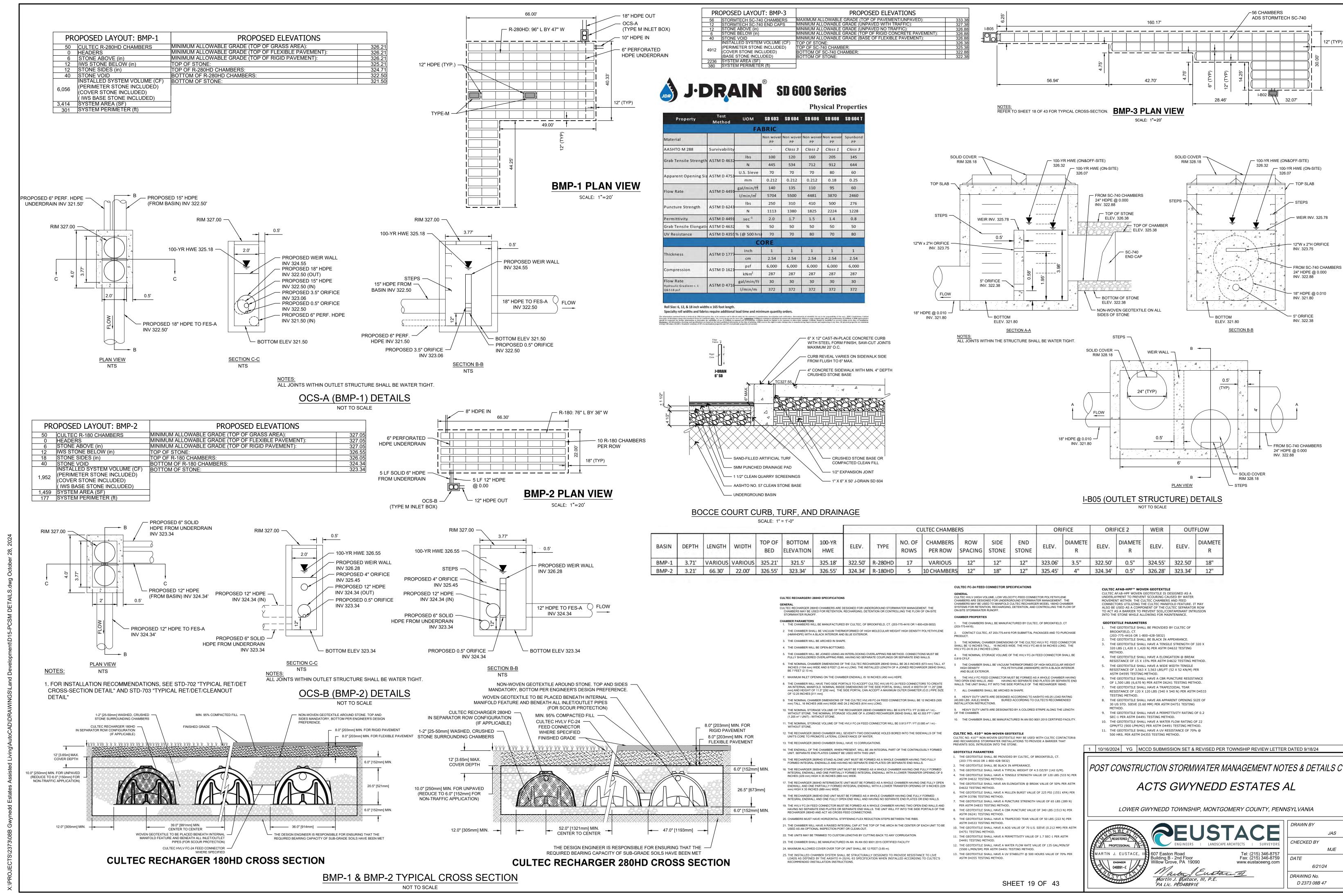
— 4" (100 mm) SDR 35 PIPE

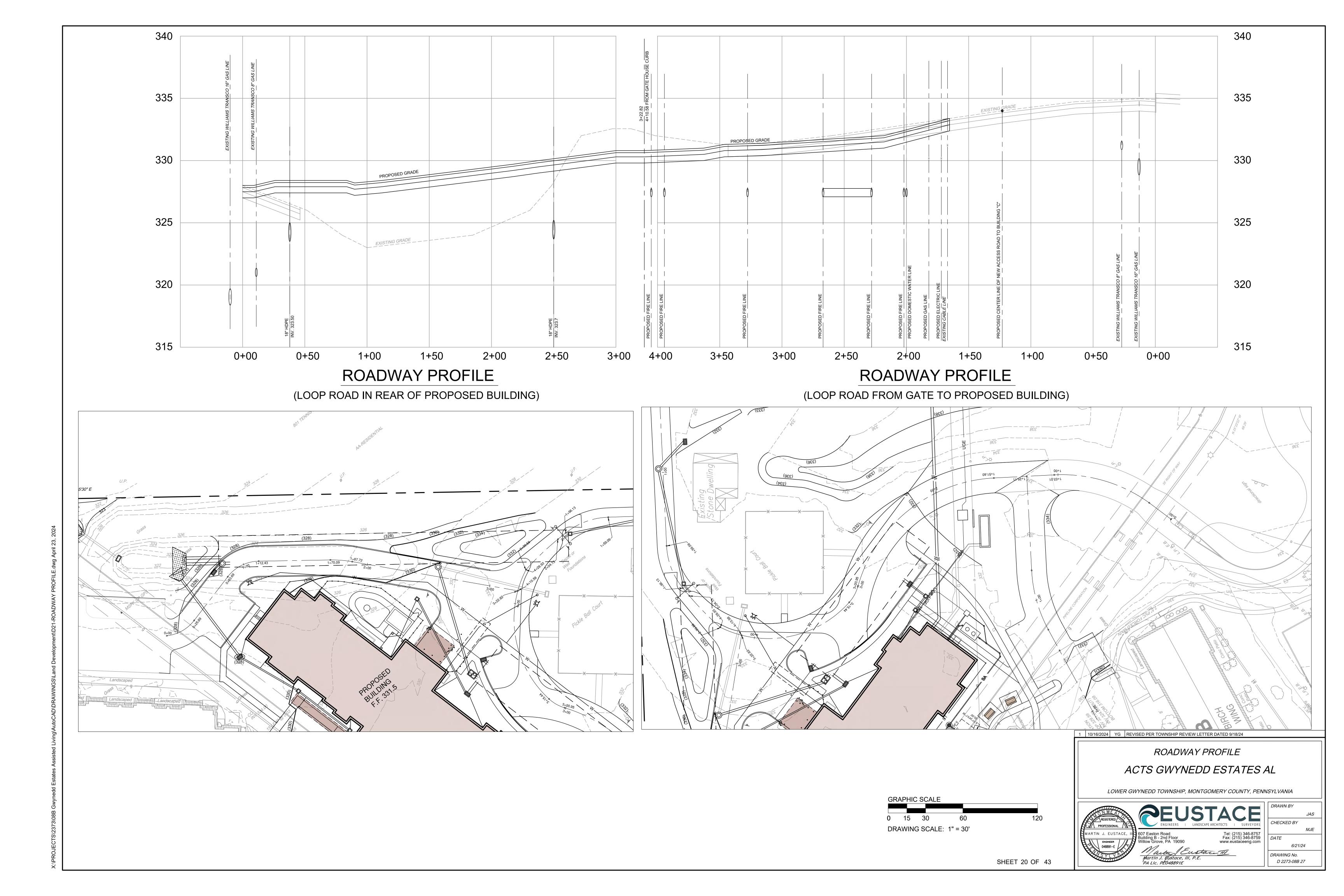
- 4" (100 mm) INSERTA TEE

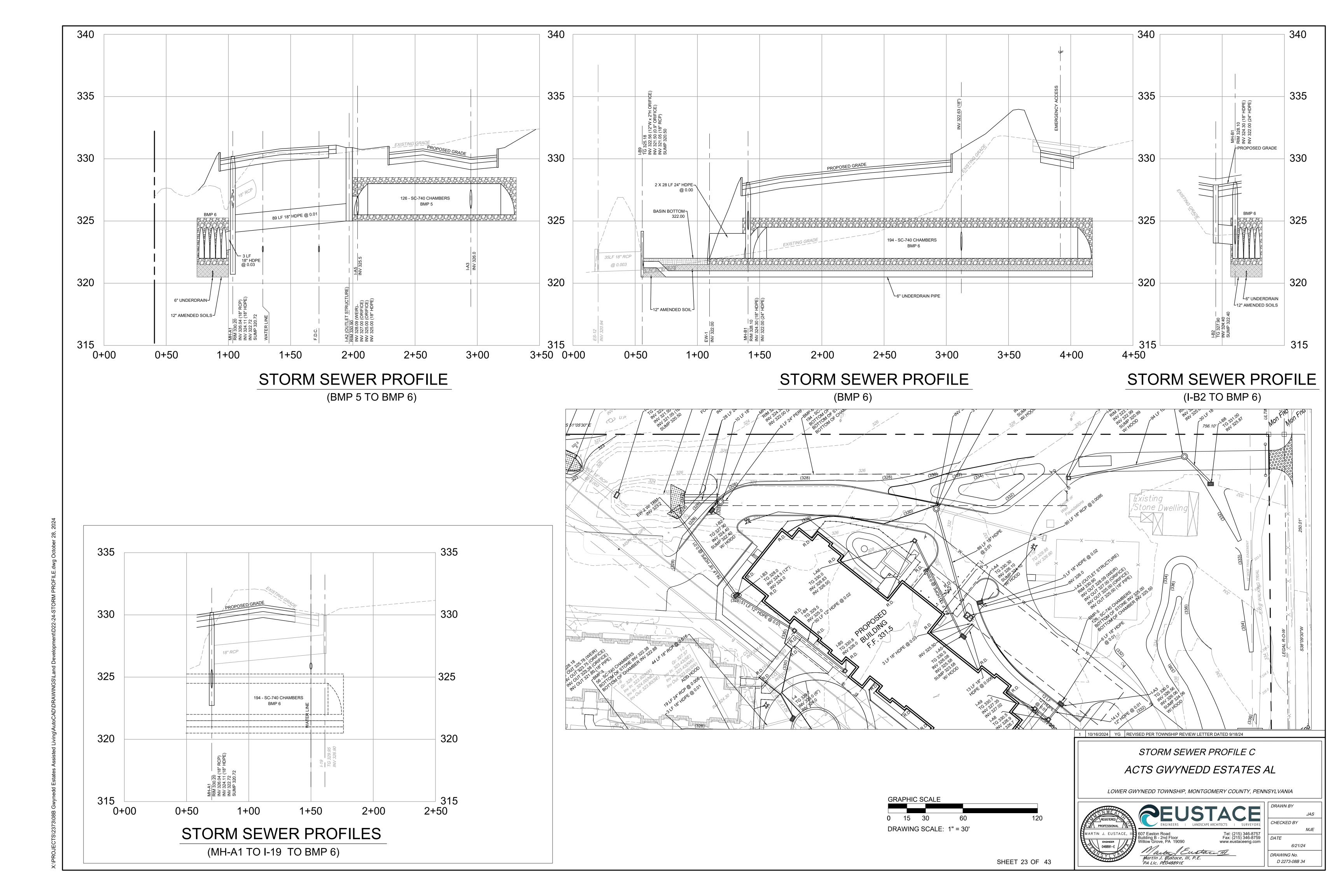
Existing Grading

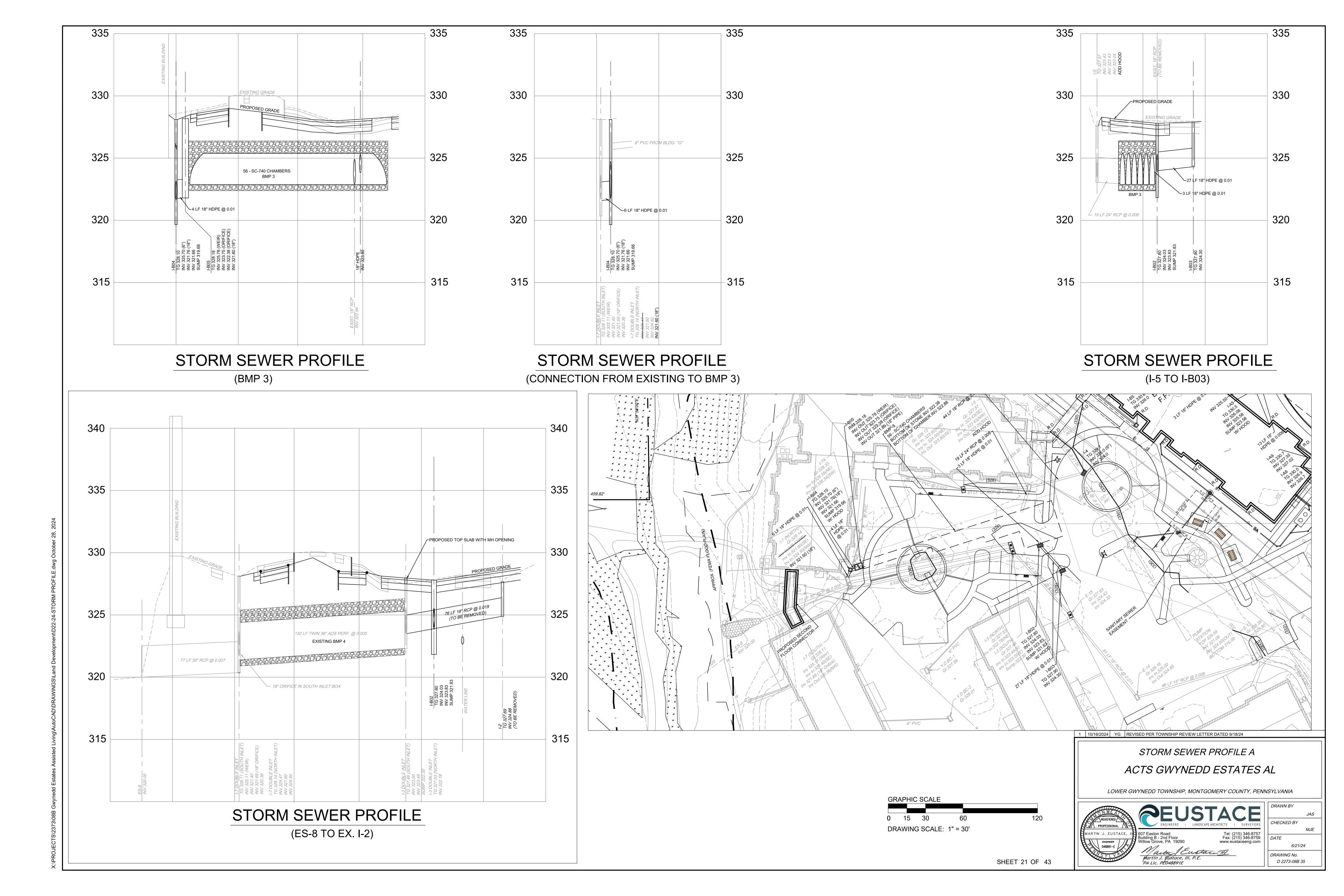
SHEET 18 OF 43

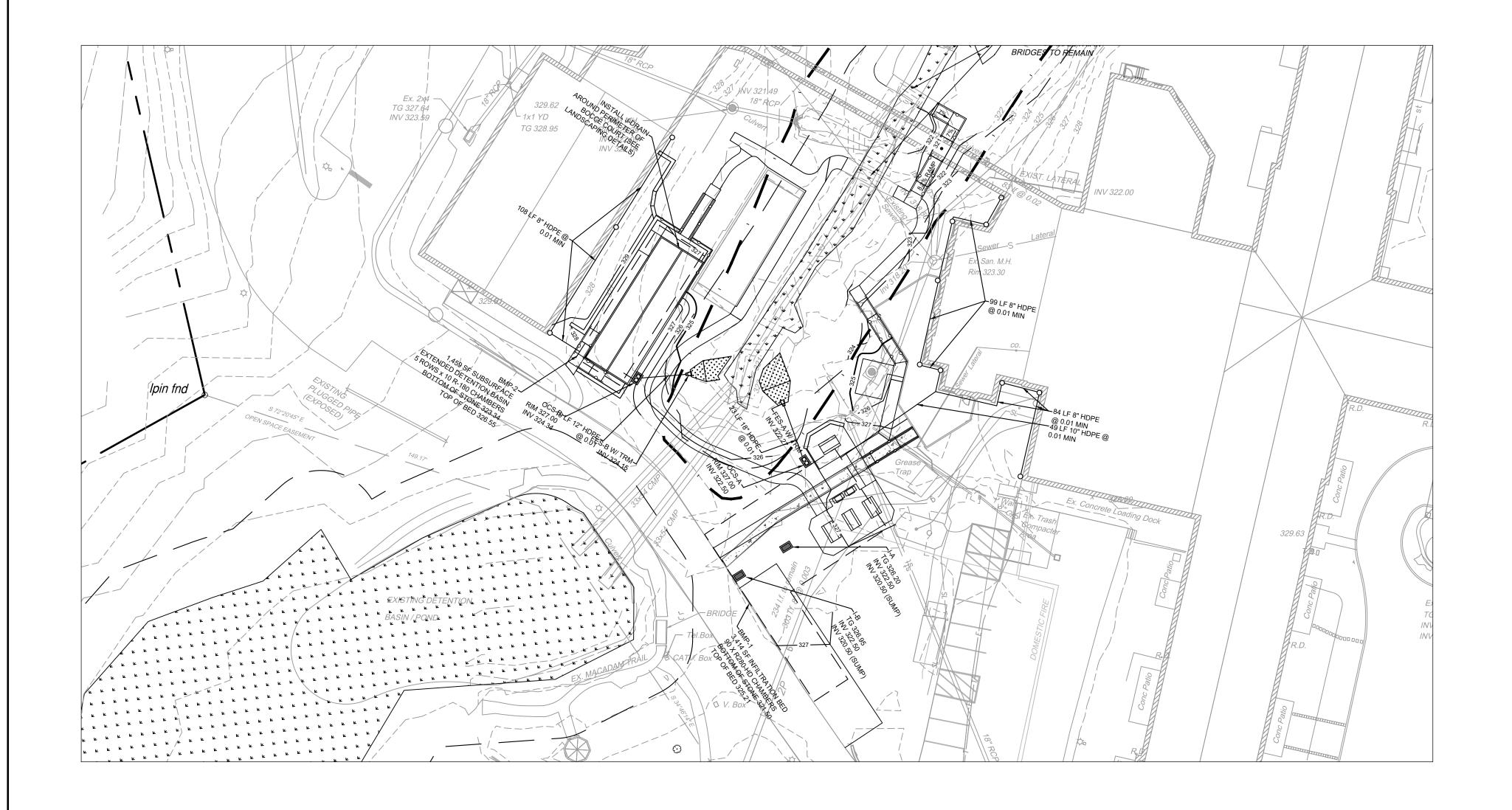
D 2373 08B 24

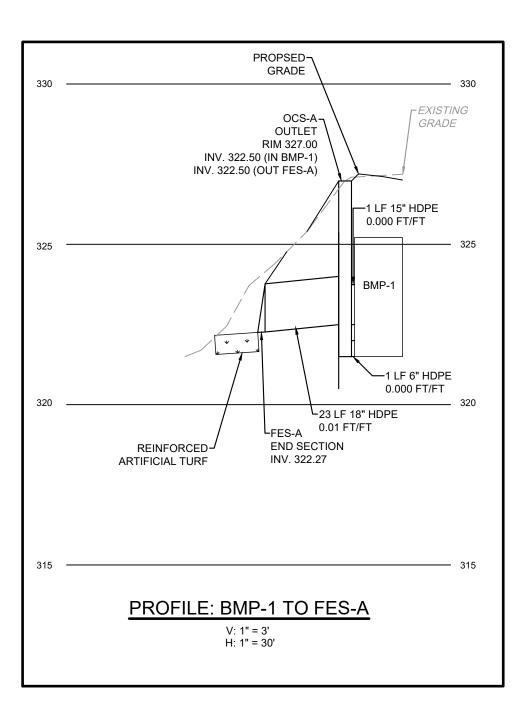


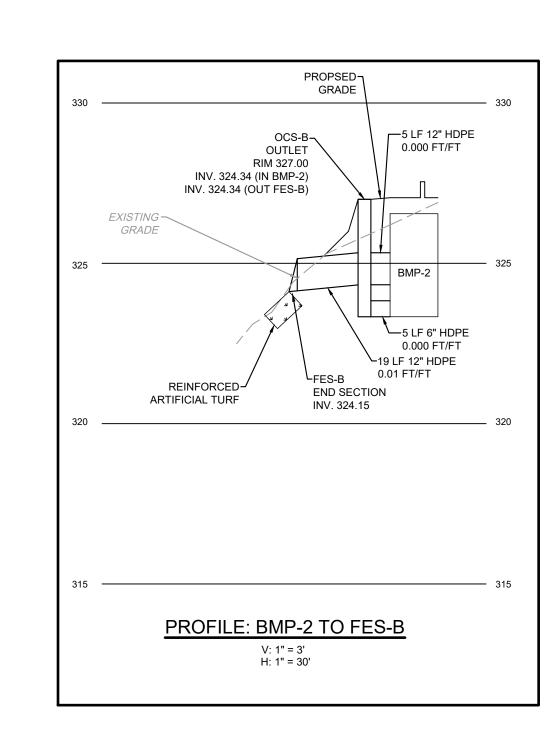


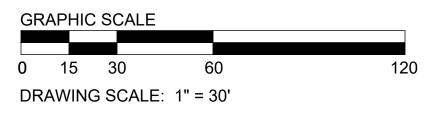








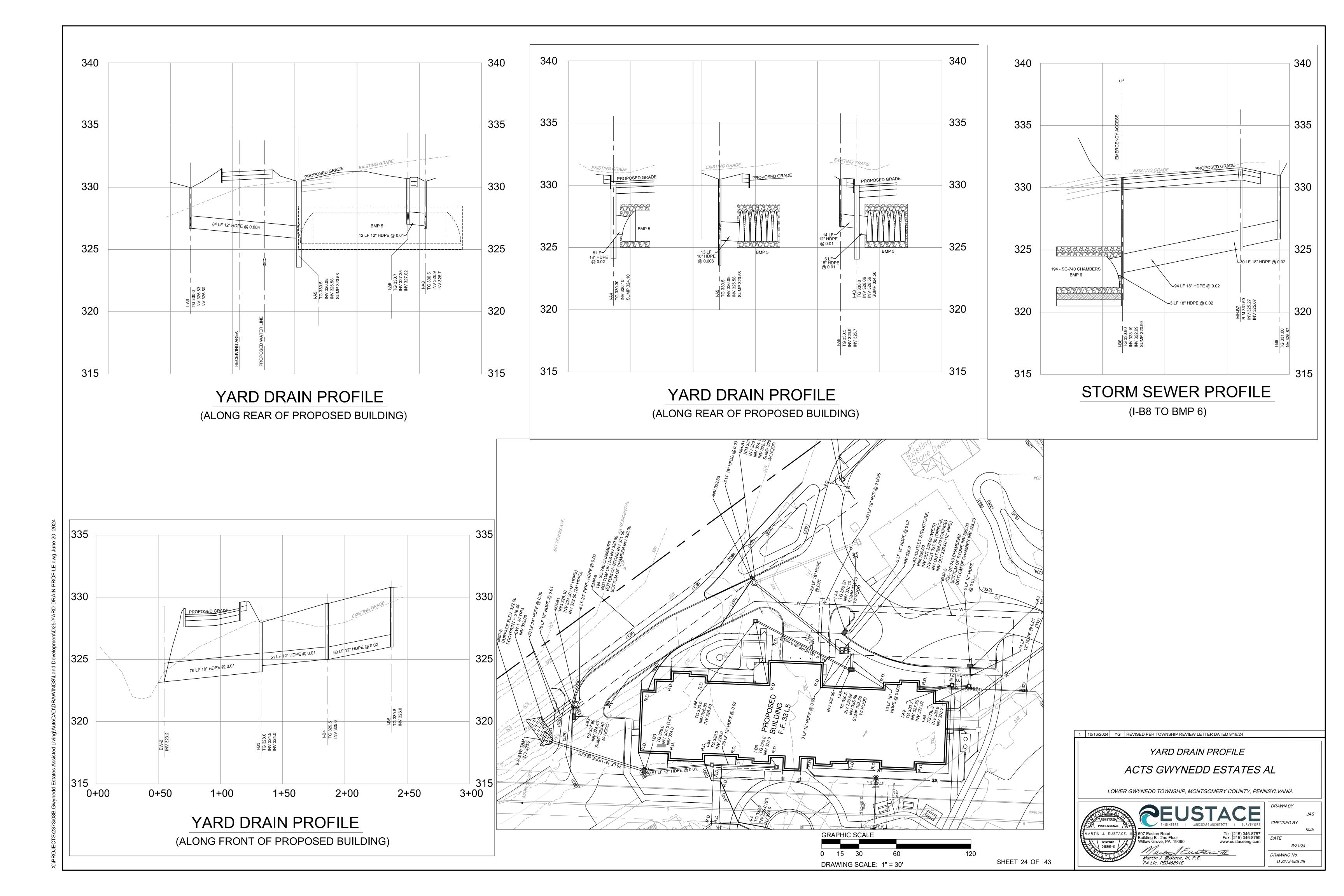


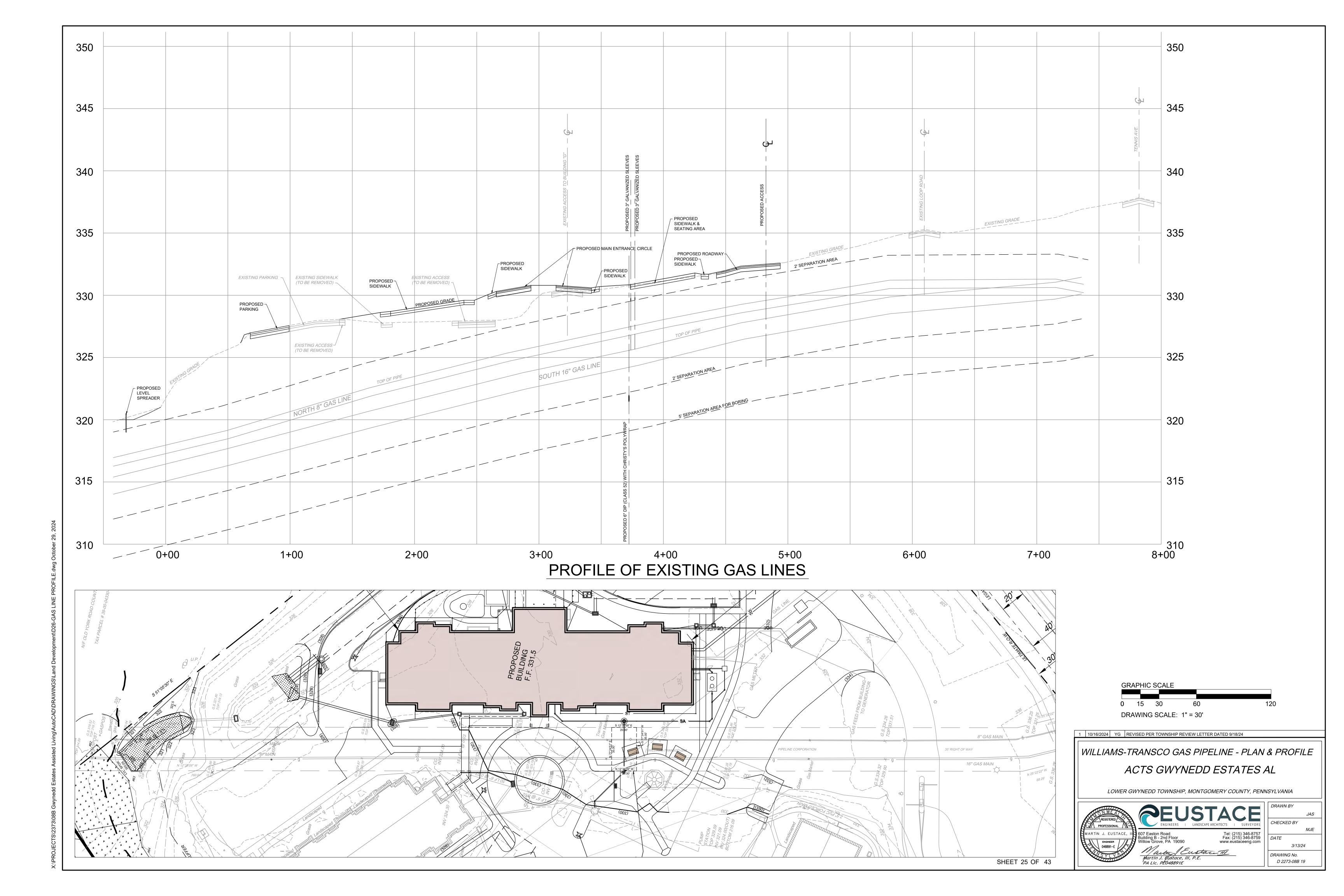


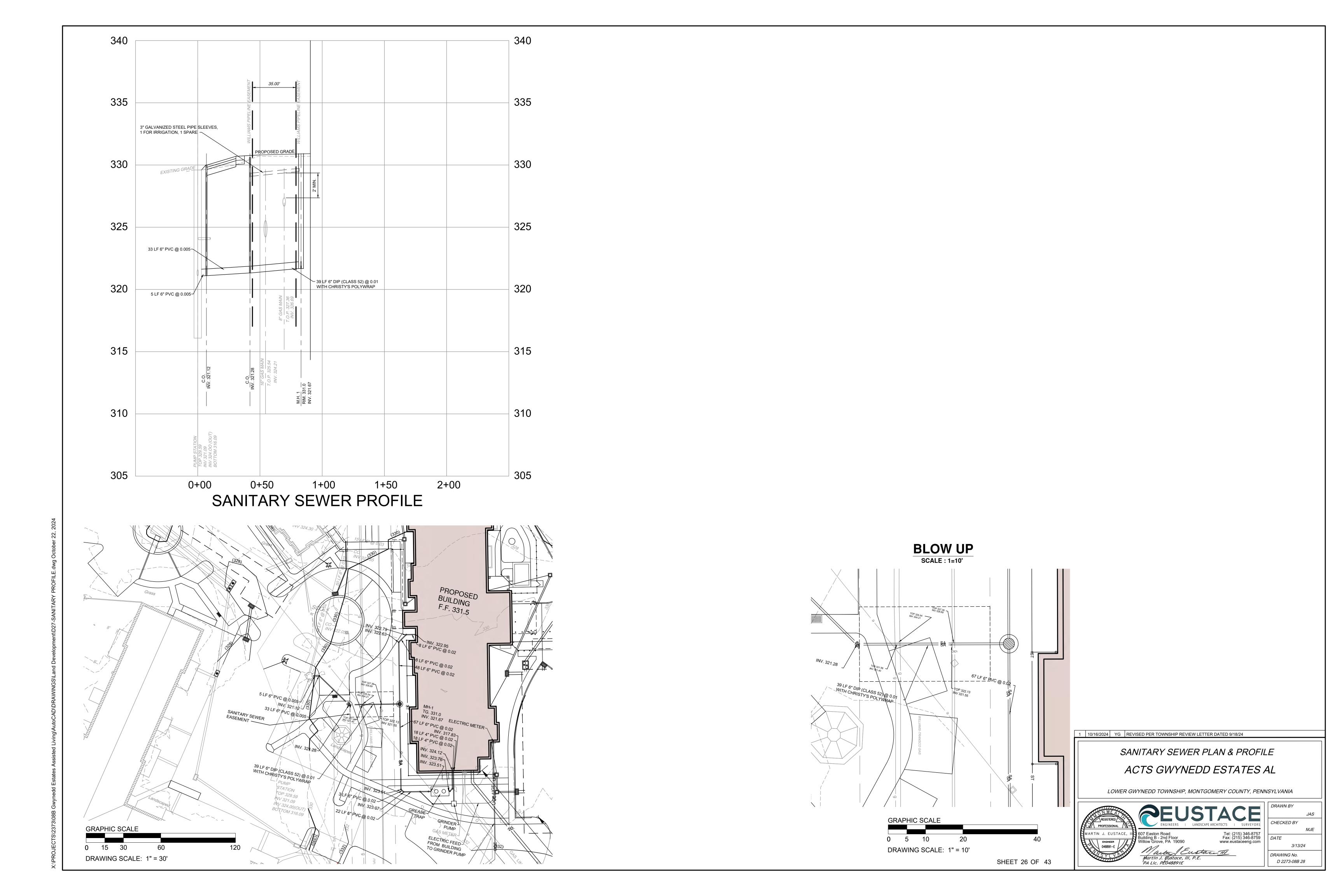
1 | 10/16/2024 | YG | REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24 STORM SEWER PROFILE B ACTS GWYNEDD ESTATES AL LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA Tel: (215) 346-8757 Fax: (215) 346-8759 www.eustaceeng.com DRAWING No.

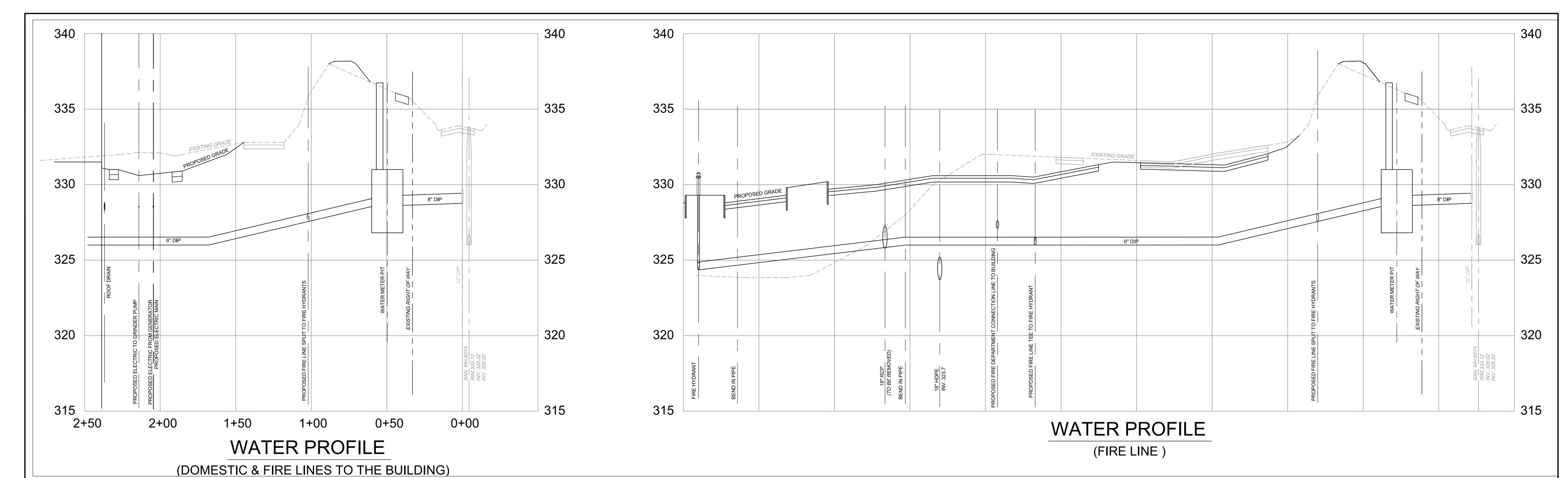
D 2273-08B 36

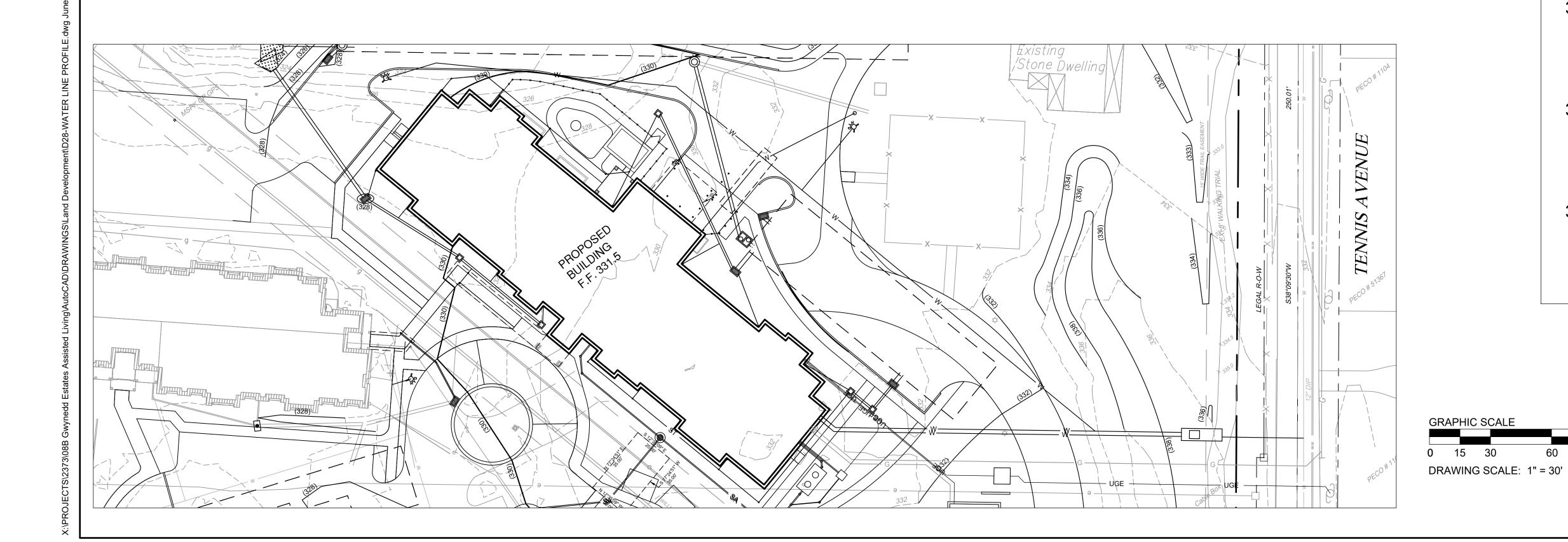
SHEET 22 OF 43

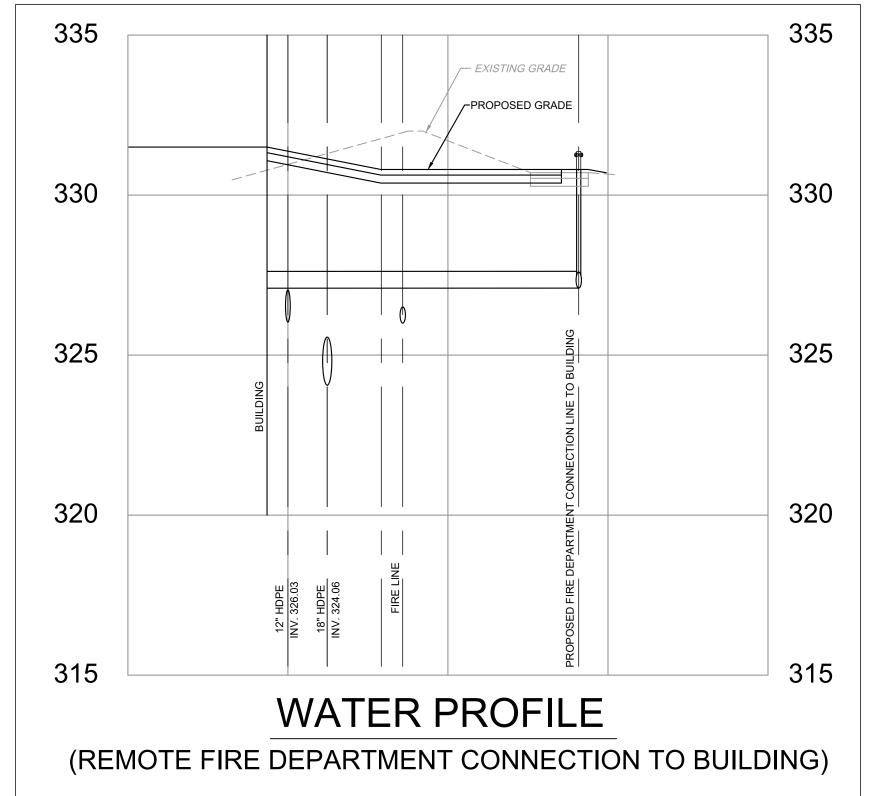












120

WATER PLAN & PROFILE

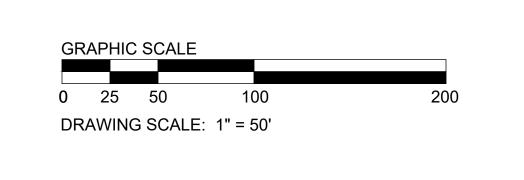
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24



SHEET 27 OF 43



SIGHT DISTANCE PLAN & PROFILE A

ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

PROFESSIONAL

MARTIN J. EUSTACE, III BRIGHERS | LANDSCAPE ARCHITECTS | SURVEYORS |

MARTIN J. EUSTACE, III BRIGHERS | LANDSCAPE ARCHITECTS | SURVEYORS |

MARTIN J. EUSTACE, III BRIGHERS | LANDSCAPE ARCHITECTS | SURVEYORS |

MARTIN J. EUSTACE, III BRIGHERS | LANDSCAPE ARCHITECTS | SURVEYORS |

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MARTIN J. EUSTACE, III BRIGHERS | LANDSCAPE ARCHITECTS |

MARTIN J. EUSTACE, III BRIGHERS | LANDSCAPE ARCHITECTS |

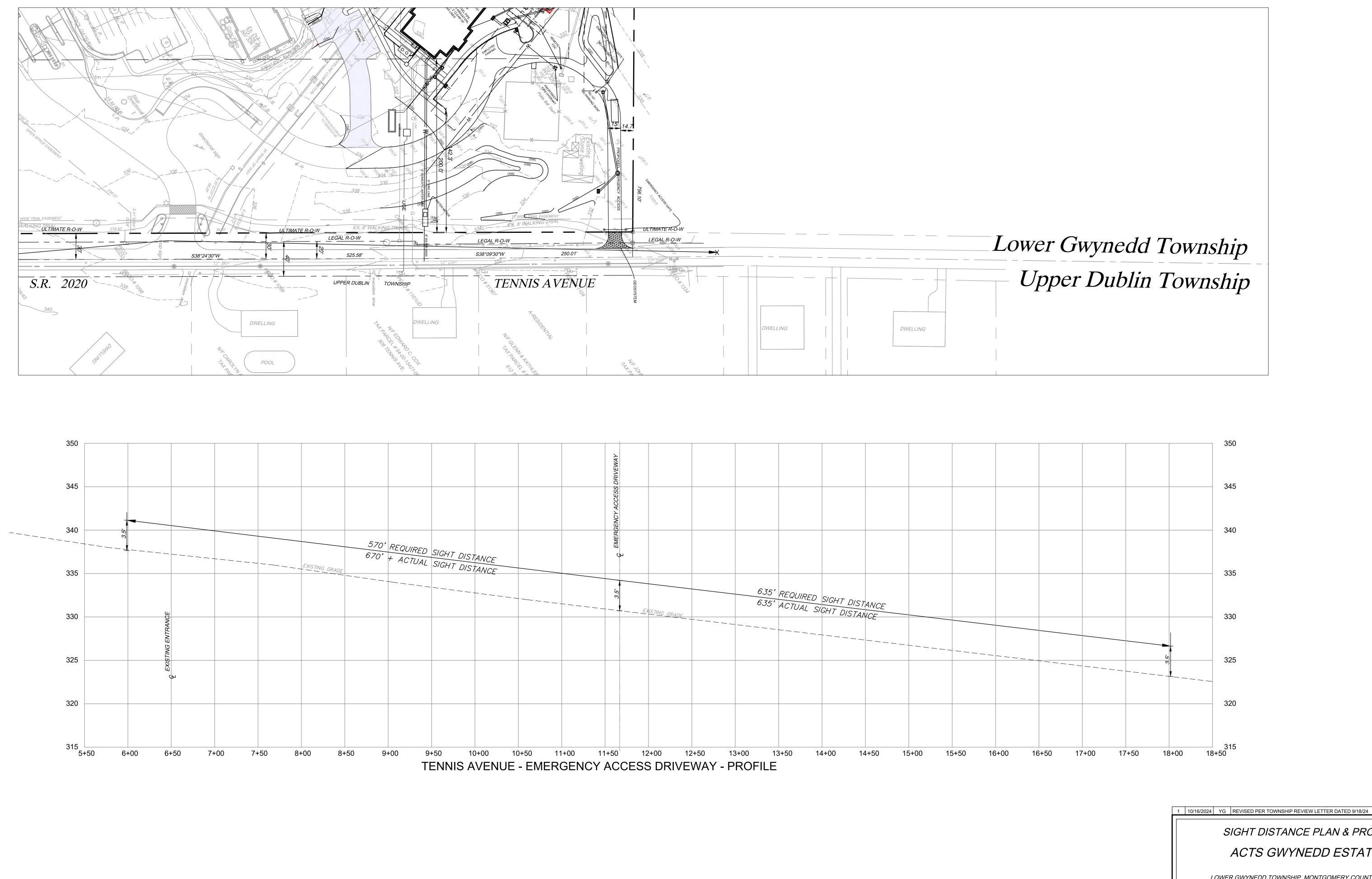
MARTIN J. EUSTACE, III BRIGHERS | LANDSCAPE ARCHITECTS |

MARTIN J. EUSTACE, III BRIGHERS | LANDSCAPE ARCHITECTS |

MARTI

1 | 10/16/2024 | YG | REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

SHEET 28 OF 43



SIGHT DISTANCE PLAN & PROFILE B

ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

DRAWN BY

JAS

CHECKED BY

MARTIN J. EUSTACE, III

BONNER WWW.eustaceeng.com

Willow Grove, PA 19090

Martin J. Eustace, III, P.E.

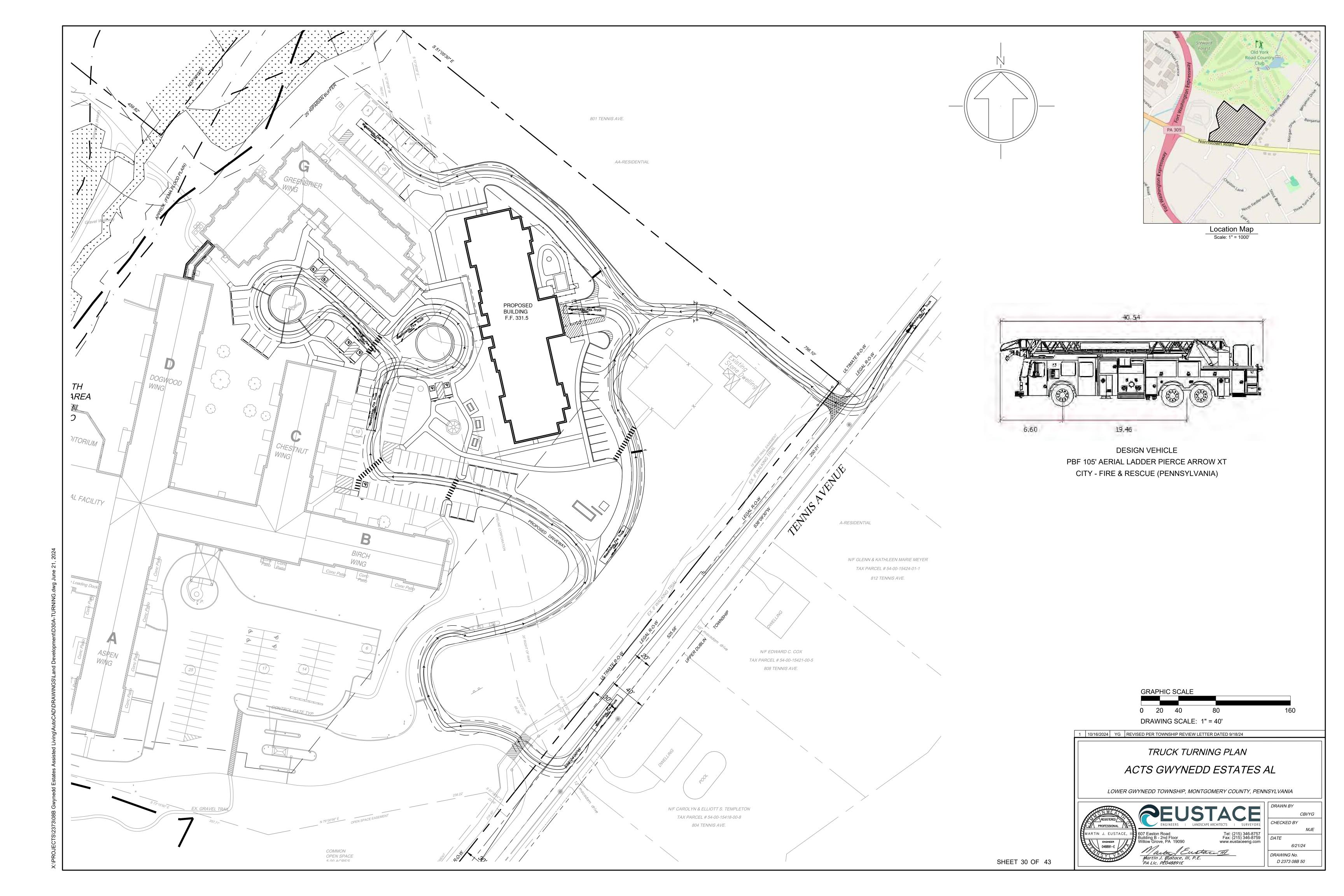
PA Lic. PE048891E

DRAWING No.

D 2273-08B 30

DRAWING SCALE: 1" = 50'

SHEET 29 OF 43



TYPICAL GATE VALVE WITH VALVE BOX

EXISITNG GRADE

2A STONE IN BOROUGH AND -

TOWNSHIP ROADS OR 2RC SELECT

GRANULAR MATERIAL IN STATE

HIGHWAYS MECHANICALLY

TAMPED IN 8" LAYERS

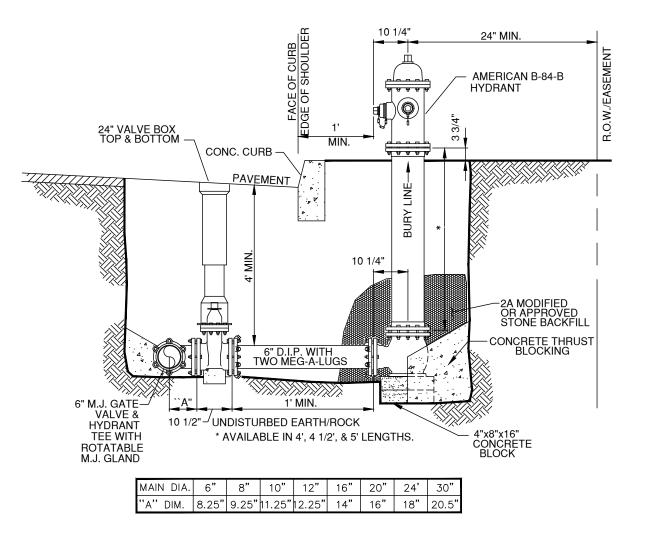
NOTES:

− ID−2 BITUMINOUS

UNDISTURBED ÉÁRTH OR ROCK SUBGRADE

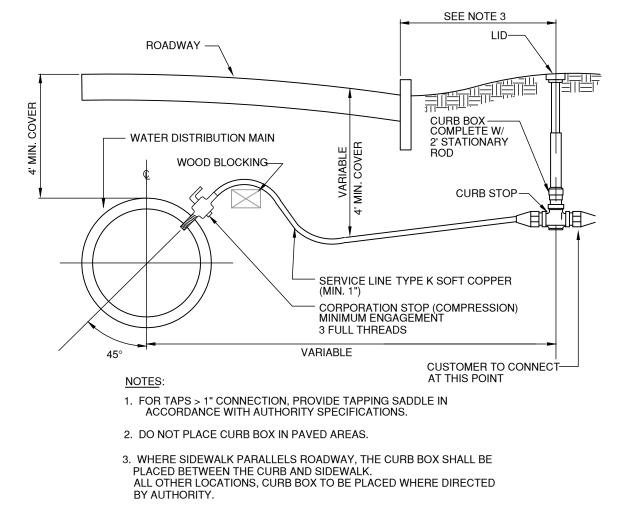
TEMPORARY PAVEMENT

1. THE TOP 6" OF ALL TRENCHES IN NON-WETLAND AREAS SHALL BE



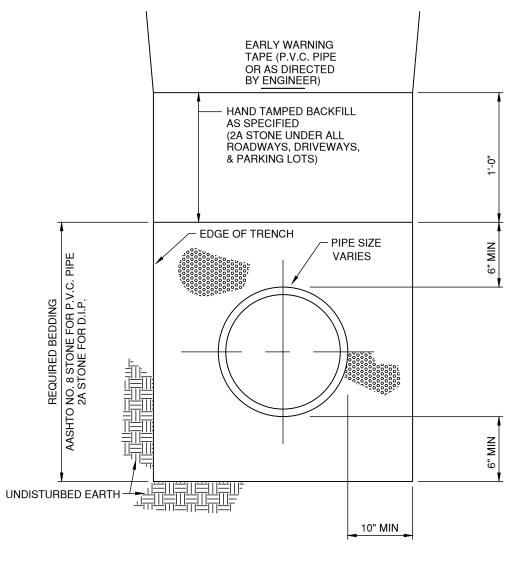
ENGINEER TO DETERMINE LOCATION WHERE NO CURB EXISTS.

TYPICAL FIRE HYDRANT INSTALLATION



- 4. CUSTOMER IS RESPONSIBLE FOR MAINTENANCE OF ALL SERVICE PIPING AND PLUMBING BEYOND THE CURB STOP, WITH EXCEPTION OF WATER METER.
- 5. PROVIDE COMPRESSION FITTINGS ON CURB AND CORPORATION STOP.

STANDARD WATER SERVICE CONNECTION



STANDARD PIPE BEDDING

FINISHED GRADE

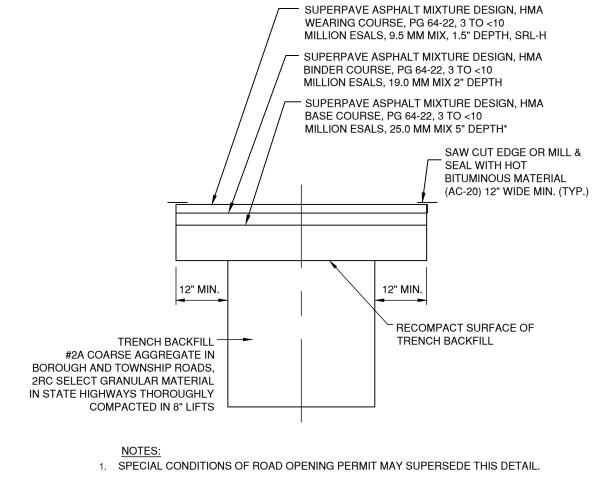
B.O. BRANCH

SECTION B-B

FINISHED GRADE

SECTION A-A

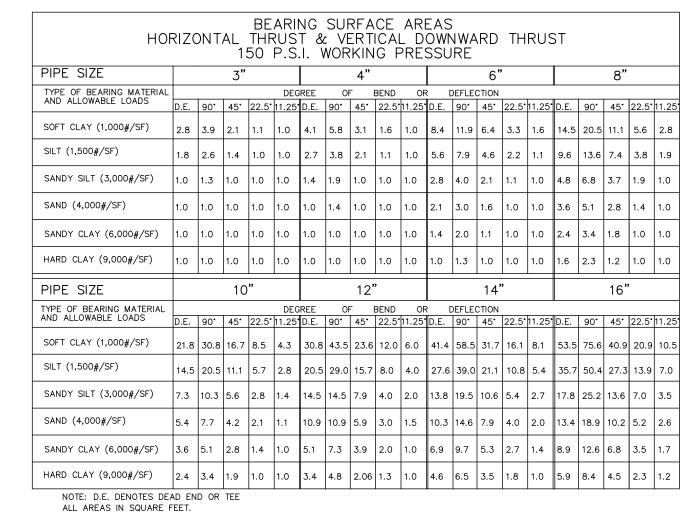
(FOR BEARING SURFACE \leq 10SF)



- 2. EXPOSED VERTICAL AND HORIZONTAL SURFACES SHALL BE PREPARED AS PER PUB 408, SECTION 40J. 3(F)
- 3. OVER CUT ALL EDGES 1'. EXCAVATE OLD AND TEMPORARY MATERIAL. RECOMPACT SUB-GRADE. TACK COAT ALL VERTICAL EDGES. INSTALL
- * MATCH EXISTING DEPTH IF GREATER

ONLY BASE COURSE AND BINDER IN ONE DAY.

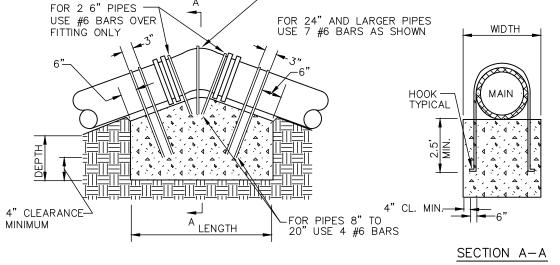
PERMANENT PAVEMENT RESTORATION



HORIZONTAL AND VERTICAL DOWNWARD THRUST BLOCK DIMENSION

- 2. ALL FITTINGS AND JOINTS SHALL BE COVERED WITH POLYETHYLENE FILM BEFORE PLACING
- 3. PAINT ALL EXPOSED STEEL WITH TWO COATS

VERTICAL DOWNWARD THRUST BLOCK



- 1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 P.S.I.
- 2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS U-SHAPED AROUND PIPE. 3. ALL FITTINGS AND JOINTS SHALL BE ENVELOPED WITH 8 MIL. POLYETHYLENE FILM BEFORE PLACING
- 4. PAINT ALL EXPOSED STEEL WITH TWO COATS OF ASTM D1187 ASPHALT EMULSION.

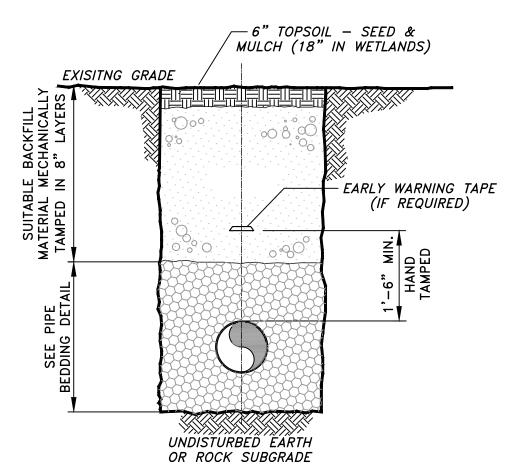
BEARING SURFACE AREAS — VERTICAL UPWARD THRUST 150 P.S.I. WORKING PRESSURE									
PIPE SIZES		LENGTH			WIDTH			DEPTH	
THE SIZES	11.25	22.25	45°	11.25	22.25	45°	11.25	22.25	45°
6" & 8"	3'	4'	6'	3'	3'	3'	2'	3'	4'
10" & 12"	4'	6'	7'	4'	4.5'	4'	2.5'	3'	4'
14" & 16"	6'	8'	11'	4.5'	4.5'	4.5'	3.5'	5'	5'
ALL AREAS IN SQU	ARE FEET	•							

VERTICAL UPWARD THRUST BLOCKS

BEARING SURFACE

- 4. FOR THE REQUIRED BEARING SURFACE SEE ADJACENT TABLE ENTITLED "HORIZONTAL AND VERTICAL DOWNWARD THRUST BLOCK DIMENSION" (AUTHORITY STANDARD DETAIL W22)

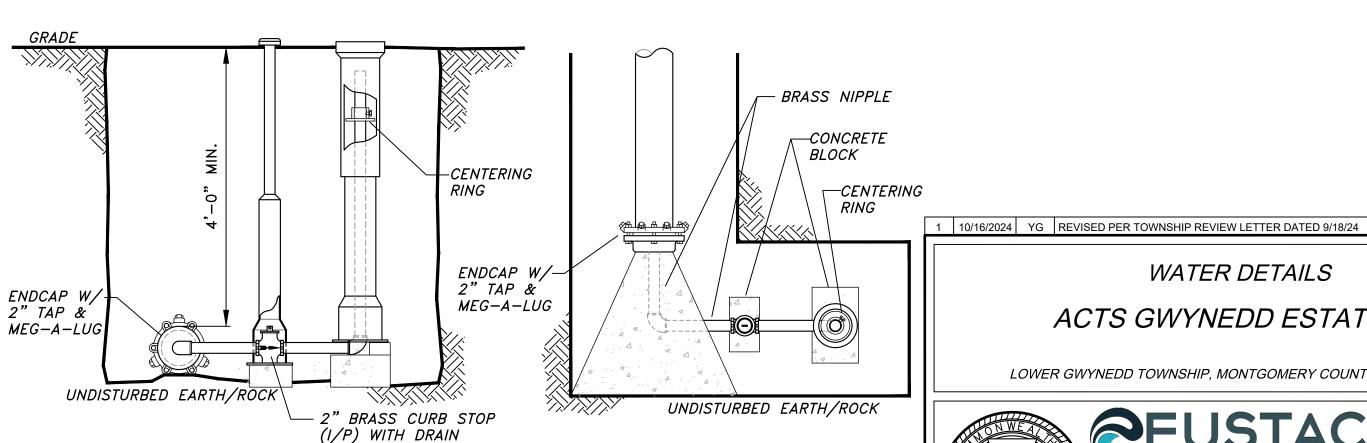
NTS



RESTORATION IN UNPAVED AREAS

I. THE TOP 6" OF ALL TRENCHES IN NON-WETLAND AREAS SHALL BE BACKFILLED WITH TOPSOIL AND RESTORED IN ACCORDANCE WITH SECTION 02920 OF THE STANDARD SPECIFICATIONS.

WITH PREVIOUSLY STRIPPED TOPSOIL AND RESTORED IN ACCORDANCE WITH SECTION 02920 OF THE STANDARD SPECIFICATIONS.

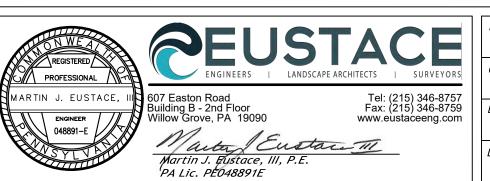


TERMINAL BLOW-OFF ASSEMBLY

N.T.S.

WATER DETAILS ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA



CHECKED BY DATE 6/21/24 DRAWING No. D 2373 08B 33

SHEET 31 OF 43

BACKFILLED WITH TOPSOIL AND RESTORED IN ACCORDANCE WITH SECTION 02920 OF THE STANDARD SPECIFICATIONS. 2. THE TOP 18" OF ALL TRENCHES IN WETLANDS SHALL BE BACKFILLED WITH PREVIOUSLY STRIPPED TOPSOIL AND RESTORED IN ACCORDANCE WITH SECTION 02920 OF THE STANDARD SPECIFICATIONS.

EARLY WARNING TAPE

(IF REQUIRED)

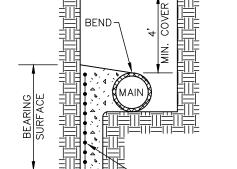
N.T.S.

2. THE TOP 18" OF ALL TRENCHES IN WETLANDS SHALL BE BACKFILLED

NOTES: ALL CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 2500 P.S.I.

OF ASTM D1187 ASPHALT EMULSION.

SURFACE A 🚤 <u>PLAN</u> FINISH GRADE



#5 DIA. BARS
ON 9" CENTERS
VERT. & HORIZ. SECTION A-A (FOR BEARING SURFACE > 10SF)

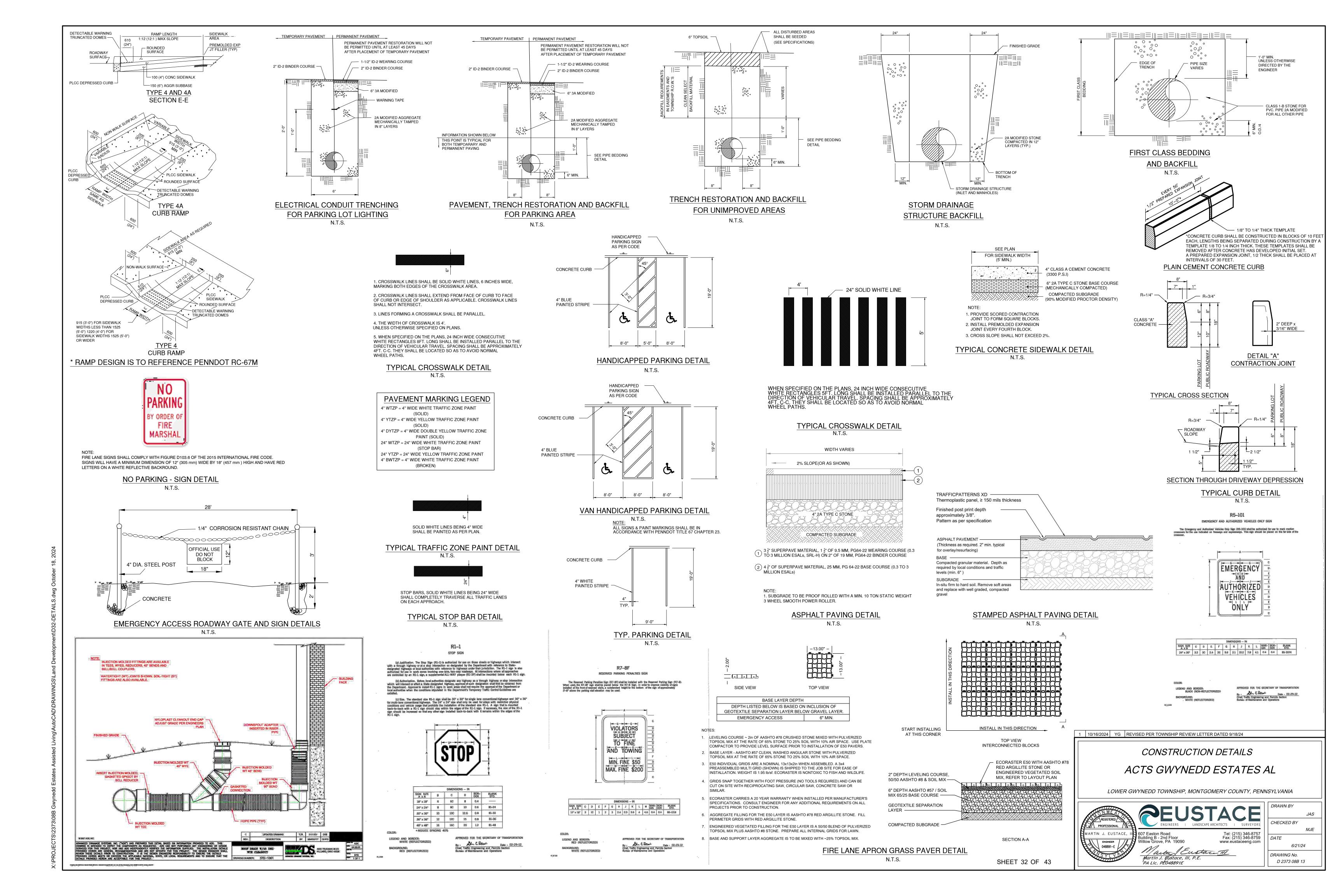
NOTES: 1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2500 P.S.I.

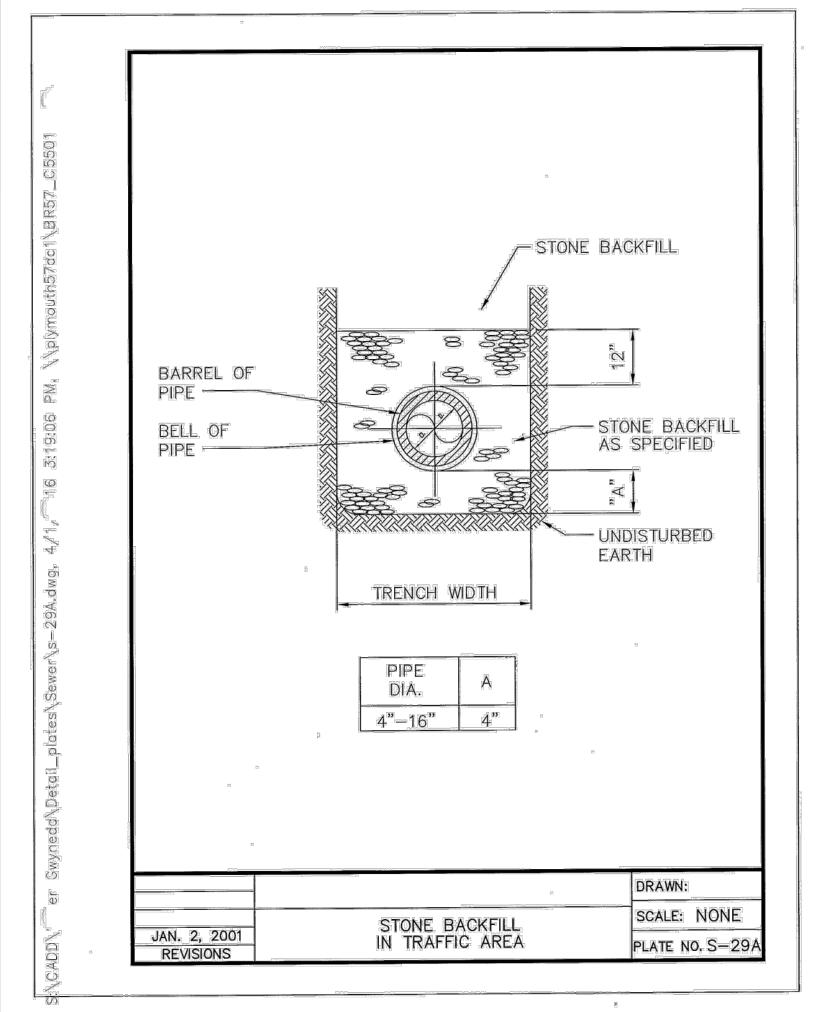
2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS U-SHAPED AROUND PIPE. 3. ALL FITTINGS AND JOINTS SHALL BE ENVELOPED WITH 8 MIL. POLYETHYLENE FILM BEFORE

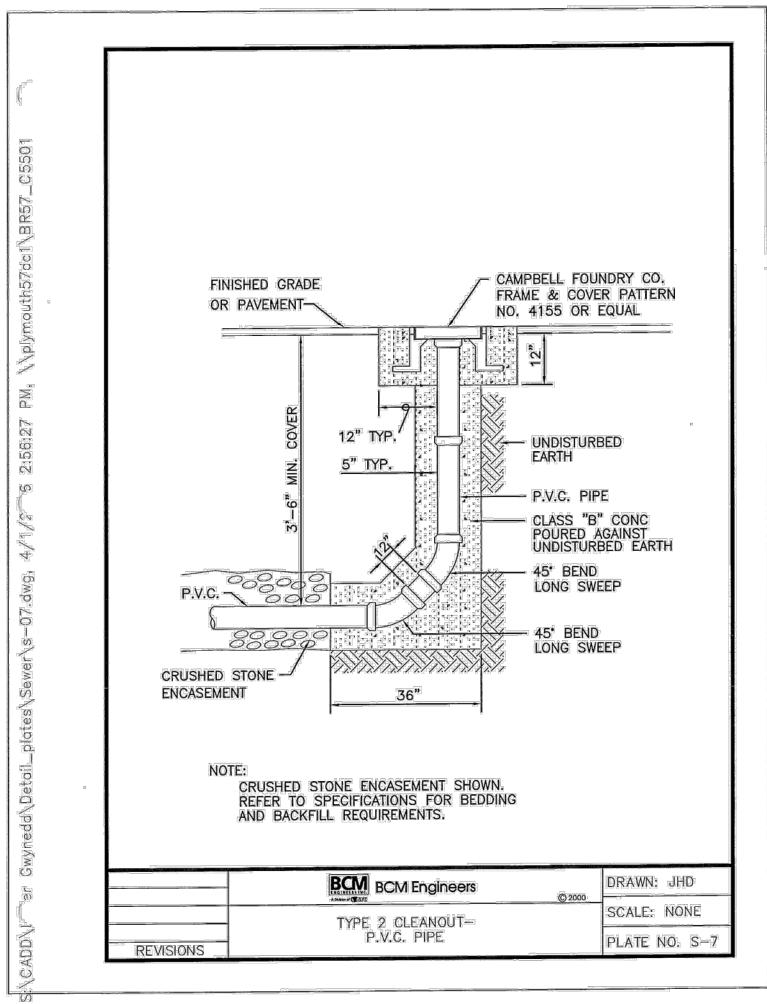
PLACING CONCRETE. 4. PAINT ALL EXPOSED STEEL WITH TWO COATS OF ASTM D1187 ASPHALT EMULSION.

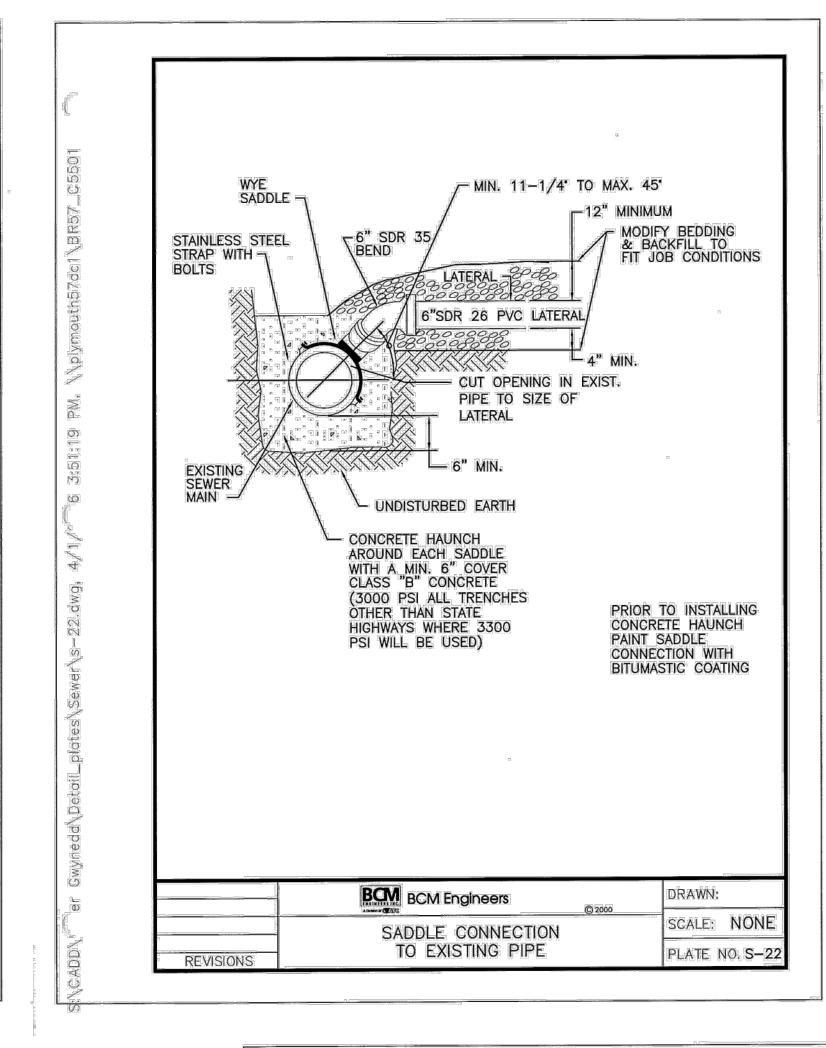
5. FOR THE REQUIRED BEARING SURFACE SEE ADJACENT TABLE ENTITLED "HORIZONTAL AND VERTICAL DOWNWARD THRUST BLOCK DIMENSION" (AUTHORITY STANDARD DETAIL W22)

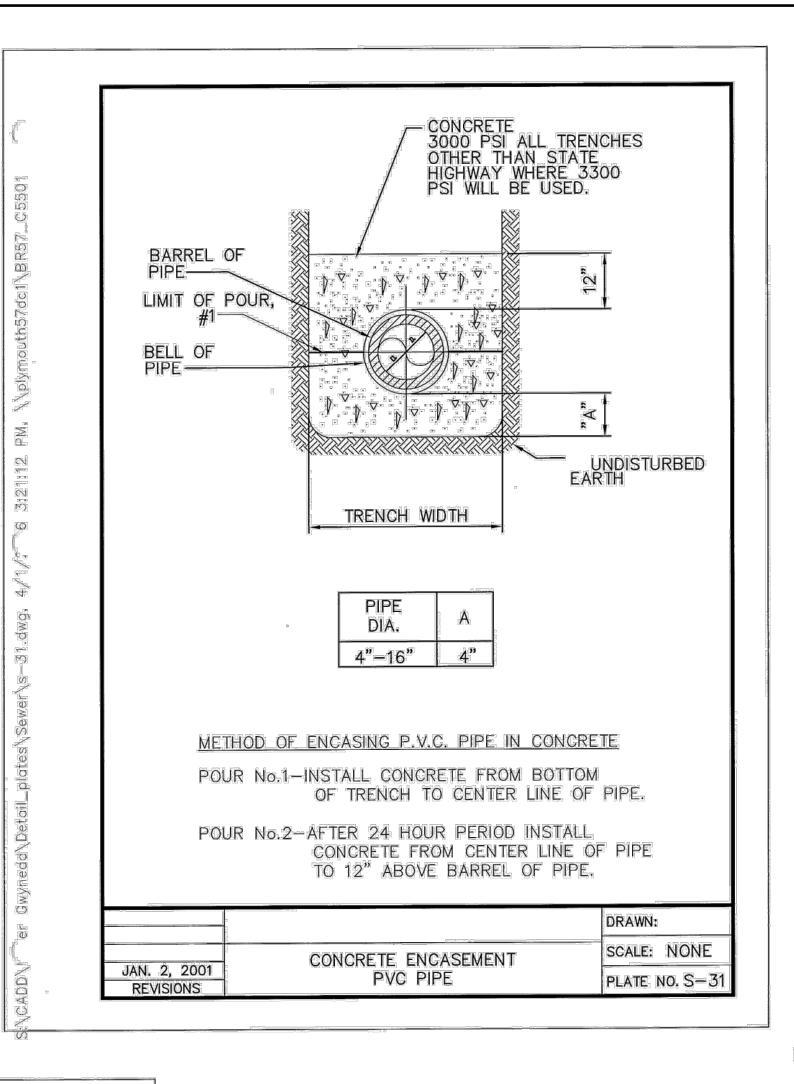
> HORIZONTAL THRUST BLOCK ORIENTATION NTS

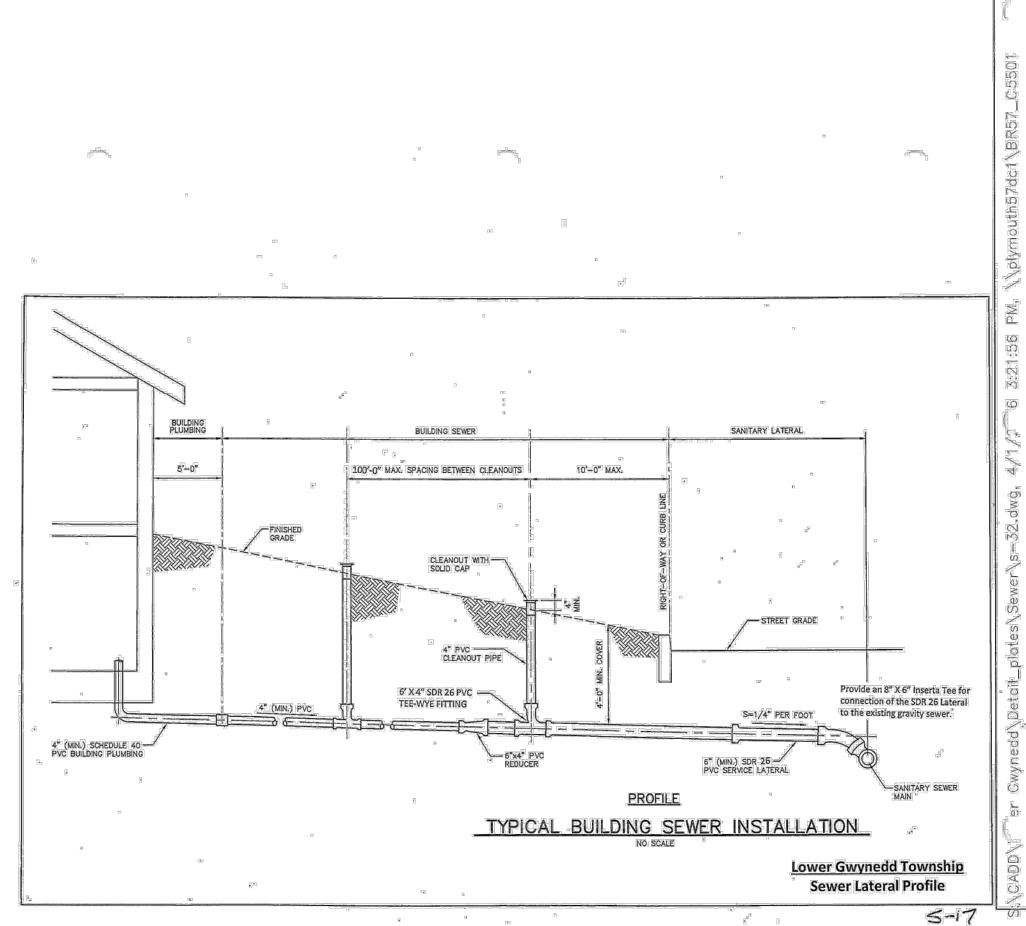


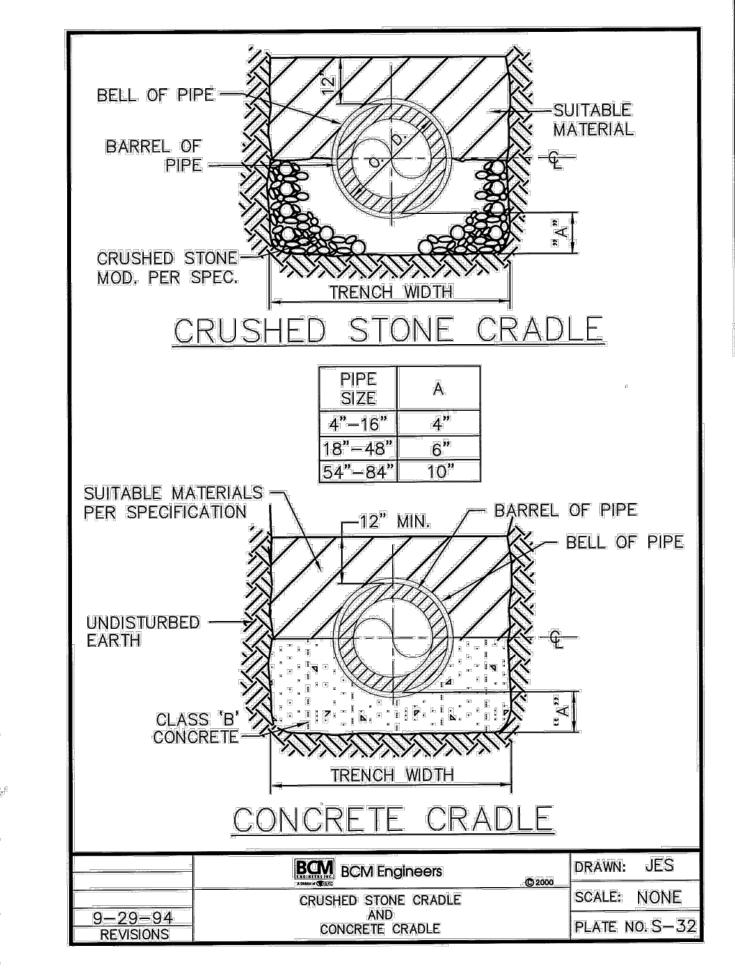


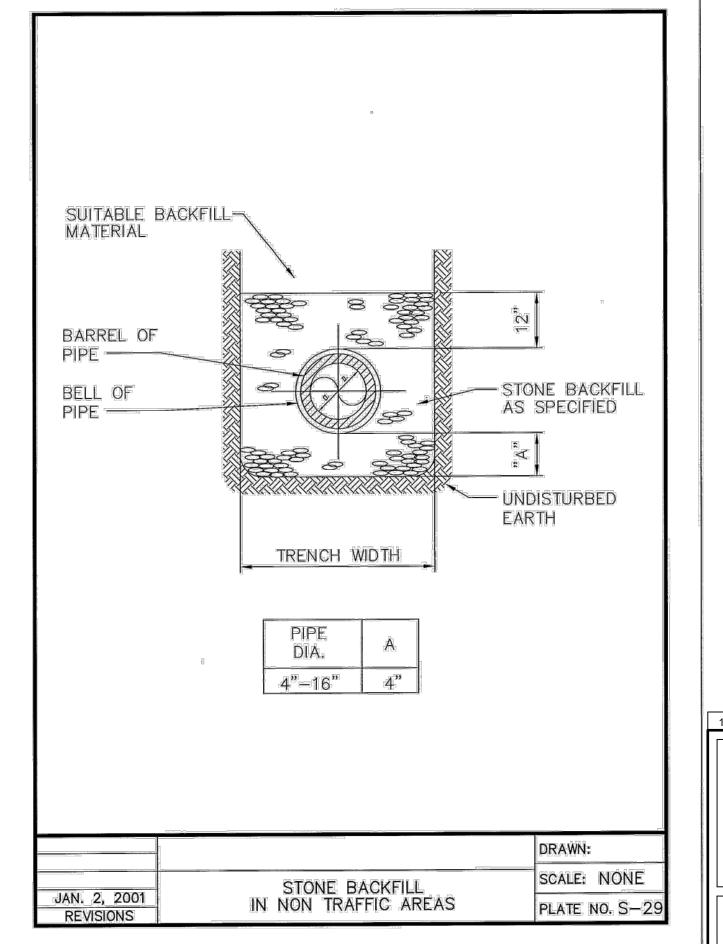


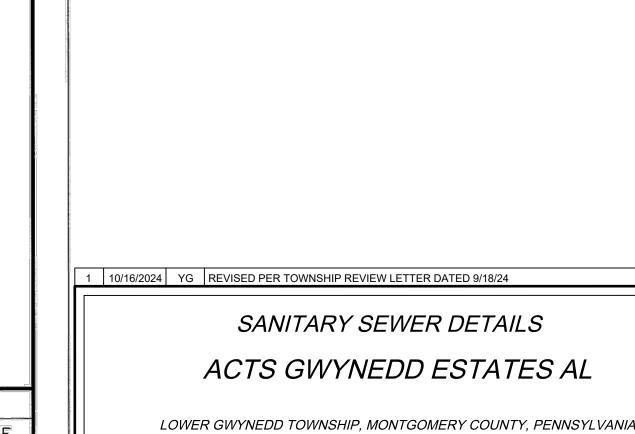


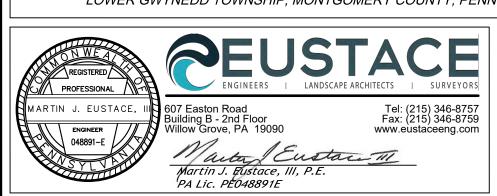










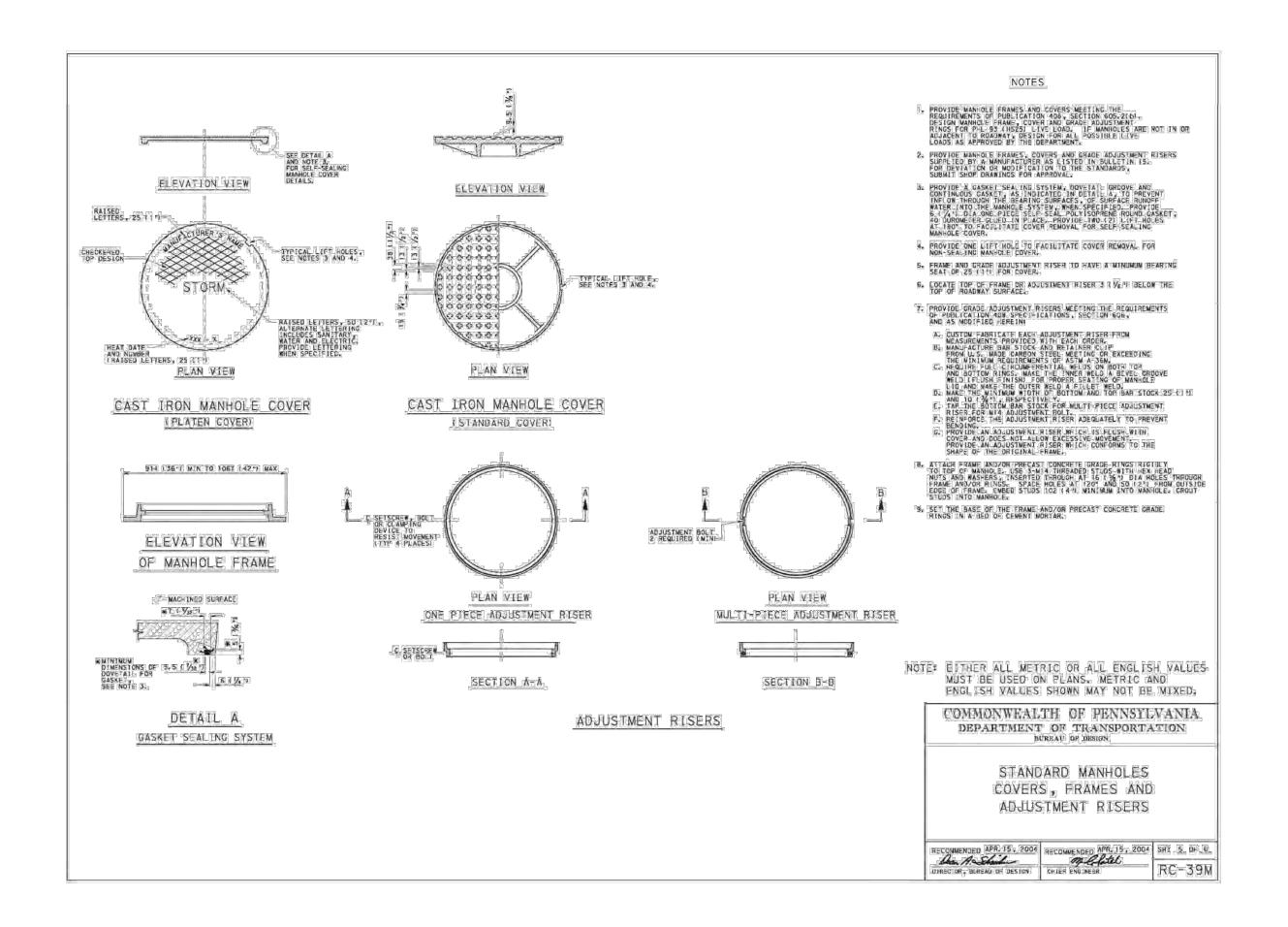


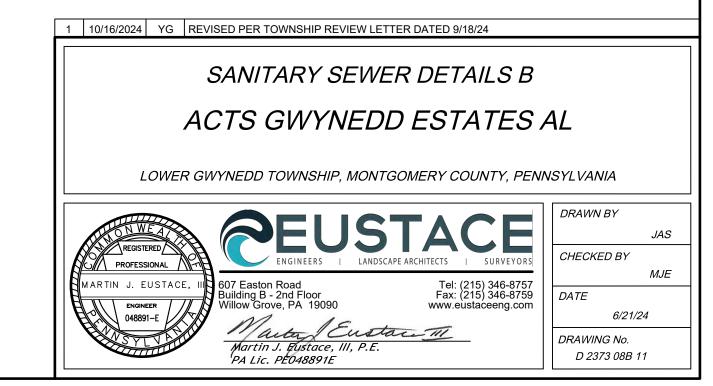
6/21/24

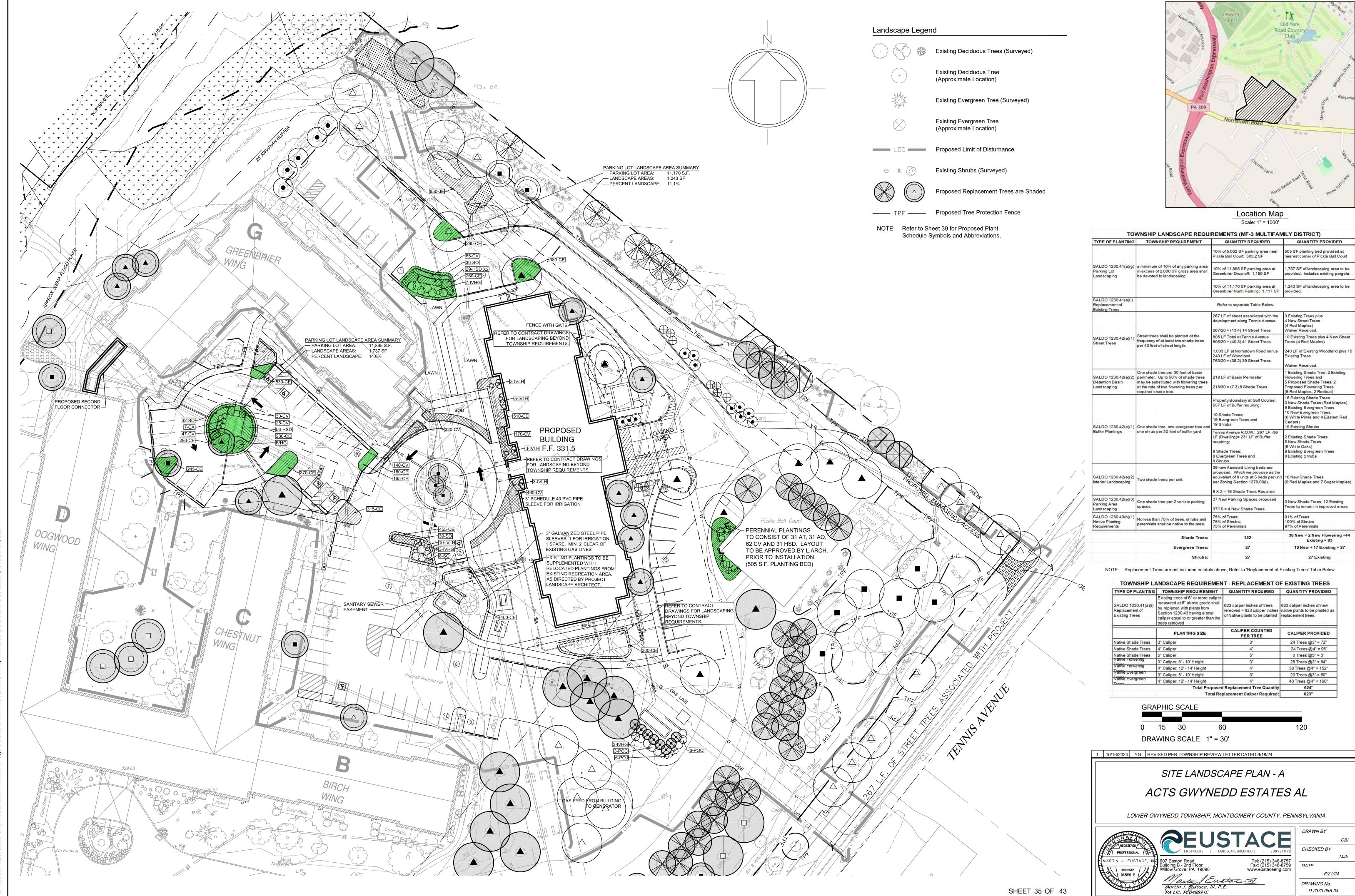
DRAWING No.

D 2373 08B 12

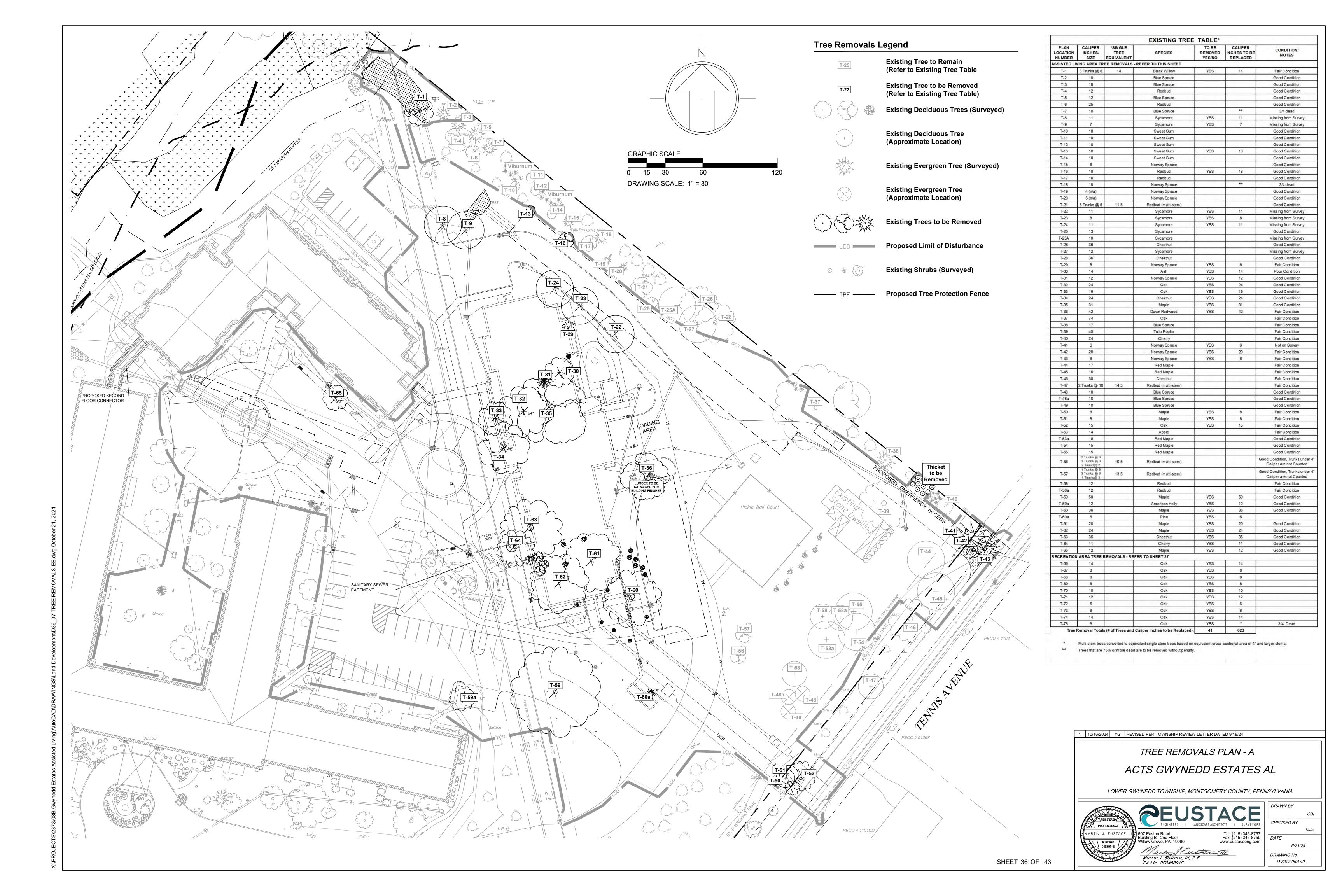
SHEET 33 OF 43

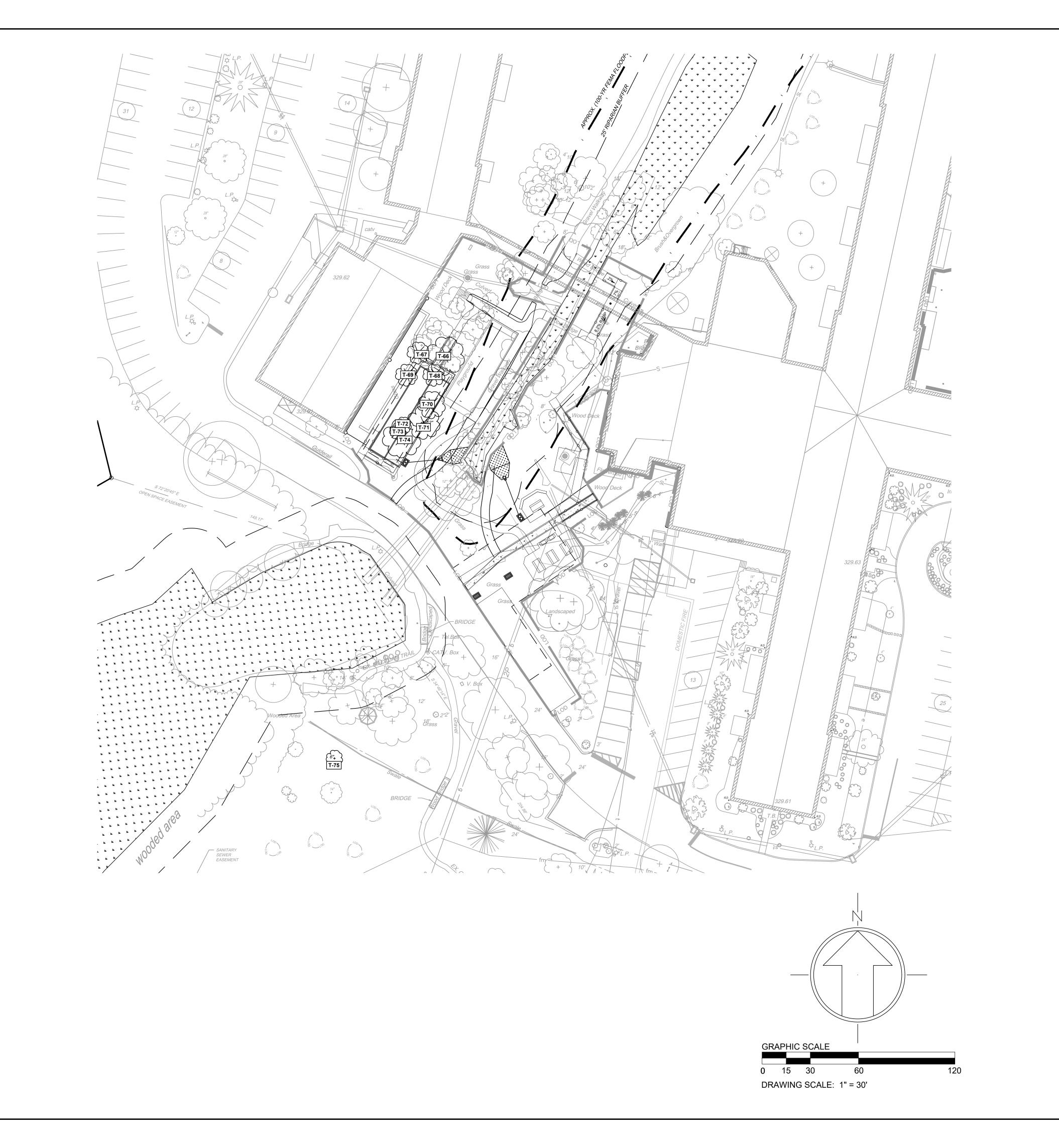


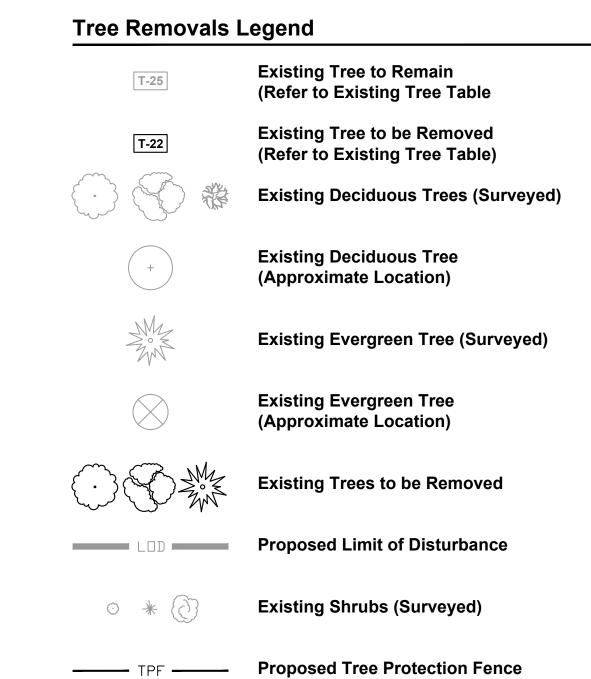


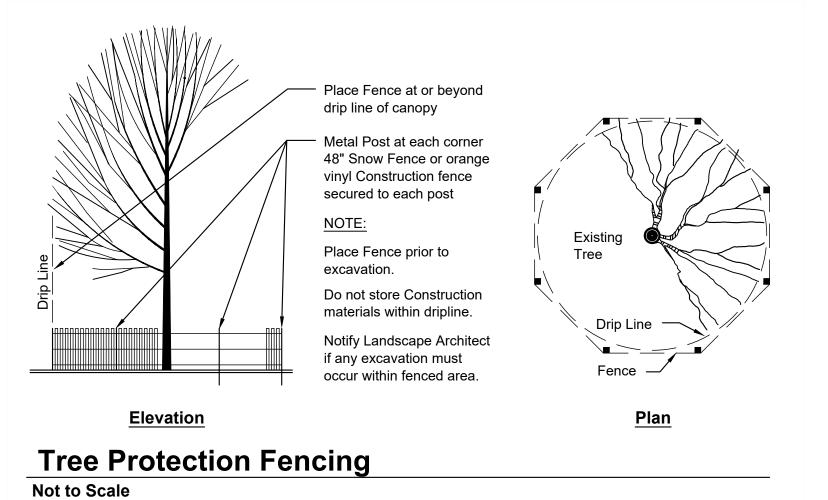


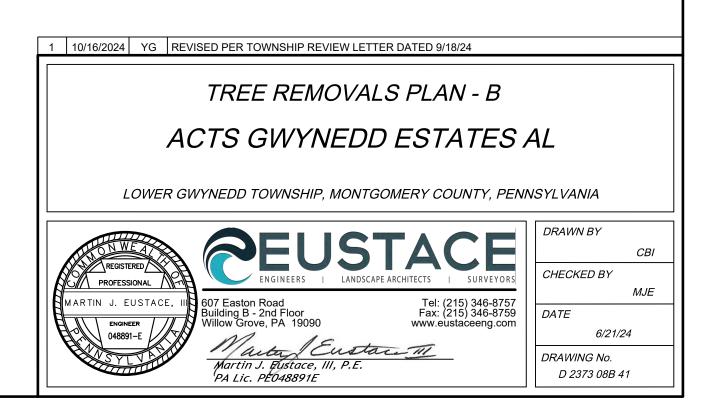


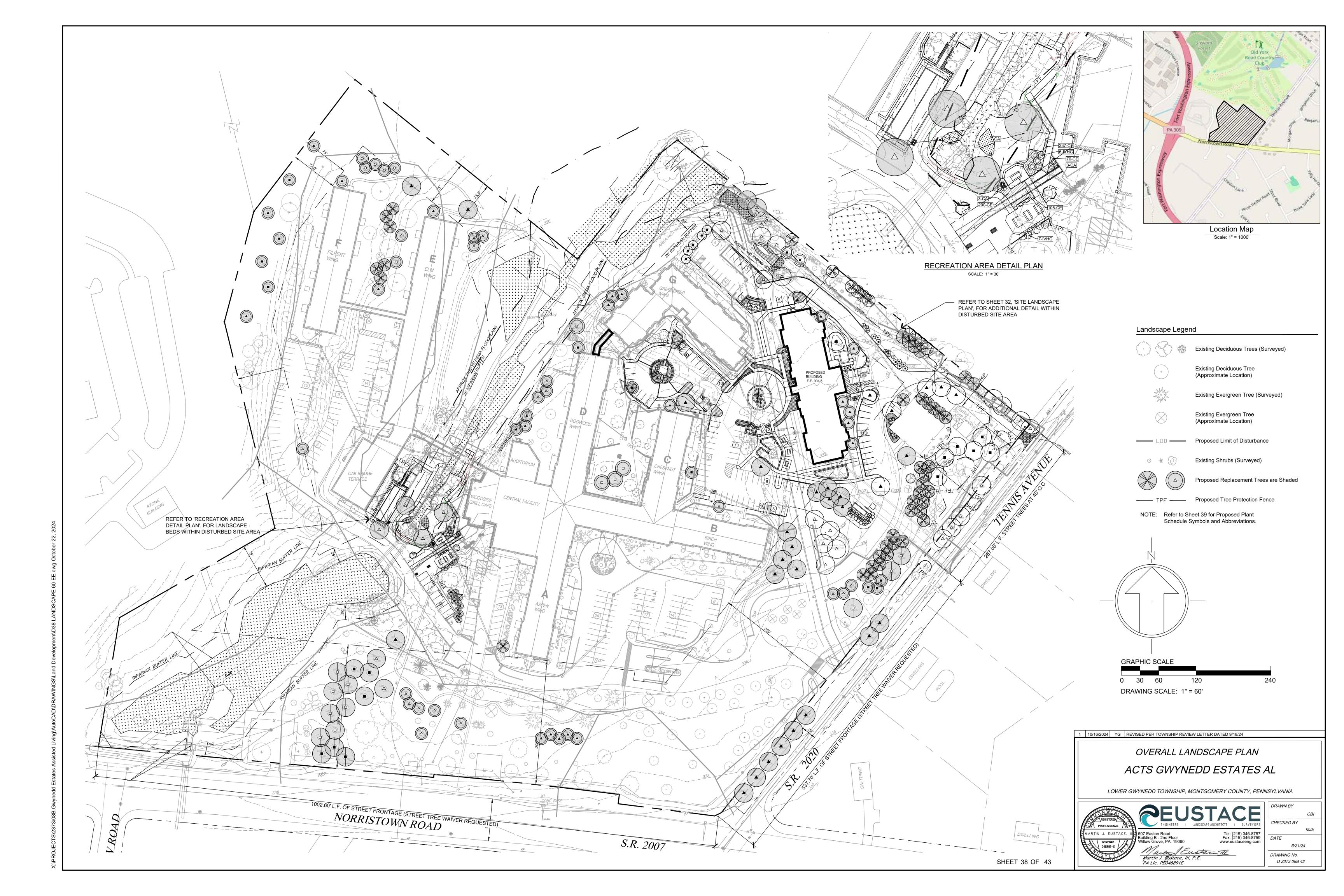












<u>DEFINITIONS</u>: The term "plant material" shall mean trees, shrubs, ground cover, and other growing plants and seeding to the extent of the Plant Schedule shown on the Drawings and Planting Details. Trees, shrubs, and other plant material shall be as

PLANT MATERIAL: The Landscape Contractor shall furnish, deliver, and install plant material as specified. Install plant material in accordance with the drawings, details, and general comments.

INSPECTION OF PLANTING AREAS: Inspect planting areas before topsoiling, finish grading, or planting is begun to ensure that adequate drainage exists. If areas to be landscaped show evidence of poor drainage, the Landscape Contractor shall notify the Owner immediately for corrective action. Plant material that dies due to poor or inadequate drainage shall be the responsibility of

TOPSOIL: Sufficient quantity of topsoil for planting is not available on the site and is to be provided by the Landscape Contractor.

MAINTENANCE BEFORE GUARANTEE PERIOD: The Landscape Contractor shall maintain plantings prior to the beginning of the guarantee period and keep the complete and incomplete work in a clean and neat condition at all times. Maintenance responsibilities shall include but not be limited to watering, mulching, fertilizing, disease control, and weed control.

INSPECTION FOR START OF GUARANTEE: The Landscape Architect will inspect the work to determine its substantial completion for beginning the guarantee period. The Landscape Contractor shall request such inspection in writing at least ten (10) days prior to the anticipated date of completion. After inspection, the Landscape Contractor will be notified of the date when the work has been approved for beginning the Guarantee Period or, if there are any deficiencies, a list to be corrected prior to the beginning of the

GUARANTEE: Guarantee landscape work, plant material, and lawn for (18) calendar months from date of completion of installation and written acceptance by the Owner or Landscape Architect. The Landscape Contractor shall guarantee that plant material will be in a vigorous and thriving condition at the end of the Guarantee Period. Should plants appear to be in poor health, or lack normal growth, the Landscape Contractor shall remove the plants at once and install replacements in a timely manner as specified.

<u>WITHIN THE GUARANTEE PERIOD</u>: The Landscape Contractor shall notify the Owner in writing of any maintenance practices being followed or omitted which would be detrimental to the healthy, vigorous growing condition of plants.

COMPLETION OF GUARANTEE: The Landscape Contractor shall notify the Landscape Architect or Owner upon completion of the Guarantee Period and request a full inspection prior to acceptance of the work.

Planting Specifications:

PLANT MATERIAL SOURCES: Plant materials are to be selected at nurseries located within the same plant hardiness zone as the project site and within a one hundred (100) mile radius of the project site, unless otherwise approved by the Landscape Architect or

PLANT SELECTION: Notify the Landscape Architect to select and seal plant material at the nursery before delivery.

STAKEOUT OF PLANT LOCATIONS: Notify the Landscape Architect to review stakeout of plant material locations at the site before nstallation. Markers shall be wood stakes, minimum 2"x2"x4'.

BED PREPARATION: Supply and spread soil additives as above plus 3" depth of well-rotted compost over all bed areas, and rototill into the top 4" of topsoil before planting. Exception: Place Agriform tablets for bedded shrubs at time of planting.

SOIL ADDITIVES: For container-grown shrubs and B&B shrubs and trees, both evergreen and deciduous, apply soil additives in compliance with the manufacturer's recommended rates and procedures. Incorporate the following materials in the Backfill Mix:

Super absorbent copolymer and soil wetting agents, such as "Supersorb C" and "Aquagro 20S" as manufactured by Aquatrols,

M-ROOTS, as manufactured by ROOTS, Inc., (800) 342-6173, or approved equal Mycorrhizae inoculant including both Endo- and Ecto-mycorrhizae species, and biostimulants Agriform tablets 20-10-5 plus Minors, 21-gram size, as manufactured by Scotts-Sierra Horticultural Products Co. (937) 644-0011, or approved equal. Place in planting pit evenly spaced.

ANTIDESICCANT: When planting in late fall, apply anti-desiccant to broadleaf evergreen plant material before digging from the nursery

PRE-EMERGENCE HERBICIDE: Apply pre-emergence herbicide such as "Treflan" to planting beds according to manufacturer's ecommendation before placing mulch. Include a second application of pre-emergence herbicide as a part of this work.

Sodding Specifications:

TIMING: Sodding shall commence between August 15 and October 15, or between March 15 and May 15, as weather permits and/or as approved by the Landscape Architect.

FINISH GRADING: The Landscape Contractor shall fine grade lawn areas and remove debris and stones larger than 1" from the Site. Add topsoil to curbed areas as required to bring finish grade flush with top of curb and provide crown as indicated in planting details. Finish grading is to be inspected by the Landscape Architect prior to sod planting.

SOIL AMENDMENTS: Incorporate by discing within the top 1-2" of topsoil the following materials: 30 lbs. of dolomitic limestone, 20 lbs. of basic fertilizer (0-20-20) and 25 lbs. of 10-6-4, 50% organic nitrogen per 1,000 sq. ft.

80% Fylking Kentucky Bluegrass or other acceptable Bluegrass cultivar

20% Pennlawn Creeping Red Fescue or other acceptable Red Fescue cultivar

INSTALLATION: Extra care shall be taken to eliminate air pockets and depressions by rolling or tamping base before sod installation. Sod must be delivered and installed within 36 hours of being cut. Sod shall be laid smoothly, edge to edge with

SLOPES: On slopes 3 to 1 or greater, fasten sod securely to the base by wooden pegs or an acceptable substitute.

staggered joints. Immediately after installation the sod shall be watered in to a depth of 4".

WATERING: Water sod as required for four weeks (28 days) after all sod is installed. Replace sod showing signs of

REPAIRS AND REPLACEMENTS: Remove sod which has died immediately after any inspection. Repair joint separations, and replace dead or washed out sod, providing sod similar to the original installation. Install replacement sod during the following planting season. Repair turf bed, adding topsoil as necessary before laying replacement sod. Notify the Landscape Architect when sod replacements are complete.

MAINTENANCE BEFORE GUARANTEE PERIOD: Sod maintenance shall include, but not be limited to, watering of turf, mowing, cultivation, weeding, disease and pest control, replacement of dead or unacceptable materials, filling under settlement areas, resodding washouts, and any other procedure consistent with good horticultural practice necessary to insure normal, vigorous and healthy growth of work under this Contract.

ADDITIONAL SOD GUARANTEE: Guarantee of sod shall also include the repair of washouts and gullies using materials and procedures specified above

Seeding Specifications:

TIMING: Seeding shall commence between August 15 and October 15, or between March 15 and May 15, as weather permits and/or as approved by the Landscape Architect.

FINISH GRADING: The Landscape Contractor shall fine grade lawn areas and remove debris and stones larger than 1" from the Site. Add topsoil to curbed areas as required to bring finish grade flush with top of curb and provide crown as indicated in planting details. Finish grading is to be inspected by the Landscape Architect prior to sod planting.

SEED AREA LIMITS: Areas disturbed by the Building Contractor and the removal and relocation of shrubs and trees shall be grubbed, soiled, regraded to match surrounding area, and seeded, fertilized, and mulched by the Landscape Contractor. Limits of lawn restoration shall be determined in the field based on a site inspection by the Owner and Landscape Contractor.

FERTILIZER: Fertilize with 30 lbs. of 10-6-4 per 1,000 sq. ft.

MULCH: Mulch newly seeded areas with hay or straw at the rate of 40 lbs. per 1,000 sq. ft., or 1,750 lbs. per acre.

SEED MIX: Seed shall be a mixture of the following varieties:

60% Baron Kentucky Bluegrass 20% Jamestown II Chewings Fescue

20% Palmer II Perennial Ryegrass Sow the above mixture (available from Budd Seed, Inc. as "Tri-Plex General Seed Mix") at 4.5 lbs. per 1,000 sq. ft.

MAINTENANCE BEFORE GUARANTEE PERIOD: Lawn work shall be maintained by the Landscape Contractor until full germination is accomplished and the lawn has been cut twice. If required, the contractor shall reseed, resoil, refertilize, remulch, etc. until a satisfactory stand of grass is achieved.

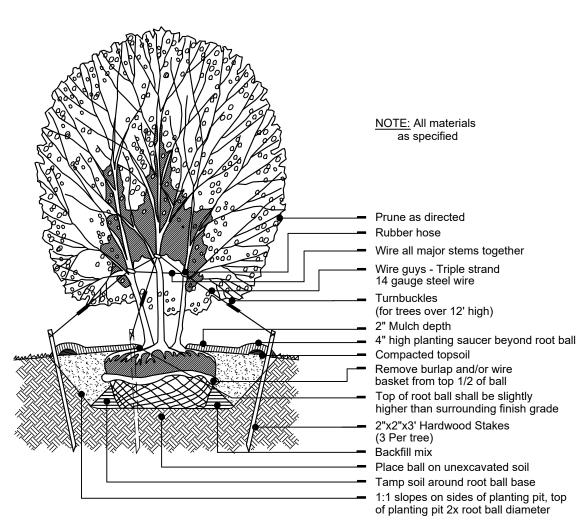
EROSION CONTROL MATTING: Soil erosion shall be controlled by installing North American Green erosion control matting per manufacturers instructions on any slope greater than 4:1. Refer to manufacturer's specifications for the required staple pattern as dictated by slope gradient and soil conditions.

Plant Quantity Specifications:

Quantities of plant materials and related materials shown on drawing schedules are for the convenience of the contractor and may indicate a quantity less than required to perform the installation. Where spacing of plant material is indicated, plant spacing shall govern over quantity indicated. Where a quantity of plant material is indicated on plans, this quantity shall be interpreted as a minimum calculated quantity. In no case shall a quantity of plant material be installed that is less than the quantity shown on the plant schedule. The contractor shall be responsible to determine the quantity of plant materials required and shall be required to install that quantity of material.

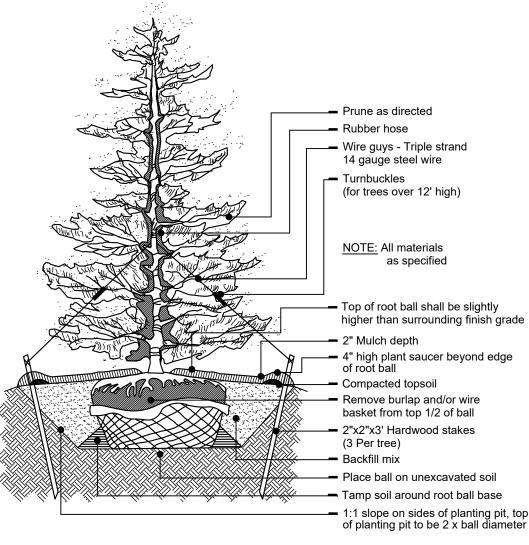
Topsoil Replacement

Prior to replacement of topsoil, subgrades are to be reviewed by the Landscape Architect. REFER TO SPECIFICATION BOOKLET FOR ADDITIONAL INFORMATION. Topsoil to be a minimum depth of 6" in lawn areas.

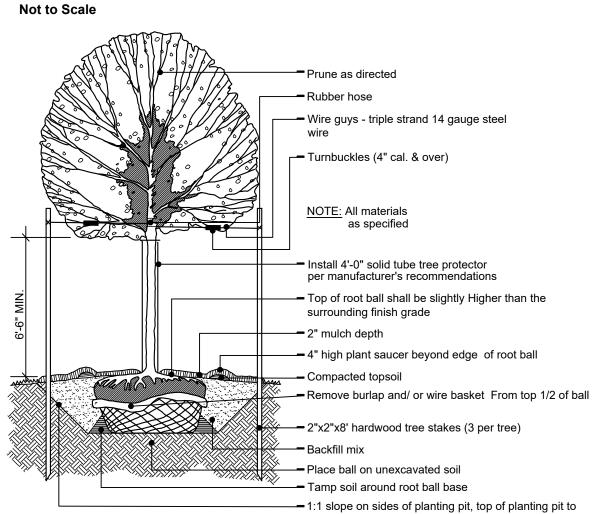


Typical Multi-Stem Tree Planting Detail

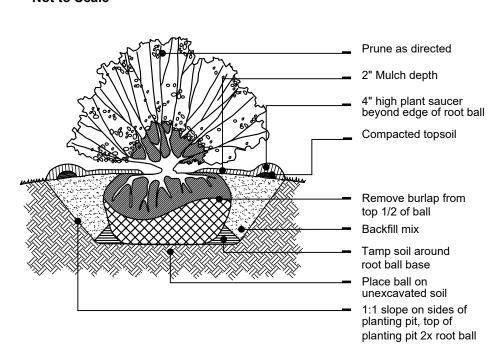
Not to Scale



Typical Evergreen Tree Planting Detail



Typical Deciduous Tree Planting Detail



Typical Shrub Planting Detail

Tree Installation Beyond Primary LOD

1. Limit of Disturbance at Each Planting Location:

- a. Area of Additional LOD is shown in Tabular Form on Landscape Plan.
- b. Red circles on tree symbols are the LOD limits per the
- c. Landscape Contractor is to limit spill from tree excavation to one-foot beyond specified excavation.
- d. LOD at each planting location is two times rootball size plus 2-feet in diameter. A tarp is to be used to dispose of excess excavated soil beyond the limit of the LOD and to blend additives into soil for Backfill Mix.

2. Weather and Soil Conditions:

- a. Do not install trees beyond the primary LOD within 48 hours after a rain storm of 0.5" depth or greater.
- b. Stop work if pneumatic tires produce ruts between nearest pavement and tree planting locations.
- c. Use track mounted equipment if needed to avoid

3. Tree Delivery and Planting:

- a. Place unplanted trees on designated paved parking spaces (staging areas) for transport to planting
- b. Provide light mist spray on stored plant materials in hot
- weather (over 75 degrees). c. Store plant materials at these locations no longer than
- d. Use smallest practical equipment to dig planting holes
- at each planting location. e. Use smallest practical equipment to transport trees to
- planting locations from staging areas.
- f. Use track mounted equipment for moving trees and digging holes if ruts are created by pneumatic tires.

4. Daily Lawn Repair:

- All lawn damage created by landscape installation work is to be repaired by end of day on the day of planting.
- b. Fill any ruts level with imported topsoil.
- c. Hand rake large areas to fine grade.

48 hours prior to planting.

- d. Seed all disturbed areas with specified seed mix
- e. Mulch all disturbed areas with 'Penn Mulch Seed Accelerator' recycled paper mulch pellets with starter fertilizer and tackifier (as manufactured by LebanonTurf).
- f. Lightly water to expand mulch.

5. Daily Mulching:

a. Mulch all planting pits by end of each planting day.

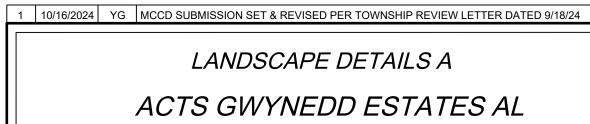
Requirements for PCSM Trees

- 1. All proposed Shade Trees, Evergreen Trees, and Flowering Trees are to be counted for Volume Reductions Credits as
- 2. Trees must be Native Species. Substitutions for specified trees must also be Native Species.
- 3. Trees are to be protected during construction.
- 4. Trees shall be maintained by Owner for the life of the project or until redevelopment occurs. Life of Project is 50 years.
- 5. Escrow shall be provided, by Owner, for the replacement of any protected trees used for stormwater credit that die within 5 years of construction. Dead trees shall be replaced within 6 months. Minimum caliper size for replacement after original
- 6. Trees shall be installed at or near the locations approved on the PCSM landscape plan.

Plant Schedule

Symbol	Abrev.	Botanical Name	Common Name	Planting Requirements	Replacement Trees	Total Quantity	Native	Height	Spread	Caliper	B&B	General Comments
	E QUANTITY quirements	' = 224 = 50; Replacement Trees = 174)	100% Native Replacement	t Trees (100%	Required)		100	% Native Tre	es for Plantin	g Requiremer	nts (75% Minin	num Required)
HADE TRE	ES (Quantity	<i>t</i> = 86)										
(A)	AR	ACER RUBRUM	RED MAPLE	19	0	19	YES	14-16'	7-9'	2 1/2 - 3"	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 6'-8"
	AR	ACER RUBRUM	RED MAPLE	0	8	8	YES	15-17'	8-10'	4" MIN.	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 6'-8"
$\overline{\bullet}$	AS	ACER SACCHARUM	SUGAR MAPLE	8	0	8	YES	14-16'	7-9'	2 1/2 - 3"	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 6'-8"
•	AS	ACER SACCHARUM	SUGAR MAPLE	0	24	24	YES	15-17'	8-10'	3" MIN.	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 6'-8"
$\overline{\bullet}$	LTA	LIRIODENDRON TULIPIFERA 'ARNOLD'	ARNOLD UPRIGHT TULIP TREE	5	0	5	YES	14-16'	4-6'	2 1/2 - 3"	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 6'-8"
•	QA	QUERCUS ALBA	WHITE OAK	6	0	6	YES	14-16'	7-9'	2 1/2 - 3"	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 6'-8"
•	QA	QUERCUS ALBA	WHITE OAK	0	3	3	YES	15-17'	8-10'	4" MIN.	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 6'-8"
(1)	QS	QUERCUS PALUSTRIS	PIN OAK	0	10	10	YES	15-17'	8-10'	4" MIN.	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 6'-8"
$\overline{\Phi}$	QR	QUERCUS RUBRA	RED OAK	0	3	3	YES	15-17'	8-10'	4" MIN.	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 6'-8"
VERGREE	N TREES (Qu	uantity = 70)	1	I.				P C	Li-			
\otimes	JV	JUNIPERUS VIRGINIANA	EASTERN RED-CEDAR	4	6	10	YES	12-14'	6-8'	4" MIN.	YES	HEAVY SPECIMEN, SINGLE LEADER, BRANCHED TO GROUND.
\otimes	JVC	JUNIPERUS VIRGINIANA 'CORCORCOR'	UPRIGHT EASTERN RED-CEDAR	0	20	20	YES	8-10'	3-4'	3" MIN.	YES	HEAVY SPECIMEN, SINGLE LEADER, BRANCHED TO GROUND.
8	PS	PINUS STROBUS	EASTERN WHITE PINE	6	34	40	YES	12-14'	6-8'	4" MIN.	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 6'-8"
OWERING	TREES (Qu	uantity = 68)										L
	AA	AMELANCHIER ARBOREA 'CUMULUS'	CUMULUS ALLEGHENY SERVICEBERRY	0	18	18	YES	8-10'	5-6'	3" MIN.	YES	HEAVY SPECIMEN, MULTI-LEADER
(AC	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	0	25	25	YES	12-14'	8-10'	4" MIN.	YES	HEAVY SPECIMEN, MULTI-LEADER
0	BN	BETULA NIGRA	RIVER BIRCH	0	4	4	YES	8-10'	5-6'	3" MIN.	YES	HEAVY SPECIMEN, MULTI-LEADER
①	СС	CERCIS CANADENSIS	RED BUD	2	0	2	YES	8-10'	5-6'	3" MIN.	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 4'-0"
O	CC	CERCIS CANADENSIS	RED BUD	0	10	10	YES	12-14'	8-10'	4" MIN.	YES	HEAVY SPECIMEN, SINGLE LEADER, CI TRUNK TO 6'-8"
①	ССМ	CERCIS CANADENSIS 'MERLOT'	MERLOT RED BUD	0	3	3	YES	12-14'	8-10'	4" MIN.	YES	HEAVY SPECIMEN, SINGLE LEADER, CL TRUNK TO 4'-0"
0	HV	HAMAMELIS VIRGINIANA	WITCH-HAZEL	0	6	6	YES	8-10'	5-6'	3" MIN.	YES	HEAVY SPECIMEN, MULTI-LEADER
IRUBS (Q	uantity = 10	7)					100	% Native Sh	ubs to be Pla	nted (75% Mii	nimum Requir	ed)
\bigcirc	CA	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE SUMMERSWEET	18	0	18	YES	2 1/2'-3'	2 1/2'-3'	3 ₹ 3	#5 CONT.	HEAVY, SPECIMEN, PLANT IN 2" CONTINUOUS MULCH BED
	IV	ILEX VERTICILLATA	WINTERBERRY	3	0	3	YES	2 1/2'-3'	2 1/2'-3'		#5 CONT.	HEAVY, SPECIMEN, PLANT IN 2" CONTINUOUS MULCH BED
0	IVHG	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	27	0	27	YES	2 1/2'-3'	2 1/2'-3'		#5 CONT.	HEAVY, SPECIMEN, PLANT IN 2" CONTINUOUS MULCH BED
0	IVLH	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY DWARF SWEETSPIRE	24	0	24	YES	2'-2 1/2'	2 1/2'-3'		#5 CONT.	HEAVY, SPECIMEN, PLANT IN 2" CONTINUOUS MULCH BED
•	LB	LINDERA BENZOIN	SPICEBUSH	11	0	11	YES	2 1/2'-3'	2 1/2'-3'	*	#5 CONT.	HEAVY, SPECIMEN, PLANT 5' O.C. IN 2" CONTINUOUS MULCH BED
0	POC	PHYSOCARPUS OPULIFOLIUS 'COPPERTINA'	COPPERTINA NINEBARK	6	0	6	YES	2 1/2'-3'	2 1/2'-3'	2	#5 CONT.	HEAVY, SPECIMEN, PLANT IN 2" CONTINUOUS MULCH BED
0	POJ	PHYSOCARPUS OPULIFOLIUS 'LITTLE JOKER'	LITTLE JOKER NINEBARK	6	0	6	YES	2 1/2'-3'	2 1/2'-3'	•	#5 CONT.	HEAVY, SPECIMEN, PLANT IN 2" CONTINUOUS MULCH BED
\oplus	VD	VIBURNUM DENTATUM	ARROW-WOOD VIBURNUM	12	0	12	YES	2 1/2'-3'	2 1/2'-3'	-	#5 CONT.	HEAVY, SPECIMEN, PLANT 4' O.C. IN 2" CONTINUOUS MULCH BED
ERENNIAL	S (Quantity :	= 8,197)	ı				98	% Native Per	rennials to be	Planted (75%	Minimum Red	quired)
	AT	ASCLEPIAS TUBEROSA	BUTTERFLY WEED	31	0	31	YES	ä	語の	8 7 8	#1 CAN	HEAVY, PLANT 18" O.C. IN 2" DEPTH CONTINUOUS MULCH BED
	CE	CAREX EBURNEA	IVORY SEDGE	176 FLATS	0	176 FLATS	YES	¥	3	*	32/FLAT	PLANT 10" O.C. IN 2" DEPTH CONTINUC MULCH BED
	CV	CHRYSOGONUM VIRGINIANUM	GOLDENSTAR	1,369	0	1369	YES	*	853	-	1 QUART CAN	HEAVY, PLANT 12" O.C. IN 2" DEPTH CONTINUOUS MULCH BED
	HSD	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	145	0	145	NO	4	121	35	#1 CAN	HEAVY, PLANT 18" O.C. IN 2" DEPTH CONTINUOUS MULCH BED
1////////				07 51 470		004	YES	~		-	32/FLAT	PLANT 10" O.C. WITH 1.5" DEPTH MULC
	JE	JUNCUS EFFUSUS	SOFT RUSH	27 FLATS	0	864	ILO	177	5753			BED & COIR FIBER NET ABOVE MULCH

Quantities of plant materials and related materials shown on drawing schedules are for the convenience of the contractor and may indicate a quantity less than required to perform the installation. Where spacing of plant material is indicated, plant spacing shall govern over quantity indicated. Where a quantity of plant material is indicated on plans, this quantity shall be interpreted as a minimum calculated quantity. In no case shall a quantity of plant material be installed that is less than the quantity shown on the plant schedule or the plans. The contractor shall be responsible to determine the quantity of plant materials required and shall be required to install that quantity of material.



LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

6/21/24



SHEET 39 OF 43

HEAVY DUTY STAMPED CONCRETE SECTION

SCALE: 1/2" = 1'-0"



CONTRACTOR TO PROVIDE SHOP DRAWINGS AND COLOR SAMPLES FOR REVIEW PRIOR TO CONSTRUCTION OF FIELD SAMPLE. FIELD SAMPLE TO BE PREPARED AND REVIEWED AS STANDARD FOR FINISHED WORK. COLORS AND TEXTURES TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO

GENERAL NOTE:

PROCEEDING WITH THE WORK. STAMPING TOOL SPECIFIED IS EXAMPLE ONLY. ACTUAL STAMPING TOOLS TO BE SELECTED BASED ON PROVISION OF WALKABLE SURFACE AND AESTHETIC EFFECT.

Stamped Paving Type 'A' "Connor's Quarry Stone" 36" x 55" Stamp Size Proline Stamps: AS1100A, AS1100B, AS1100C and AS1100F (Example)

Integral Color: Proline Black, #IC590 at 1 Bag per 4 C.Y. Color Hardener: Proline Jade #618 at 60# per 100 S.F., Two Shakes. Antiquing Release: Proline Soft Gray #613

Stamped Paving Sealants

- Concrete Sealant: Surecrete Sureseal HS 340
- Anti-slip Additive: Surecrete SureGrip
- Alternate Saw-cut Joint Sealant: 'Metzer/McGuire Spal-Pro RSF, Color to coordinate with pavement as selected by Architect. Provide cost as Add Alternate for determination by

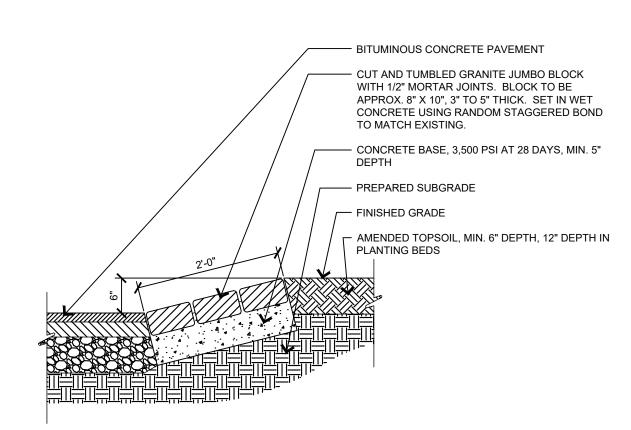
Surecrete SureGrip additive is to be added to concrete sealant to improve slip resistance in all proposed stamped/imprinted concrete pavement areas at rate recommended by manufacturer.

Color Sample, Mockup:

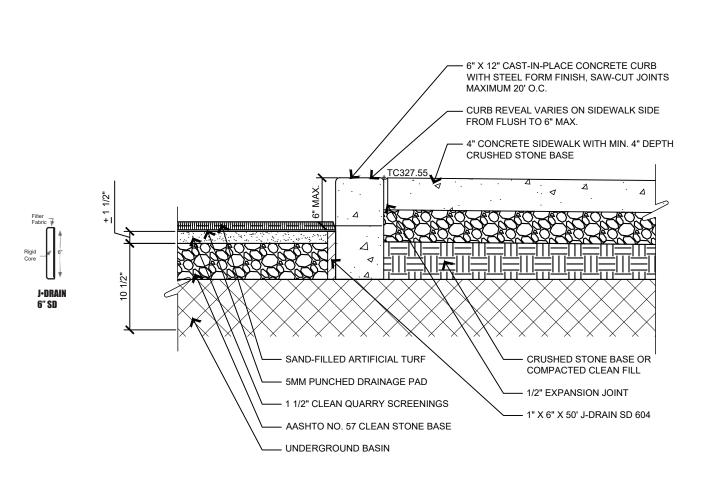
PROPOSED COLOR TO MATCH PENNSYLVANIA BLUESTONE TO THE EXTENT PRACTICAL UNLESS OTHERWISE DIRECTED BY OWNER. PROVIDE 3'X3' FIELD MOCKUP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF FINISHED PAVEMENT. FIELD MOCKUP TO REMAIN ON SITE UNTIL FINAL PAVEMENT IS APPROVED. CONSTRUCT FIELD MOCKUP IN LOCATION APPROVED BY OWNER.

Sealed Expansion Joints: Sikaflex 1a, color to be selected from standard available colors.

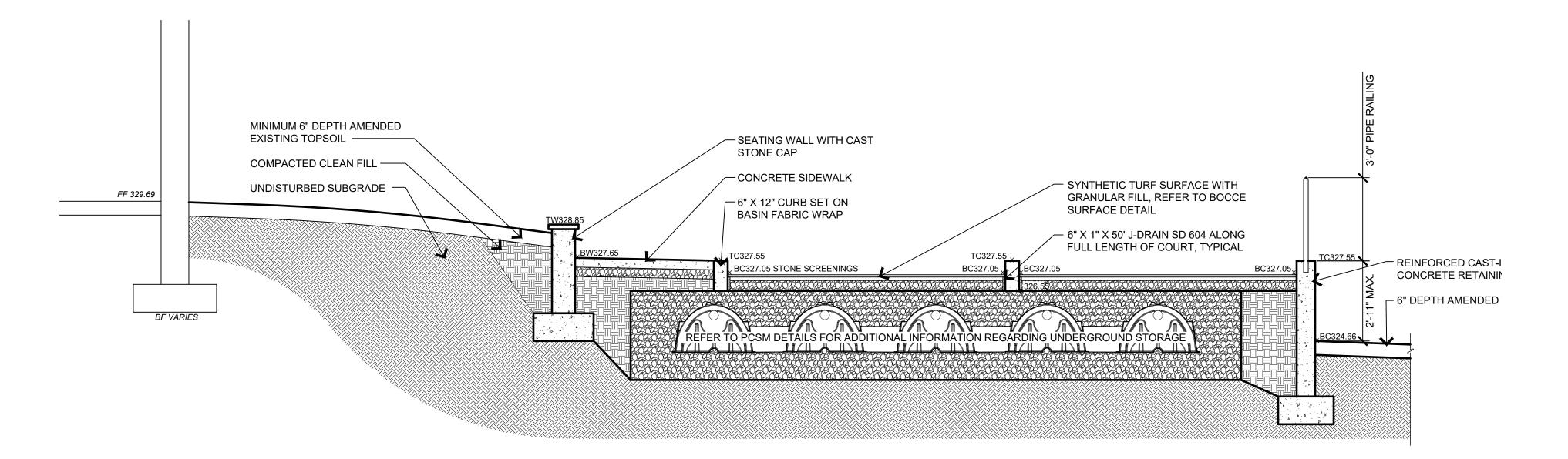
STAMPED & COLORED CONCRETE SPECIFICATIONS



BELGIAN BLOCK MOUNTABLE CURB SCALE: 3/4" = 1'-0"

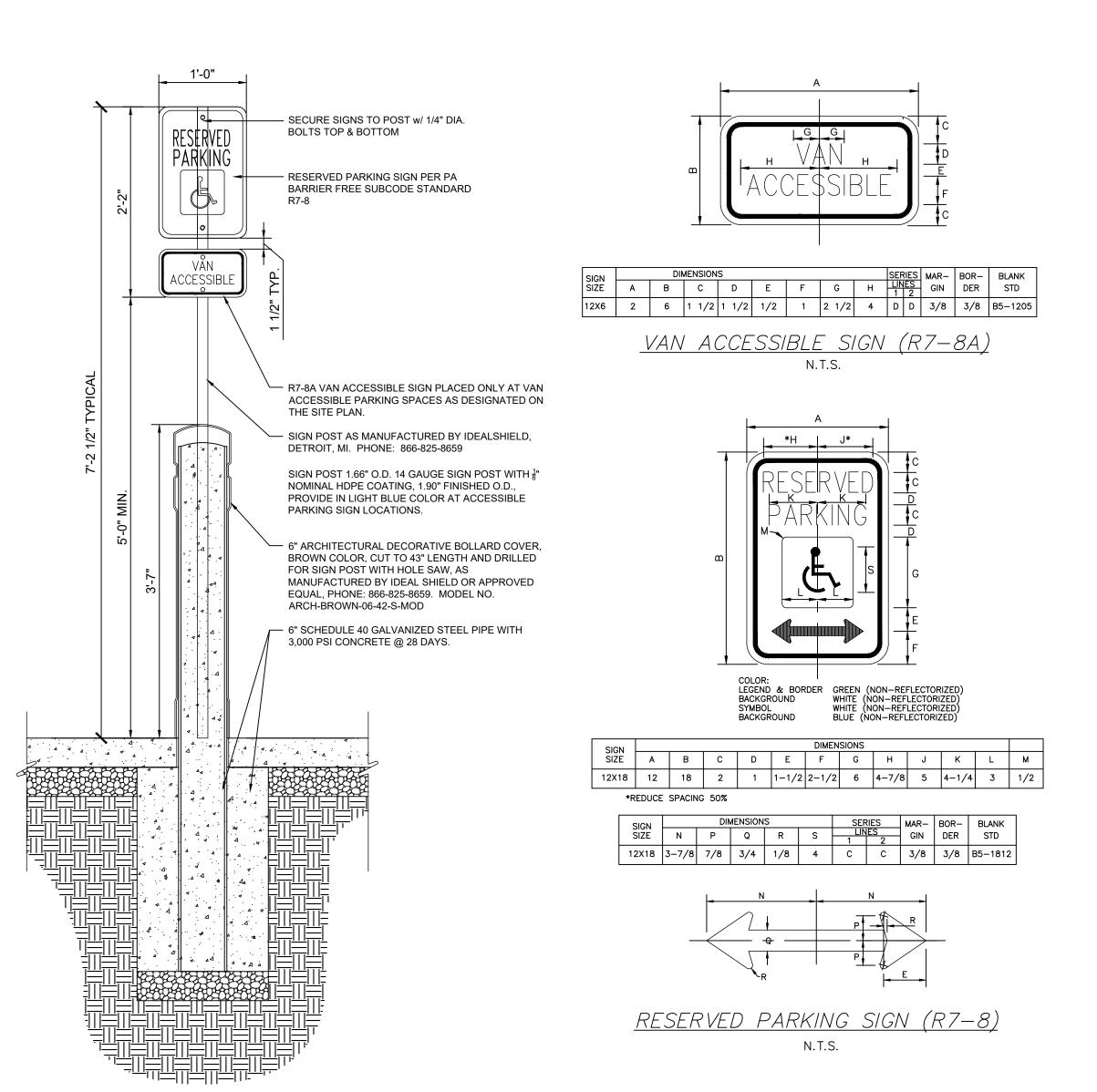


BOCCE COURT CURB, TURF, AND DRAINAGE SCALE: 1" = 1'-0"



BOCCE COURT AND UNDERGROUND BASIN CONCEPT SECTION

SCALE: 3/8" = 1'-0"



ADA SIGN WITH BOLLARD

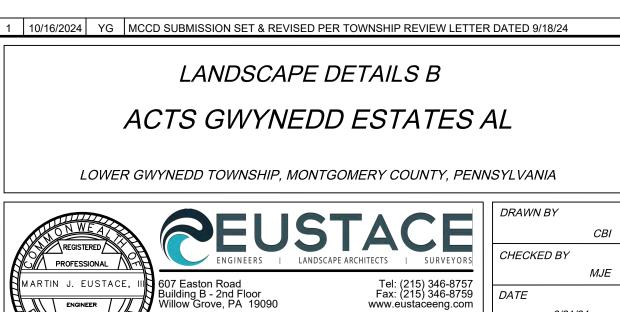
SCALE: 1" = 1'-0"

Physical Properties

Property	Test Method	иом	SD 603	SD 604	SD 606	SD 608	SD 604 1
		FA	BRIC				
Material			Non wover	Non woven	Non wover	Non woven	Spunbon
AASHTO M 288	Survivability		+	Class 3	Class 2	Class 1	Class 3
Grab Tensile Strength	A STAA D 4622	lbs	100	120	160	205	145
diab fensile strength	A31WID 4032	N	445	534	712	912	644
Annaront Opening Siz	z ASTM D 4751	U.S. Sieve	70	70	70	80	60
Apparent Opening 312		mm	0.212	0.212	0.212	0.18	0.25
Flow Rate	ASTM D 4491	gal/min/ft	140	135	110	95	60
riow Rate	ASTNI D 4491	I/min/m²	5704	5500	4481	3870	2460
D Chan a sale	ASTM D 6241	lbs	250	310	410	500	276
Puncture Strength		N	1113	1380	1825	2224	1228
Permittivity	ASTM D 4491	sec ⁻¹	2.0	1.7	1.5	1.4	0.8
Grab Tensile Elongation	ASTM D 4632	%	50	50	50	50	50
UV Resistance	ASTM D 4355	% (@ 500 hrs	70	70	80	70	80
		C	ORE				
-1	ASTM D 1777	inch	1	1	1	1	1
Thickness		cm	2.54	2.54	2.54	2.54	2.54
	A 6 TA A D 4 604	psf	6,000	6,000	6,000	6,000	6,000
Compression	ASTM D 1621	kNm²	287	287	287	287	287
Flow Rate	ASTM D 4716	gal/min/ft	30	30	30	30	30
Hydraulic Gradient =. 1 Q&518 psf		I/min/m	372	372	372	372	372

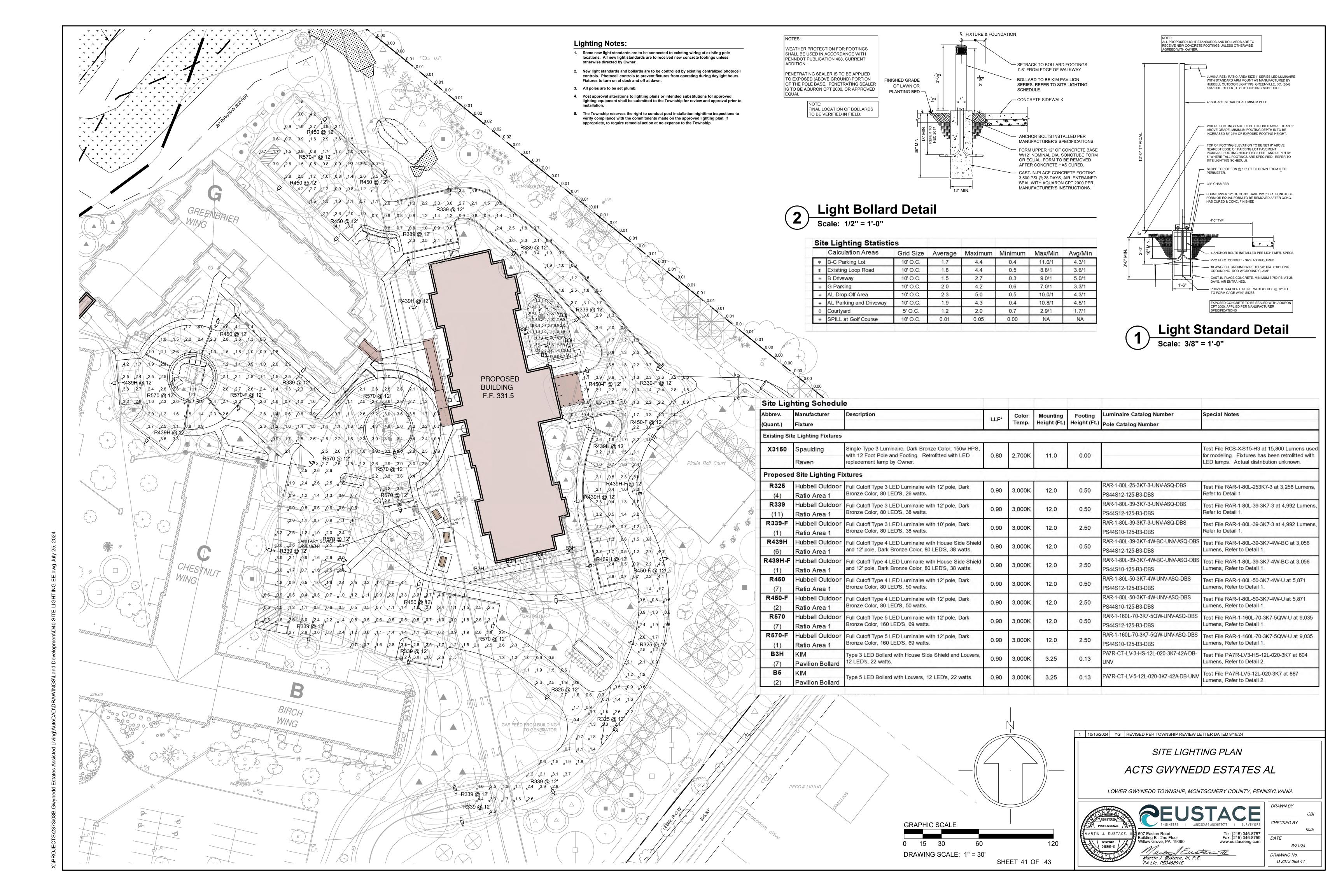
Roll Size: 6, 12, & 18 inch widths x 165 foot length.

Specialty roll widths and fabrics require additional lead time and minimum quantity orders.



SHEET 40 OF 43

6/21/24 DRAWING No. D 2373 08B 49





<u>DEFINITIONS</u>: The term "plant material" shall mean trees, shrubs, ground cover, and other growing plants and seeding to the extent of the Plant Schedule shown on the Drawings and Planting Details. Trees, shrubs, and other plant material shall be as

PLANT MATERIAL: The Landscape Contractor shall furnish, deliver, and install plant material as specified. Install plant material in accordance with the drawings, details, and general comments.

INSPECTION OF PLANTING AREAS: Inspect planting areas before topsoiling, finish grading, or planting is begun to ensure that adequate drainage exists. If areas to be landscaped show evidence of poor drainage, the Landscape Contractor shall notify the Owner immediately for corrective action. Plant material that dies due to poor or inadequate drainage shall be the responsibility of

TOPSOIL: Sufficient quantity of topsoil for planting is not available on the site and is to be provided by the Landscape Contractor.

MAINTENANCE BEFORE GUARANTEE PERIOD: The Landscape Contractor shall maintain plantings prior to the beginning of the guarantee period and keep the complete and incomplete work in a clean and neat condition at all times. Maintenance responsibilities shall include but not be limited to watering, mulching, fertilizing, disease control, and weed control.

INSPECTION FOR START OF GUARANTEE: The Landscape Architect will inspect the work to determine its substantial completion for beginning the guarantee period. The Landscape Contractor shall request such inspection in writing at least ten (10) days prior to the anticipated date of completion. After inspection, the Landscape Contractor will be notified of the date when the work has been approved for beginning the Guarantee Period or, if there are any deficiencies, a list to be corrected prior to the beginning of the

GUARANTEE: Guarantee landscape work, plant material, and lawn for (18) calendar months from date of completion of installation and written acceptance by the Owner or Landscape Architect. The Landscape Contractor shall guarantee that plant material will be in a vigorous and thriving condition at the end of the Guarantee Period. Should plants appear to be in poor health, or lack normal growth, the Landscape Contractor shall remove the plants at once and install replacements in a timely manner as specified.

WITHIN THE GUARANTEE PERIOD: The Landscape Contractor shall notify the Owner in writing of any maintenance practices peing followed or omitted which would be detrimental to the healthy, vigorous growing condition of plants.

COMPLETION OF GUARANTEE: The Landscape Contractor shall notify the Landscape Architect or Owner upon completion of the Guarantee Period and request a full inspection prior to acceptance of the work.

Planting Specifications:

PLANT MATERIAL SOURCES: Plant materials are to be selected at nurseries located within the same plant hardiness zone as the project site and within a one hundred (100) mile radius of the project site, unless otherwise approved by the Landscape Architect or

PLANT SELECTION: Notify the Landscape Architect to select and seal plant material at the nursery before delivery.

STAKEOUT OF PLANT LOCATIONS: Notify the Landscape Architect to review stakeout of plant material locations at the site before nstallation. Markers shall be wood stakes, minimum 2"x2"x4'.

BED PREPARATION: Supply and spread soil additives as above plus 3" depth of well-rotted compost over all bed areas, and rototill into the top 4" of topsoil before planting. Exception: Place Agriform tablets for bedded shrubs at time of planting.

SOIL ADDITIVES: For container-grown shrubs and B&B shrubs and trees, both evergreen and deciduous, apply soil additives in compliance with the manufacturer's recommended rates and procedures. Incorporate the following materials in the Backfill Mix:

Super absorbent copolymer and soil wetting agents, such as "Supersorb C" and "Aquagro 20S" as manufactured by Aquatrols,

M-ROOTS, as manufactured by ROOTS, Inc., (800) 342-6173, or approved equal Mycorrhizae inoculant including both Endo- and Ecto-mycorrhizae species, and biostimulants. Agriform tablets 20-10-5 plus Minors, 21-gram size, as manufactured by Scotts-Sierra Horticultural Products Co. (937) 644-0011, or

ANTIDESICCANT: When planting in late fall, apply anti-desiccant to broadleaf evergreen plant material before digging from the nursery

PRE-EMERGENCE HERBICIDE: Apply pre-emergence herbicide such as "Treflan" to planting beds according to manufacturer's

ecommendation before placing mulch. Include a second application of pre-emergence herbicide as a part of this work.

Sodding Specifications:

TIMING: Sodding shall commence between August 15 and October 15, or between March 15 and May 15, as weather permits and/or as approved by the Landscape Architect.

FINISH GRADING: The Landscape Contractor shall fine grade lawn areas and remove debris and stones larger than 1" from the Site. Add topsoil to curbed areas as required to bring finish grade flush with top of curb and provide crown as indicated in planting details. Finish grading is to be inspected by the Landscape Architect prior to sod planting.

SOIL AMENDMENTS: Incorporate by discing within the top 1-2" of topsoil the following materials: 30 lbs. of dolomitic limestone, 20 lbs. of basic fertilizer (0-20-20) and 25 lbs. of 10-6-4, 50% organic nitrogen per 1,000 sq. ft.

80% Fylking Kentucky Bluegrass or other acceptable Bluegrass cultivar 20% Pennlawn Creeping Red Fescue or other acceptable Red

Fescue cultivar INSTALLATION: Extra care shall be taken to eliminate air pockets and depressions by rolling or tamping base before sod installation. Sod must be delivered and installed within 36 hours of being cut. Sod shall be laid smoothly, edge to edge with

SLOPES: On slopes 3 to 1 or greater, fasten sod securely to the base by wooden pegs or an acceptable substitute.

staggered joints. Immediately after installation the sod shall be watered in to a depth of 4".

WATERING: Water sod as required for four weeks (28 days) after all sod is installed. Replace sod showing signs of

REPAIRS AND REPLACEMENTS: Remove sod which has died immediately after any inspection. Repair joint separations, and replace dead or washed out sod, providing sod similar to the original installation. Install replacement sod during the following planting season. Repair turf bed, adding topsoil as necessary before laying replacement sod. Notify the Landscape Architect when sod replacements are complete.

MAINTENANCE BEFORE GUARANTEE PERIOD: Sod maintenance shall include, but not be limited to, watering of turf, mowing, cultivation, weeding, disease and pest control, replacement of dead or unacceptable materials, filling under settlement areas, resodding washouts, and any other procedure consistent with good horticultural practice necessary to insure normal, vigorous and healthy growth of work under this Contract.

ADDITIONAL SOD GUARANTEE: Guarantee of sod shall also include the repair of washouts and gullies using materials and procedures specified above

Seeding Specifications:

TIMING: Seeding shall commence between August 15 and October 15, or between March 15 and May 15, as weather permits and/or as approved by the Landscape Architect.

FINISH GRADING: The Landscape Contractor shall fine grade lawn areas and remove debris and stones larger than 1" from the Site. Add topsoil to curbed areas as required to bring finish grade flush with top of curb and provide crown as indicated in planting details. Finish grading is to be inspected by the Landscape Architect prior to sod planting.

SEED AREA LIMITS: Areas disturbed by the Building Contractor and the removal and relocation of shrubs and trees shall be grubbed, soiled, regraded to match surrounding area, and seeded, fertilized, and mulched by the Landscape Contractor. Limits of lawn restoration shall be determined in the field based on a site inspection by the Owner and Landscape Contractor.

FERTILIZER: Fertilize with 30 lbs. of 10-6-4 per 1,000 sq. ft.

MULCH: Mulch newly seeded areas with hay or straw at the rate of 40 lbs. per 1,000 sq. ft., or 1,750 lbs. per acre.

SEED MIX: Seed shall be a mixture of the following varieties:

60% Baron Kentucky Bluegrass 20% Jamestown II Chewings Fescue

20% Palmer II Perennial Ryegrass Sow the above mixture (available from Budd Seed, Inc. as "Tri-Plex General Seed Mix") at 4.5 lbs. per 1,000 sq. ft.

MAINTENANCE BEFORE GUARANTEE PERIOD: Lawn work shall be maintained by the Landscape Contractor until full germination is accomplished and the lawn has been cut twice. If required, the contractor shall reseed, resoil, refertilize, remulch, etc. until a satisfactory stand of grass is achieved.

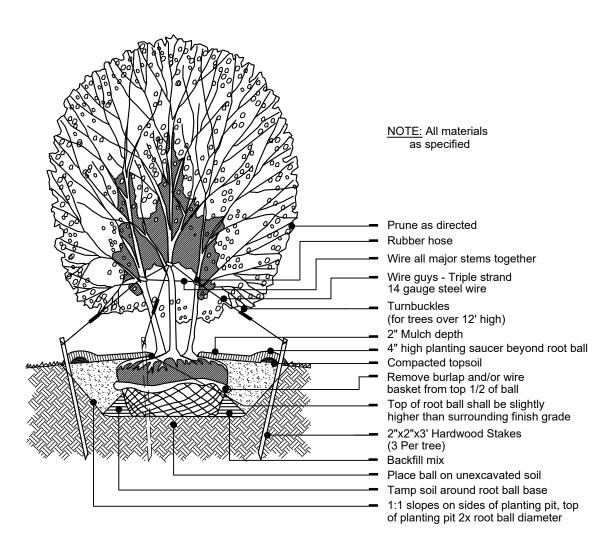
EROSION CONTROL MATTING: Soil erosion shall be controlled by installing North American Green erosion control matting per manufacturers instructions on any slope greater than 4:1. Refer to manufacturer's specifications for the required staple pattern as dictated by slope gradient and soil conditions.

Plant Quantity Specifications:

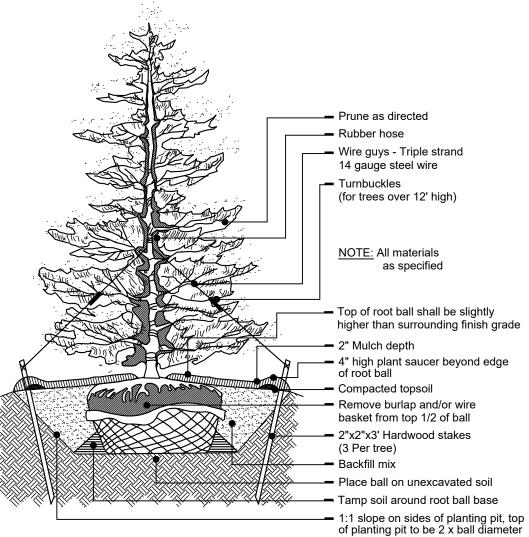
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Topsoil Replacement

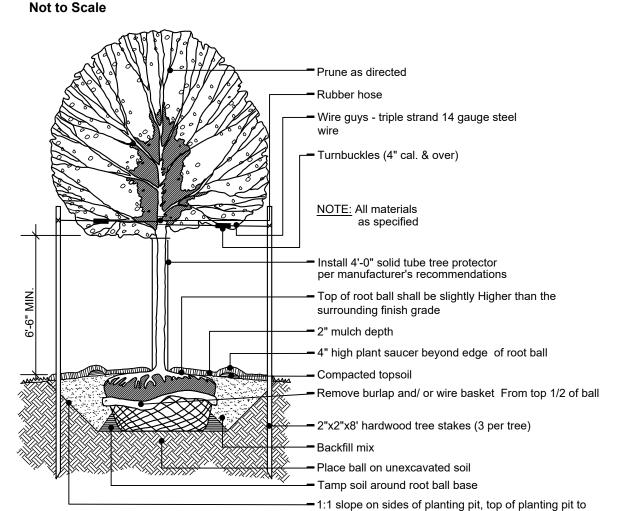
Prior to replacement of topsoil, subgrades are to be reviewed by the Landscape Architect. REFER TO SPECIFICATION BOOKLET FOR ADDITIONAL INFORMATION. Topsoil to be a minimum depth of 6" in lawn areas.



Typical Multi-Stem Tree Planting Detail



Typical Evergreen Tree Planting Detail



Typical Deciduous Tree Planting Detail

c. Store plant materials at Staging Areas no longer than 48 hours

Outside of

Primary LOD

Type 'D'

Height

14-16'

15-17'

14-16'

15-17'

14-16'

14-16'

15-17'

15-17'

15-17'

12-14'

8-10'

12-14'

8-10'

12-14'

8-10'

8-10'

12-14'

12-14'

8-10'

YES

Spread

7-9'

8-10'

7-9'

8-10'

4-6'

7-9'

8-10'

8-10'

8-10'

6-8'

3-4'

6-8'

5-6'

8-10'

5-6'

5-6'

8-10'

8-10'

5-6'

Caliper

2 1/2 - 3

4" MIN.

2 1/2 - 3

3" MIN.

2 1/2 - 3

2 1/2 - 3

4" MIN.

4" MIN.

4" MIN.

4" MIN.

3" MIN.

4" MIN.

3" MIN.

4" MIN.

3" MIN.

3" MIN.

4" MIN.

4" MIN.

3" MIN.

YES

YES

YES

YES

YES

YES

YES

General Comments

HEAVY SPECIMEN. SINGLE LEADER.

HEAVY SPECIMEN, SINGLE LEADER,

HEAVY SPECIMEN, SINGLE LEADER.

HEAVY SPECIMEN, SINGLE LEADER,

HEAVY SPECIMEN, SINGLE LEADER,

HEAVY SPECIMEN, SINGLE LEADER,

HEAVY SPECIMEN, MULTI-LEADER

HEAVY SPECIMEN, MULTI-LEADER

HEAVY SPECIMEN, MULTI-LEADER

HEAVY SPECIMEN, SINGLE LEADER,

HEAVY SPECIMEN, SINGLE LEADER,

HEAVY SPECIMEN, SINGLE LEADER,

HEAVY SPECIMEN, MULTI-LEADER

CLEAR TRUNK TO 4'-0"

CLEAR TRUNK TO 6'-8"

CLEAR TRUNK TO 4'-0"

CLEAR TRUNK TO 6'-8"

BRANCHED TO GROUND.

BRANCHED TO GROUND.

CLEAR TRUNK TO 6'-8"

Type 'C'

Soils

14

12

22

Total

Quantity

24

10

20

40

25

d. Use smallest practical equipment to dig planting holes at each planting location.

e. Use smallest practical equipment to transport trees to planting locations from staging areas.

ruts are created by pneumatic tires.

Backfill Mix.

one-foot beyond specified excavation.

2. Weather and Soil Conditions: a. Do not install trees beyond the primary LOD within 48 hours after a rain storm of 0.5" depth or greater.

LOD at each planting location is two times rootball size plus 2-feet

in diameter. A tarp is to be used to dispose of excess excavated

soil beyond the limit of the LOD and to blend additives into soil for

a. Area of Additional LOD is shown in Tabular Form on Landscape

b. Red circles on tree symbols are the LOD limits per the Table

c. Landscape Contractor is to limit spill from tree excavation to

- b. Stop work if pneumatic tires produce ruts between nearest pavement and tree planting locations.
- c. Use track mounted equipment if needed to avoid rutting.

3. Tree Delivery and Planting:

PCSM Plant Schedule

Abrev.

SHADE TREES (Quantity = 86)

AR

AR

QA

QA

QR

EVERGREEN TREES (Quantity = 70)

JVC

FLOWERING TREES (Quantity = 68)

BN

CC

CCM

HV

*PLANT SCHEDULE NOTE:

Symbol

Botanical Name

ACER RUBRUM

ACER RUBRUM

ACER SACCHARUM

ACER SACCHARUM

QUERCUS ALBA

QUERCUS ALBA

QUERCUS PALUSTRIS

JUNIPERUS VIRGINIANA

JUNIPERUS VIRGINIANA

MELANCHIER ARBOREA 'CUMULUS

AMELANCHIER CANADENSIS

CORCORCOR'

PINUS STROBUS

BETULA NIGRA

CERCIS CANADENSIS

CERCIS CANADENSIS

HAMAMELIS VIRGINIANA

PCSM Tree Installation Beyond Primary LOD

1. Limit of Disturbance at Each Planting Location:

CERCIS CANADENSIS 'MERLOT'

QUERCUS RUBRA

ARNOLD'

LIRIODENDRON TULIPIFERA

Common Name

RED MAPLE

RED MAPLE

SUGAR MAPLE

SUGAR MAPLE

WHITE OAK

WHITE OAK

PIN OAK

RED OAK

ASTERN RED-CEDAR

EASTERN WHITE PINE

CUMULUS ALLEGHENY

SHADBLOW SERVICEBERRY

SERVICEBERRY

RIVER BIRCH

RED BUD

RED BUD

MERLOT RED BUD

WITCH-HAZEL

JPRIGHT EASTERN RED-CEDAR

ARNOLD UPRIGHT TULIP TREE

- a. Place unplanted trees on designated paved parking spaces (staging areas) for transport to planting locations.
- b. Provide light mist spray on stored plant materials in hot weather (over 75 degrees).

prior to planting.

f. Use track mounted equipment for moving trees and digging holes if

4. Daily Lawn Repair:

Quantities of plant materials and related materials shown on drawing schedules are for the convenience of the contractor and may indicate a quantity less than required to perform the installation. Where spacing of plant material is

installed that is less than the quantity shown on the plant schedule or the plans. The contractor shall be responsible to determine the quantity of plant materials required and shall be required to install that quantity of material.

indicated, plant spacing shall govern over quantity indicated. Where a quantity of plant material is indicated on plans, this quantity shall be interpreted as a minimum calculated quantity. In no case shall a quantity of plant material be

- a. All lawn damage created by landscape installation work is to be repaired by end of day on the day of planting.
- b. Fill any ruts level with imported topsoil.
- c. Hand rake large areas to fine grade.
- d. Seed all disturbed areas with specified seed mix
- e. Mulch all disturbed areas with 'Penn Mulch Seed Accelerator' recycled paper mulch pellets with starter fertilizer and tackifier as manufactured by LebanonTurf or approved equal.
- f. Lightly water to expand mulch.

Daily Mulching:

a. Mulch tree saucer at all installed trees by end of each planting day.

Requirements for PCSM Trees

replacement is 2".

1. Trees must be Native Species. Substitutions for specified trees must also be Native Species.

- 2. Trees are to be protected during construction.
- 3. Trees shall be maintained by Owner for the life of the project or until
- redevelopment occurs. Life of Project is 50 years. 4. Escrow shall be provided, by Owner, for the replacement of any protected trees used for stormwater credit that die within 5 years of construction.

Dead trees shall be replaced within 6 months. Minimum caliper size for

5. Trees shall be installed at or near the locations approved on the PCSM landscape plan.

1 10/16/2024 YG MCCD SUBMISSION SET & REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

PCSM LANDSCAPE DETAILS ACTS GWYNEDD ESTATES AL

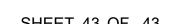
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA



SHEET 43 OF 43



6/21/24



Memo

To: Board of Supervisors

From: Mimi Gleason, Township Manager

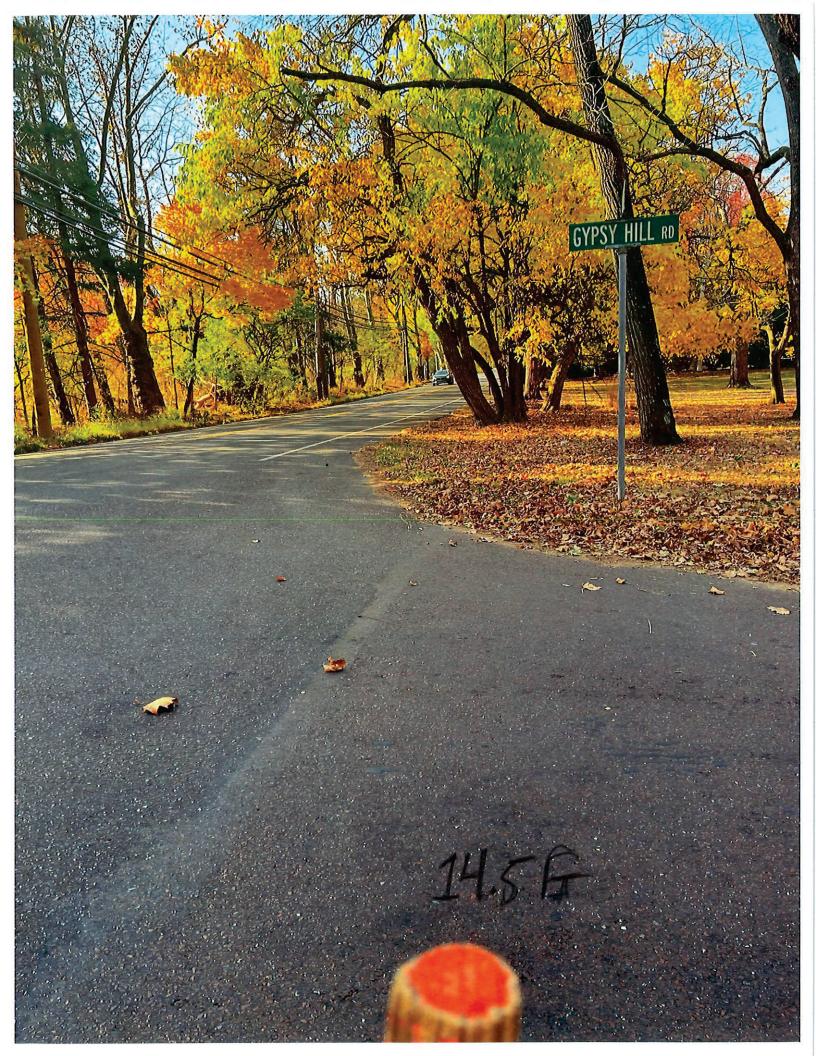
Date: November 22, 2024

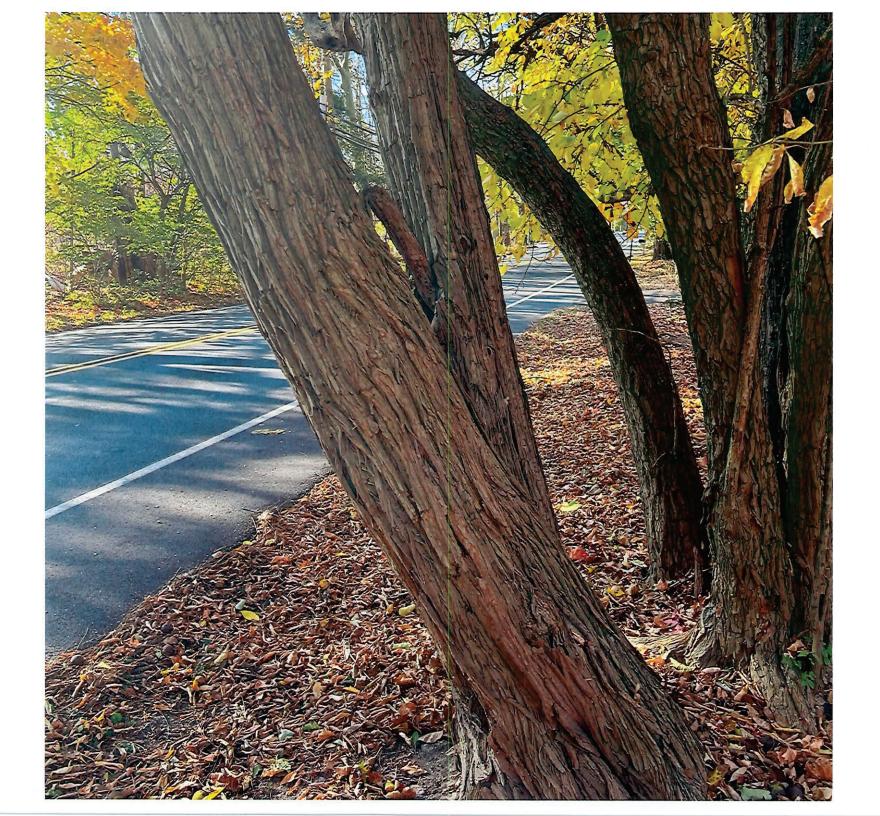
Re: Gypsy Hill Road & Penllyn Pike intersection



Recommended Motion: To authorize the Public Works Department to work with the owner of 900 Gypsy Hill Road to remove trees near the intersection with Penllyn Pike

Residents asked the Township to consider a stop sign on Penllyn Pike at the intersection with Gypsy Hill Road. Bowman did traffic counts and reviewed the crash history. Chad Dixson will review Bowman's findings with the Board and discuss potential next steps, including consideration of removing trees on a corner property that could improve sight distance for drivers pulling out from Gypsy Hill Road. Pictures of that intersection follow this memo.





Memo

To: Board of Supervisors

From: Mimi Gleason, Township Manager

Date: November 22, 2024

Re: Marion Avenue culvert replacement



Recommended Motion: To authorize the Township Engineer, Solicitor and Staff to proceed with discussions with the owner of 448 Marion Avenue and final design of the culvert replacement project

In July 2023, Gilmore & Associates completed the Houston Creek Flood Study, which included recommendations for mitigating flooding in the residential neighborhood between the Wissahickon School District property and Ambler Yards. A priority recommendation in the study is replacing a driveway bridge on the Brookside Avenue side of the property at 448 Marion Avenue with a box culvert to allow greater stream flow.

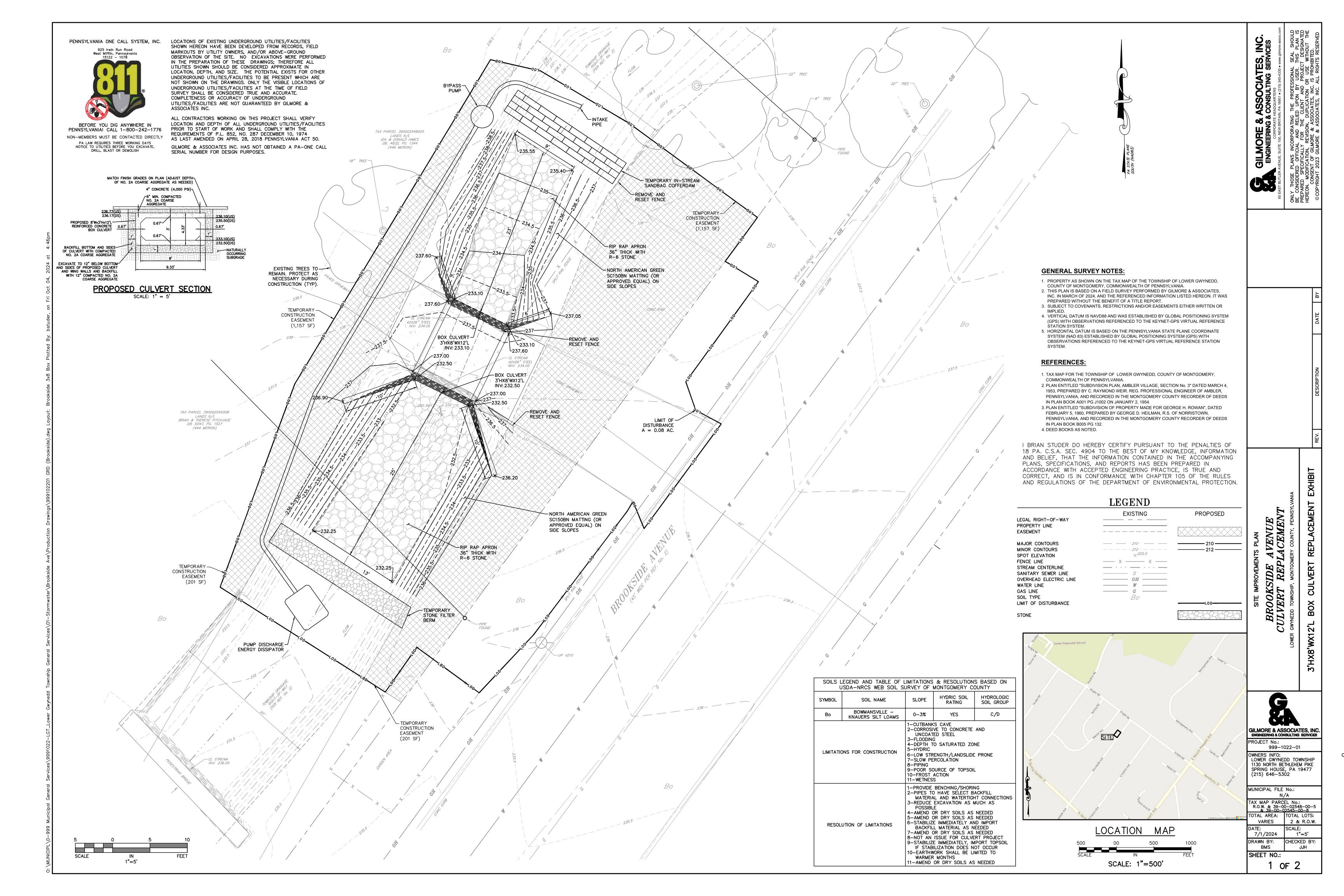
Included in the meeting packet is Gilmore's plan and opinion of probably cost for that project. Jim Hersh will review the project with the Board.

OPINION OF PROBABLE COST

_	JECT:	448 Marion Ave - Culvert Replacement				
LOC	ATION	: Lower Gwynedd Township				
DAT	E:	November 22, 2024				
					UNIT	TOTAL
		ITEM	UNITS Q	UANTITY	PRICE	AMOUNT
I.	EROS	SION CONTROL & SITE PREP				\$1,392.50
	1.	Temporary Stream Diversion System	LS	1	\$500.00	\$500.00
	2.	Disposal of Existing Culvert	LS	1	\$500.00	\$500.00
	3.	Disposal of Tree Debris	LS	1	\$250.00	\$250.00
	4.	North American Green SC150BN Matting	SY	57	\$2.50	\$142.50
III.	CUL\	<u>/ERT</u>				\$52,070.00
	1.	2A Stone Base for Culvert	CY	9	\$50.00	\$450.00
	2.	Precast Concrete Culvert and Wing Walls	LS	1	\$35,000.00	\$35,000.00
	3.	Crane Rental with Operator	LS	1	\$15,000.00	\$15,000.00
	4.	R-6 Rip-Rap	CY	54	\$30.00	\$1,620.00
IV.	MISC	ELLANEOUS				\$6,277.00
	1.	Replace Fence	LF	65	\$75.00	\$4,875.00
	2.	Replace Paving on Top of Culvert	SY	50	\$20.00	\$1,000.00
	3.	Permanent Seeding & Easement Restoration	SY	201	\$2.00	\$402.00
	CON	STRUCTION SUB-TOTAL				\$59,739.50
	CON	TINGENCY (10%)				\$5,973.95
	PERM	MITTING/CONSTRUCTION OVERSIGHT				\$5,000.00
	TOTA	AL SITE COST ESTIMATE				\$70,713.45

NOTES:

^{*} This opinion of probable cost assumes that Township Public Works labor will be utilized for the following tasks: demolition and removal of debris, site prep & clearing, rip-rap installation, paving, and site restoration. As such, estimates for those items include material costs only.



RESOLUTION #2024-31

A RESOLUTION OF LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, AUTHORIZING THE SUBMISSION OF A STATEWIDE LOCAL SHARE ACCOUNT GRANT APPLICATION FOR THE OXFORD PARK PLAYGROUND IMPROVEMENT PROJECT PHASE 1

Be it RESOLVED, that Lower Gwynedd Township of County of Montgomery hereby request a Statewide Local Share Assessment grant of \$580,000.00 from the Commonwealth Financing Authority to be used for Oxford Park Playground Improvement Project Phase 1 located in Lower Gwynedd Township.

Be it FURTHER RESOLVED, that the Applicant hereby designates Mimi Gleason, Township Manager, and Jamie Worman, Assistant Township Manager, as the officials to execute all documents and agreements between Lower Gwynedd Township and the Commonwealth Financing Authority to facilitate and assist in obtaining the requested grant.

Attest:	By:
Mimi Gleason	Danielle Duckett, Chair
Secretary	Board of Supervisors
hereby certifies that the forgoing is a true and vote of the Board of Supervisors at a regular	Lower Gwynedd Township, County of Montgomery, PA, I correct copy of a Resolution duly adopted by a majority meeting held November 26, 2024, and said Resolution has needd Township and remains in effect as of this date.
IN WITNESS THEREOF, I affix my hand ar of November 2024.	nd attach the seal of Lower Gwynedd Township, this 26 th day
Lower Gwynedd Township	
Name of Applicant	
Montgomery County	
County	
Mimi Gleason, Secretary	

RESOLUTION #2024-32

A RESOLUTION OF LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, AUTHORIZING THE SUBMISSION OF A STATEWIDE LOCAL SHARE ACCOUNT GRANT APPLICATION FOR FUNDING TOWARDS A NEW PUBLIC WORKS FACILITY

Be it RESOLVED, that Lower Gwynedd Township of County of Montgomery hereby request a Statewide Local Share Assessment grant of \$999,366.00 from the Commonwealth Financing Authority to be used for site work, stormwater management facilities, and the installation of various utilities in preparation for a new public works building located in Lower Gwynedd Township.

Be it FURTHER RESOLVED, that the Applicant hereby designates Mimi Gleason, Township Manager, and Jamie Worman, Assistant Township Manager, as the officials to execute all documents and agreements between Lower Gwynedd Township and the Commonwealth Financing Authority to facilitate and assist in obtaining the requested grant.

Attact	Dru
Attest: Mimi Gleason	By: Danielle Duckett, Chair
Secretary	Board of Supervisors
hereby certifies that the forgoing is a true and ovote of the Board of Supervisors at a regular method been recorded in the Minutes of Lower Gwyne	ower Gwynedd Township, County of Montgomery, PA, correct copy of a Resolution duly adopted by a majority leeting held November 26, 2024, and said Resolution has dd Township and remains in effect as of this date. attach the seal of Lower Gwynedd Township, this 26 th day
Lower Gwynedd Township Name of Applicant	
Montgomery County County	
Mimi Gleason, Secretary	

Prepared By & Return To:

Neil Andrew Stein, Esquire Union Meeting Corporate Center 910 Harvest Drive, Suite #200 Blue Bell, PA 19422

nstein@kaplaw.com

Property:

Parcels #39-00-00725-18-1 and #39-00-00725-22-6

ENCROACHMENT LICENSE AGREEMENT

THIS ENCROACHMENT LICENSE AGREEMENT is made this 20 day of November 202 between LOWER GWYNEDD TOWNSHIP, 1130 North Bethlehem Pike, Spring House, Pennsylvania 19477 ("Township") and SCOTT N. SLOBOTKIN AND TRACEY I. SLOBOTKIN, 922 Chesterfield Drive, Ambler, Pennsylvania 19002 ("Property Owners") (the Township and Property Owners are sometimes individually referred to as a "Party" and collectively, the "Parties").

BACKGROUND

- A. The Property Owners own the property and structures thereon, known as 922 Chesterfield Drive, Ambler, Pennsylvania 19002, Parcel #39-00-00725-18-1 (the "**Property**").
- B. The Township is the owner of a parcel of open space of approximately 4.63 acres, being Parcel #39-00-00725-22-6 (the "Township Property").
- C. The Property Owners have erected a shed and part of a driveway, on a portion of the Township Property (the "Improvements"), in approximately the area depicted in <u>Exhibit "1"</u> attached hereto (the "Encroachment" and "Encroachment Location").
- D. The Property Owners understand and agree that the Township has and shall for all times hereafter reserve and retain the unfettered right to exclude any/all structures or other encroachments from within the Township Property, in its sole discretion and without recourse.
- E. However, in order to accommodate the Property Owners, the Township is willing to consider and agree to grant its permission to allow the Improvements to remain in its present Encroachment Location on the Township Property, at least temporarily, in consideration of and subject to the understandings, agreements, acknowledgments, conditions, and releases as set forth in this Agreement.

NOW, THEREFORE, the Parties, for themselves, their heirs, successors, and assigns, hereby agree as follows:

1. <u>AUTHORIZATION</u>. The Township hereby grants the Property Owners permission to keep the Improvements in the Encroachment Location, pursuant to the terms of this Agreement & Release, and solely in the Encroachment Location and also in strict conformity with such final plans and permits as may be approved and issued hereafter by the Township and subject to all conditions thereon as may be deemed necessary and proper in the sole discretion of the Township. This Agreement constitutes a License and does not rise to the level of a real property interest.

- 2. **REMOVAL (NON-EMERGENCIES)**. Upon written notice provided by the Township to the Property Owners personally, and/or by certified mail, and/or by posting of the Property if the Property Owners are absent or cannot be located, the Property Owners shall temporarily or permanently remove any or all of the Improvements from the Township Property within thirty (30) days of the date of such personal service or posting, or from the date of mailing of such notice. Such requests made to the Property Owners by the Township to remove the Improvements will be made pursuant to the Township's need to access the Township Property for such purposes as determined in good faith by the Township in its sole discretion.
- 3. <u>EMERGENCIES</u>: Notwithstanding the foregoing, in a situation deemed to be an emergency as determined by the Township it is sole discretion, the Improvements shall be removed by the Property Owners upon forty-eight (48) hours' notice (which may be verbal notice), or may be removed without any prior notice, and in either case the Property Owners shall bear all costs of demolition, relocation and/or reconstruction.
- 4. <u>FAILURE TO REMOVE</u>. In the event the Property Owners fail to remove the Improvements when required to do so by this Agreement, or at any time under emergency circumstances as provided in <u>Paragraph 3</u>, above, the Township shall have the right to remove the Improvements, and the Property Owner shall reimburse the Township for the costs incurred in removing the Improvements within Thirty (30) days of notice thereof. All such removal costs shall be a municipal lien upon the Property from the date incurred by the Township.
- 5. <u>DESTRUCTION, ABANDONMENT AND REMOVAL</u>. In the event of the destruction or removal of the Improvements, or if it shall fall into disrepair or its use be abandoned, the Property Owners shall apply for permission to reconstruct or repair the Improvements under the then-existing regulations, which the Township may grant or deny in its sole discretion, without appeal or other recourse.
- and agree that, in granting this License, the Township specifically reserves all rights in, and that the Township has and shall continue at all times hereafter to retain the unfettered right in its sole discretion to exclude any and all structures from within the Township Property, including the Improvements. The Property Owners further acknowledge that this Agreement does not confer, and the Property Owners shall never have or claim any prescriptive, contractual or other legal right of encroachment into the Township Property, any right of possession to any portion of the Township Property, including any claim of adverse possession, or any rights to maintain or reconstruct the Improvements or any other structure therein based on nonconforming or "grandfathered" use of the structure.
- 7. INDEMNIFICATION AND RELEASE. The Property Owners agree to release, indemnify, defend and hold harmless the Township from any and all causes of action, damages, losses, liens, liabilities costs, expenses or claims arising out of the construction of the Improvements over, upon and across the Township Property and the resulting encroachment thereon or the removal therefrom. Any costs incurred or relating to the Improvements, including but not limited to removal costs, shall be borne by the Property Owners, at no cost to the Township. The Property Owners waive and release all rights, causes of action or claims against the Township, and shall hold the Township harmless against any claims based on the construction of the Improvements over, upon and across the Township Property, or arising out of or relating to its destruction, damage, or removal by the Township.

- 8. **PERPETUAL OBLIGATION**. This Agreement shall be binding upon all owners, successors, and assigns taking title to the Property after the execution of this Agreement, and this Agreement shall run in perpetuity with the Property.
- 9. **RECORDING.** This Agreement shall be recorded in the public records of Montgomery County, Pennsylvania, by the Township at the Property Owners' sole expense.
- 10. **BREACH**. In the event that the Property Owners breach this Agreement, the Township shall have the following remedies.
 - (a) All remedies provided by Pennsylvania law.
 - (b) Money damages for any and all damages caused by the breach.
 - (c) Injunctive relief.
 - (d) Attorney's fees incurred by the Township or its agents as a result of the breach; and
 - (e) Litigation expenses and court costs incurred by Township as a result of the breach.
- 11. **RISK OF LOSS.** The Property Owners understand and agree that the Township is not responsible for any damage to the Improvements, and the Township shall have no liability for such an event.
- 12. <u>AMENDMENT AND WAIVER.</u> The Parties may, by mutual written agreement, amend this Agreement in any respect. Any agreement on the part of any Party for any such amendment must be in writing. No waiver of any of the provisions of this Agreement shall be deemed, or shall constitute, a waiver of any other provisions, whether or not similar, nor shall any waiver constitute a continuing waiver.
- 13. **GOVERNING LAW.** This Agreement shall be governed by and construed in accord with the laws of the Commonwealth of Pennsylvania.
- 14. **COUNTERPARTS**. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, but all of which shall constitute one and the same instrument.
- 15. **IMMUNITY**. The Parties acknowledge and agree that, in executing and performing this Agreement, the Township has not waived, nor shall be deemed to have waived, any defense or immunity, including governmental, sovereign and official immunity, which would otherwise be available to it against claims arising in the exercise of governmental powers and functions. By entering into this Agreement, the Parties do not create any obligations, express or implied, other than those set forth herein.

16. **INSURANCE**. The Property Owners shall possess and maintain at all times, general homeowner's liability insurance to protect the Township from any liability, claims, damages, losses or expenses arising from or out of or in any way connected with construction, operation or maintenance of the Improvements, and such insurance shall name the Township as an additional insured.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed on the date first set forth above.

ATTEST:	TOWNSHIP: LOWER GWYNEDD TOWNSHIP BOARD OF SUPERVISORS
	By:
MIMI GLEASON, TOWNSHIP MANAGER	DANIELLE A. DUCKETT, CHAIRPERSON

PROPERTY OWNERS:

SCOTT N. SLOBOTKIN

TRACEY I. SLOBOTKIN

ACKNOWLEDGEMENT

: SS

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF MONTGOMERY

On this, the day of NOVEMBEY, 202_4, to officer, personally appeared DANIELLE A. DUCKETT, who acknow Chairperson of the Board of Supervisors of Lower Gwynedd Town Chairperson, being authorized to do so, executed the foregoing instrum contained by signing the name of the Township by herself as such officers.	whedged herself to be the aship, and that she as such nent for the purposes therein
IN WITNESS WHEREOF, I have hereunto set my hand and offic	ial seal.
Notary Public	
My Commission F	Expires:

INDIVIDUAL ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA	:
	: SS
COUNTY OF MONTCOMEDY	2000

On this, the 20 day of 2024, before me, the undersigned officer, a Notary Public, personally appeared SCOTT N. SLOBOTKIN AND TRACEY I. SLOBOTKIN known to be or satisfactorily proven to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same for the purposes therein contained.

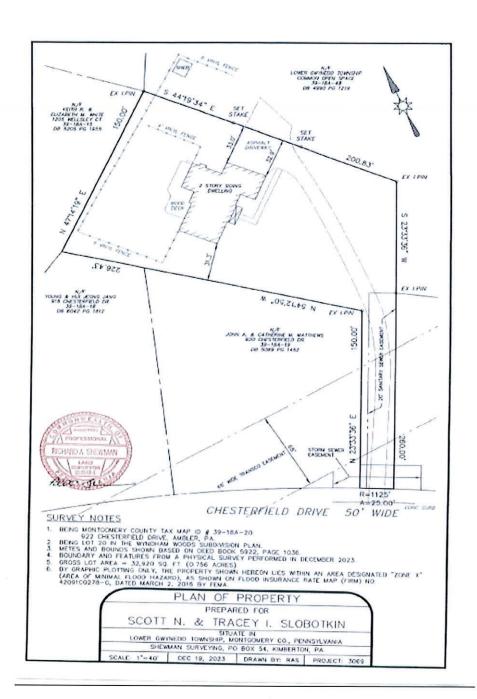
IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public
My Commission Expires: 04111128

Commonwealth of Pennsylvania - Notary Seal Reece Dobson, Notary Public Montgomery County My commission expires April 11, 2028 Commission number 1445689



EXHIBIT "1"



Memo

To: Board of Supervisors

From: Mimi Gleason, Township Manager

Date: November 21, 2024

Re: Proposed Right to Know Policy



Recommended Motion: To approve the Right to Know Policy

Lower Gwynedd Township is subject to the <u>PA Right to Know Law</u>. A recent Final Determination issued by the PA Office of Open Records prompted the PA State Association of Township Supervisors (PSATS) to circulate a sample Right to Know (RTK) policy. The Township does not have a specific RTK policy. Instead, we follow the PA Office of Open Records procedures and use the Officer of Open Records request form. Information about <u>how to submit a RTK request</u> is on the Township's website. We charge \$0.25/page for hard copies provided, although most requests are satisfied electronically with no charge.

The attached Right to Know policy is based on PSATS's recently updated sample policy. The main reasons for adopting it is to make clear that:

- all requests must be submitted in writing on the designated form and
- anonymous or verbal Right to Know requests are prohibited.

To be clear, most RTK requests are not anonymous and under the policy, staff would provide applicable public records that are requested. However, like most municipalities, Lower Gwynedd has received anonymous requests that appear to be generated through automated systems using self-created forms. Under the Right to Know Law, the Township is not required to respond to anonymous or verbal requests; however, this practice should be set forth in a written policy. Staff is requesting that the Board of Supervisors approve the proposed policy, which has been reviewed by the Solicitor.

The Final Determination issued by the PA Office of Open Records is attached, along with the proposed Township Right to Know policy.

Lower Gwynedd Township

Right to Know Policy





Right to Know Law

Lower Gwynedd Township complies with the requirements of Pennsylvania Act 3 of 2008, the Right to Know Law. This law ensures that public information and records pertaining to the Township government are open and available, serving as a resource for citizens, public officials, and members of the media.

Public records of the Township shall be available for inspection, retrieval, and duplication at the Township Building during normal business hours as posted on the Township website, with the exception of Township-designated holidays.

Open Records Officer

The Board of Supervisors designates an Open Records Officer for Administration and for Police at their Organization Meeting in January of each year. The names of the Open Records Officers and the form and procedures for submitting a Right to Know request are on the Township website.

Requests

Requests shall be made in writing to the Administration or Police Open Records Officer, as applicable, on the <u>Standard Right to Know Law Request Form</u> on the website. Requests submitted on the Pennsylvania Office of Open Records' Standard Right-to-Know Request Form will also be accepted. Anonymous or verbal requests will not be considered.

Act 22 of 2017 (specifically, Chapter 67A of the Act) established a new process for requesting audio and video recordings in the possession of law enforcement agencies in Pennsylvania. Act 22 applies to individuals seeking "any audio recording or video recording made by a law enforcement agency." The Right-to-Know Law does not apply to requests for these recordings. Once the completed Act 22 form is filed, the agency has 30 days to respond, although the requester and agency can agree to an extension.

Fees

Fees will be charged in accordance with the schedule in the fee resolution adopted by the Board of Supervisors and posted on the Township website. All fees must be paid before documents are released. Pre-payment before documents is released is required if the total fees are estimated to exceed \$100.

Response

The Open Records Officer shall make a good faith effort to provide the requested public record(s) as promptly as possible and within the Right to Know Law's five-business-day timeframe. If the public records cannot be provided within five business days, the Open Records Officer is permitted to exercise a 30-day extension upon notifying the requester, in accordance with the Right to Know Law. The Open Records Officer shall cooperate with those requesting records to review and/or duplicate original documents while taking reasonable measures to protect original documents from the possibility of theft, damage, and/or modification.

If the Right to Know request is denied, the Open Records Officer will send the requester a letter stating:

- 1) a description of the record requested,
- 2) the specific reasons for the denial, including a citation of supporting legal authority,
- 3) contact information for the Open Records Officer,
- 4) the date of the response, and
- 5) the procedure to appeal the denial.

Contact Information for Appeals

If a written request is denied, the requester has the right to file an appeal in writing to Executive Director, Office of Open Records, 333 Market St., 16th Floor, Harrisburg, PA 17101. Appeals of criminal records shall be made to the District Attorney of Montgomery County at the Montgomery County Courthouse, P.O. Box 311, Norristown, PA 19404.

Appeals Process

Appeals must be filed within 15 business days of the mailing date of the Township's response. The law requires an appeal to include reasons why the record is a public record and to address the reasons for denial that the Township stated in its denial letter. Information on filing an appeal is on the PA Office of Open Records' website at www.openrecords.pa.gov.



FINAL DETERMINATION

IN THE MATTER OF :

FRANK CURRY and FOIABUDDY,

Requester

v. : Docket No.: AP 2024-1311

SOUTH WESTERN SCHOOL DISTRICT, :

Respondent :

FACTUAL BACKGROUND

On May 14, 2024, Frank Curry and FOIABuddy (collectively "Requester") submitted ten requests ("Requests") to South Western School District ("District") pursuant to the Right-to-Know Law ("RTKL"), 65 P.S. §§ 67.101 *et seq.*, seeking records related to IT operations, contracts, staff, and IT budgets.

On May 20, 2024, the District denied the Requests, notifying the Requester that they had been unable to confirm that he was a qualified requester under the RTKL, and that his requests would be denied as anonymous unless and until he provided the District with evidence that he is a qualified requester.

On May 21, 2024, the Requester filed an appeal with the OOR, stating only that the District had wrongly denied his Requests and seeking a finding of bad faith. The OOR invited both parties to supplement the record and directed the District to notify any third parties of their ability to participate in this appeal. 65 P.S. § 67.1101(c).

On June 6, 2024, the District submitted a position statement explaining that none of the information provided by the Request or on appeal could confirm that the Requester was a qualified requester under the RTKL. The District additionally submitted exhibits demonstrating how FOIABuddy's system worked and could produce an anonymous or de-anonymized request, arguing that the information in the Requests and on appeal are consistent with FOIABuddy's anonymous requests. In support of this argument, the District submitted the verification of its solicitor, Christopher Harris, who explains how the FOIABuddy system works and attested that the District has printed policies on its website banning anonymous requests.

LEGAL ANALYSIS

The District is a local agency subject to the RTKL. 65 P.S. § 67.302. Records in the possession of a local agency are presumed to be public, unless exempt under the RTKL or other law or protected by a privilege, judicial order or decree. *See* 65 P.S. § 67.305. As an agency subject to the RTKL, the District is required to demonstrate, "by a preponderance of the evidence," that records are exempt from public access. 65 P.S. § 67.708(a)(1). Preponderance of the evidence has been defined as "such proof as leads the fact-finder ... to find that the existence of a contested fact is more probable than its nonexistence." *Pa. State Troopers Ass'n v. Scolforo*, 18 A.3d 435, 439 (Pa. Commw. Ct. 2011) (quoting *Pa. Dep't of Transp. v. Agric. Lands Condemnation Approval Bd.*, 5 A.3d 821, 827 (Pa. Commw. Ct. 2010)).

1. The District was permitted to deny the Request as anonymous

On appeal, the District argues that the Requester is anonymous, and therefore it has no duty to fulfill the Request. Section 702 of the RTKL provides that:

Agencies may fulfill verbal, written or anonymous verbal or written requests for access to records under this act. If the requester wishes to pursue the relief and remedies provided for in this act, the request for access to records must be a written request.

65 P.S. § 67.702. The OOR interprets this section as affording agencies the discretion to fulfill or ignore anonymous requests. A "requester" is defined by the RTKL as "[a] person that is a legal resident of the United States...." *See* 65 P.S. § 67.102. Thus, under the RTKL, a requester must both be a "person" and "a legal resident of the United States." While not defined by the RTKL, the Statutory Construction Act of 1972 ("SCA") defines the term "person" to "[i]nclude[] a corporation, partnership, limited liability company, business trust, other association, government entity (other than the Commonwealth), estate, trust, foundation or natural person." 1 Pa.C.S. § 1991. Finally, Section 703 of the RTKL requires that all written requests under the RTKL "shall include the name and address to which the agency should address its response." 65 P.S. § 703.

Here, the District argues that it cannot determine whether the Requester is, in fact, "Frank Curry", a resident of the United States or his contact information because the Requester has used FOIABuddy's anonymous request function. In support of this argument, the District submitted the attestation of Attorney Harris, who attests that:

- 3. After reviewing the Requests, it was determined that "Frank Curry" was an anonymous requester and therefore the District denied the requests.
- 4. I signed up for an account on the FOIA Buddy website using a personal Gmail account.
- 5. Upon signing up, I received one (1) free credit whereby I could submit one (1) personal request to any agency in the United States.
- 6. I elected to submit a request to the District.
- 7. Exhibit A of the Position Statement reflects the blank form used.
- 8. Exhibit A of the Position Statement provides the form used that I completed and submitted to the District.
- 9. Exhibit A of the Position Statement also contains an accurate "pop-up" of when I clicked "yes" to the question of anonymity.

- 10. I submitted the personal request to the District in order to show that personal requests contain more information than "Frank Curry," the Ashland, PA P.O. Box address, the FOIA Buddy phone number, and the FOIA Buddy email address.
- 11. The redacted portions of the form contain a personal address, personal phone number, and personal email address.
- 12. I called the "833-527-8748" number to verify "Frank Curry" was a person and was unable to do so.
- 13. I was unable to create a "@foiabuddy.com" email account when I signed up on the website.
- 14. It is still my belief that "Frank Curry" is synonymous with "John Doe" or "anonymous."

Under the RTKL, statements made under penalty of 18 Pa.C.S. § 4904 may serve as sufficient evidentiary support. *See Sherry v. Radnor Twp. Sch. Dist.*, 20 A.3d 515, 520- 21 (Pa. Commw. Ct. 2011); *Moore v. Office of Open Records*, 992 A.2d 907, 909 (Pa. Commw. Ct. 2010). In the absence of any evidence that the District has acted in bad faith, the District's evidence "should be accepted as true." *McGowan v. Pa. Dep't of Envtl. Prot.*, 103 A.3d 374, 382-83 (Pa. Commw. Ct. 2014) (citing *Office of the Governor v. Scolforo*, 65 A.3d 1095, 1103 (Pa. Commw. Ct. 2013)).

The District has adopted a policy of fulfilling only RTKL requests made by a legal resident of the United States, and its website notifies requesters that anonymous requests will not be fulfilled. In this case, the District argues that the instant Requests and appeal filings bear the hallmarks of filings which have been made through FOIABuddy's "anonymous request" functionality. To demonstrate this, the District created a FOIABuddy account and submitted screenshots of the process of submitting a RTKL request, highlighting the option to use a proxy function which is "is designed to conceal your identity by using [FOIA Buddy's] to submit requests on your behalf" and warns users of other states that use of the proxy system may see their requests

rejected because FOIABuddy has a listed Pennsylvania residency. District's Exhibit A. Additionally, the District notes that the listed phone number simply results in an automated message from FOIABuddy itself, stating that no questions regarding FOIA requests would be returned. It appears, therefore, that none of the contact information presented is that of a regular user of FOIABuddy, but instead simply information generated by the FOIABuddy system itself.

In contrast, the District used FOIABuddy to file an example non-private request with itself, and the FOIABuddy system sent the District a RTKL request containing all of the contact and personal information which the District had entered. As a result, the District's evidence suggests that the Requests in this matter are, in fact, anonymous requests using FOIABuddy's system, which advertises itself as sending RTKL requests out under a proxy identity. Because the District has submitted evidence tending to show that the Requests are anonymous requests, it has met its burden of proof that the Requests are anonymous and it was not required to respond to them. 65 P.S. § 67.708(a)(1); Del. County v. Schaefer ex rel. Phila. Inquirer, 45 A.3d 1149 (Pa. Cmmw. Ct. 2012) (explaining that the evidentiary standard is "tantamount to a more likely than not inquiry.")

2. There is no evidence of bad faith

The Requester asks, in addition, that the OOR make a finding of bad faith, arguing that the District's failure to provide the responsive records constitutes bad faith.² Under the RTKL, a finding of bad faith may be appropriate where an agency refuses to comply with its statutory duties under the RTKL. Uniontown Newspapers, Inc. v. Pa. Dep't of Corr., 185 A.3d 1161, 1172 (Pa.

¹ Additionally, on May 22, 2024, when granting the District's request for an extension, the OOR highlighted the argument that the Requester was anonymous and asked the parties to brief it by June 6, 2024. However, the Requester has not participated on appeal, nor argued that any of the District's position or evidence is inaccurate. ² Although the OOR may make a finding of bad faith, only a court may impose related penalties. Specifically, Section

¹³⁰⁴⁽a) of the RTKL states that a court "may award reasonable attorney fees and costs of litigation...if the court finds...the agency receiving the ...request willfully or with wanton disregard deprived the requester of access to a public record...or otherwise acted in bad faith..." 65 P.S. § 67.1304(a). Similarly, Section 1305(a) authorizes a court to "impose a civil penalty of not more than \$ 1,500 if an agency denied access to a public record in bad faith." 65 P.S. § 67.1305.

Commw. Ct. 2018), aff'd, 243 A.3d 19 (Pa. 2020); see also Office of the Dist. Atty. of Phila. v. Bagwell, 155 A.3d 1119, 1140-41 (Pa. Commw. Ct. 2017) ("An example of bad faith is a local agency's failure to comply with the mandate of Section 901 of the RTKL, which requires that a local agency make a good faith search for information responsive to a request and determination of whether that information is public."). Bad faith involves failing to perform a detailed search and review of records to ascertain if the requested material exists or if any exclusion applies prior to denial of access. See Uniontown, 185 A.3d at 1172.

The OOR has made a finding of bad faith where an agency fails to provide evidence that it conducted a good-faith search, repeatedly ignored deadlines set by the OOR and the by RTKL and declined to address the OOR's requests for clarification. *See Towne v. Pittsburgh Water and Sewer Auth.*, OOR Dkt. AP 2021-0292, 2021 PA O.O.R.D. LEXIS 307. The OOR has also found that an agency acted in bad faith where it demonstrated a pattern of invoking extensions but failing to respond to requests or participate in the appeals. *See Hayden v. City of Reading*, OOR Dkt. AP 2018-0244, 2018 PA O.O.R.D. LEXIS 402.

Here, the OOR concludes that the Requests were anonymous requests which the District was not required to respond to under the RTKL. Because the District promptly notified the Requester of this issue, it does not appear that the District has acted in bad faith, nor have the District's tactics on appeal delayed the resolution of the Requests in any way. Therefore, the OOR cannot conclude that the District has acted in bad faith in responding to the Requests.

CONCLUSION

For the foregoing reasons, the Requester's appeal is **denied**, and the District is not required to take any further action. This Final Determination is binding on all parties. Within thirty days of the mailing date of this Final Determination, any party may appeal to the York County Court of

Common Pleas. 65 P.S. § 67.1302(a). All parties must be served with notice of the appeal. The

OOR also shall be served notice and have an opportunity to respond as per Section 1303 of the

RTKL, 65 P.S. § 67.1303, but as the quasi-judicial tribunal that adjudicated this matter, the OOR

is not a proper party to any appeal and should not be named as a party.³ All documents or

communications following the issuance of this Final Determination shall be sent to oor-

postfd@pa.gov. This Final Determination shall be placed on the website at:

http://openrecords.pa.gov.

FINAL DETERMINATION ISSUED AND MAILED: June 20, 2024

/s/ Jordan Davis

SENIOR APPEALS OFFICER JORDAN C. DAVIS

Sent via OOR portal to:

Frank Curry; Jeff Mummert;

Christopher Harris, Esq.

³ Padgett v. Pa. State Police, 73 A.3d 644, 648 n.5 (Pa. Commw. Ct. 2013).



GILMORE & ASSOCIATES, INC.

ENGINEERING & CONSULTING SERVICES

Lower Gwynedd Township November 2024 Engineer's Report

	PROJECT	WORK PERFORMED LAST PERIOD (October 22 nd to November 26 th)		WORK TO BE PERFORMED THIS PERIOD (November 26 th to December 24 ^{th)}		
GENE	RAL TOWNSHIP PROJECTS		_			
1.	NPDES – MS4 Reporting	No work completed this period.	•	Monitor permit status and perform work as necessary.		
2.	Misc. Consulting Services	 Present woodlands evaluations to the P&R board and discuss tree removal / invasive species budgeting with Township Staff. Coordination on sidewalk / trail existing connections and community nodes plan with Township Staff. Plan and Opinion of Probable Cost for 448 Marion Culvert Replacement. 	•	448 Marion Culvert is on 11/26 BOS for discussion. Revise sidewalk / trail existing connection plan per staff comments and give to P&R Board to review ahead of their January 2025 meeting.		
3.	Old Bethlehem Pike Bridge Replacement / Streambank Stabilization	Project is out to bid and will be opened first week in December.	•	Anticipate evaluation of bids and potential award at 12/10 BOS meeting.		
4.	Road Repaving Program	 Paving is complete for 2024. Final project payments and closeout documents to liquid fuels. 	•	Monitor project and perform work as necessary.		
5.	Park Master Plans (Ingersoll, Pen- Ambler, Oxford) DCED Grant.	 Continue design work for next phase of improvements for Ingersoll Park. Revised OPC for LSA grant application to fund remainder of Oxford Park – Phase 1 project. Portion of phase 1 is funded by recently received DCED C2P2 Grant (\$250,000). 	•	Working towards having a proposal and layout design from M&W Precast to be presented to BOS at the 12/10 meeting for Concession/Restroom/Press Box building at Ingersoll Park.		
PRIVA	TE DEVELOPMENT PROJECTS					
1.	Saint Charles Seminary	Punch list construction observation.	•	Monitor project status and perform work as needed.		

PROJECT	WORK PERFORMED LAST PERIOD (October 22 nd to November 26 th)	WORK TO BE PERFORMED THIS PERIOD (November 26 th to December 24 th)
2. Precision Watches	No work performed this period.	Monitor project status and perform work as needed.
3. Hunt Seat Drive	Construction observation.	Monitor project status and perform work as needed.
4. Goddard School	No work performed this period.	Monitor project status and perform work as needed.
5. Gwynedd Mercy Academy High School	Construction observation.Working towards CO for the project.	Monitor project status and perform work as needed.
6. GMU – Healthcare Innovation Campus	Construction observation and administration.	 Construction observation. Monitor project status and perform work as necessary.
7. SHIP Building 14 Parking & Substation Land Development	Construction observation.	Monitor project status and perform work as necessary.
8. 776 Johns Lane (Hughes Subdivision)	Construction observation.	Monitor project status and perform work as needed.
9. ACTS (Gwynedd Estates)	Conditional Use plan for storm pipe encroachment into the wetland buffer recommended by PC 10/16.	CU and amended final plan will need to be heard by BOS on 11/26.
10. ACTS (Spring House Estates)	No work performed this period.	Monitor project status and perform work as needed.



LOWER GWYNEDD TOWNSHIP PROJECT STATUS REPORT November 2024

Spring House Intersection Project – Phase 2

- Traffic signal modifications to revise the phasing for left-turn movements on northbound Bethlehem Pike and westbound Norristown Road has been completed.
- 30-day test period for the traffic signal ended on 9/27/2024. PennDOT issued the final acceptance letter on 10/8/2024.
- Remaining utility poles within the project limits have been removed.
- PennDOT permit was closed out on 10/16/2024.
- Montgomery County permit was closed out on 10/22/2024.
- Final payment application sent to contractor on 11/13/2024.
- Final contract total including all change orders \$54,834.15 less than original project bid.
- Montgomery County reached out to Bowman on 11/20/2024 for additional remediation on areas showing ponding; Bowman is currently coordinating with contractor to address.
- Bowman coordinating with PennDOT to close out the grant.

BETHLEHEM PIKE AND DAGER ROAD TRAFFIC SIGNAL POLE REPLACEMENTS

- Replace two (2) traffic signal poles at the intersection based on recent traffic signal maintenance inspection report.
- Project has been awarded to Armour & Sons for the construction work. Notification of award sent to the contractor on 10/9/2024.
- Construction anticipated for Spring 2025.

WELSH ROAD TRAFFIC SIGNAL UPGRADES

- Traffic signal upgrades for the intersections with Evans Road and Darden Drive/Gwynedd Crossing.
- Township awarded GLG grant of \$324,640 with 20% local match requirement of \$81,160.
- Township authorized Bowman for design/permitting/construction services on 10/8/2024.
- Estimated schedule for design/permitting/bidding = 9 12 months, heavily dependent on PennDOT review times.
- 1st PennDOT submission made on 11/13/2024.

SIDEWALK AND TRAIL PLAN

- Compiled preliminary inventory of existing trail crossings of roads in the township.
- Meeting scheduled with Parks and Recreation Committee for January 2025.

PENLLYN PIKE AND TREWELLYN AVENUE/OLD PENLLYN PIKE TRAFFIC SIGNAL UPGRADES

- Traffic signal modernization improvement project.
- Township awarded DCED LSA grant of \$451,312 with local match of \$112,828.
- Township waiting for DCED to provide grant agreement to execute and begin work.



1130 N. BETHLEHEM PIKE P.O. BOX 625 • SPRING HOUSE, PA 19477-0625 • 215-646-5302 • FAX 215-646-3357

www.lowergwynedd.org

Finance Memorandum

Date:

November 21, 2024

To:

Mimi Gleason, Township Manager

From: Melinda Haldeman, CPA Finance Director

October 2024 LGT Financial Packet: RE:

Revenue and Expense Graphs as of October 31, 2024

Fund Balances as of October 31, 2024

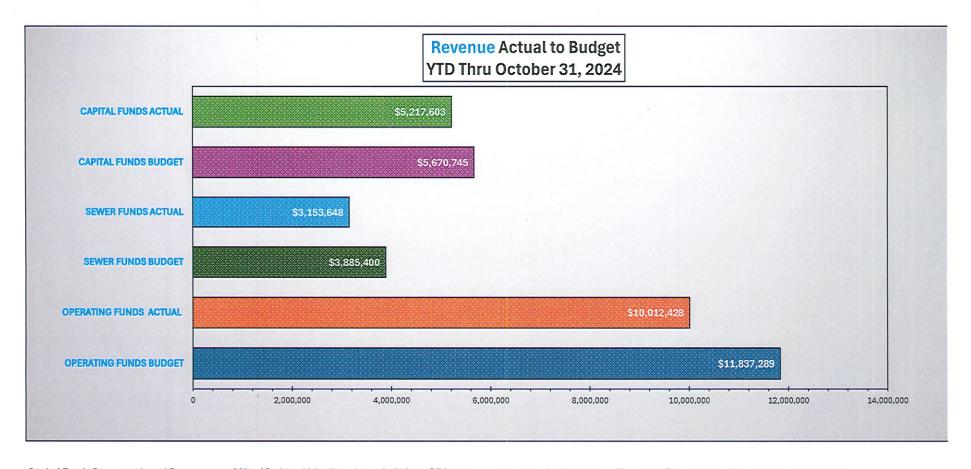
Summary of Cash and Investments as of October 31, 2024

YTD Budget Report with Prior Years Actuals thru October 31, 2024

The following are items I wish to bring to your attention:

- I have added a Revenue and an Expense Graph comparing Actual through October 31, 2024, to Annual Budget. I have grouped the funds as I did in the Budget presentation: Operating Funds, Sewer Funds, and Capital Funds. Notes at the bottom of each graph will explain anomalies if any.
- I have added a Summary of Cash and Investments report to the monthly financial packet. This report shows the Cash Balances by Fund as of October 31, 2024, and shows the amount of deposits per Banking Institution and the Balances compared to the Reserves per Fund Balance Policy.
- All cash account reconciliations are current through October 31, 2024
- All ARPA monies must be obligated by December 31, 2024, and paid out as of December 31, 2026. The current amount left to spend as of October 31, 2024, is \$8,734.90.

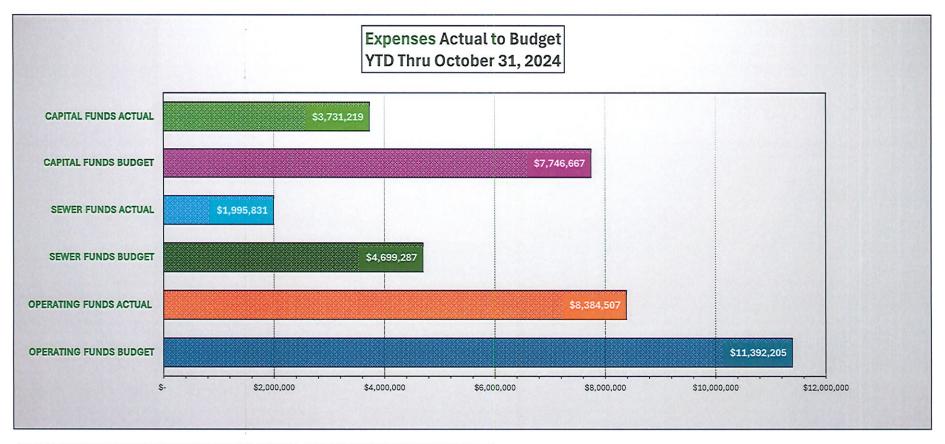
REVENUE AND EXPENSE GRAPHS: CAPITAL FUNDS SEWER FUNDS OPERATING FUNDS



Capital Funds Revenue: Actual Revenues are 92% of Budget. Unbudgeted transfer in from GF for prior year reserves of 1.2M increased Revenue. Sale of Ingersol House was not Budgeted.

Sewer Funds Revenue: Actual Revenues are 81% of Budget. 4th Qtr sewer bill revenue was booked in October.

Operating Funds Revenue: Actual Revenue is 84% of Budget and we are on target.



Capital Funds Expenses: Actual Expenditures are 48% of Budget. Timing of budgeted projects moved forward.

Sewer Funds Expenses: Actual Expenditures are 42% of Budget. Ambler Capital Project was Budgeted 1M, of which only 95k was invoiced to us by Ambler. Last Qtr Bill for Treatment has not been received.

Operating Funds Expenses: Actual Expenses are 75% of Budget and are on target. In December we have Budgeted Transfers and accruals

FUND BALANCE AND SUMMARY OF CASH AND INVESTMENTS

Lower Gwynedd Township Fund and Cash Balances as of October 31, 2024

FUND#	<u>FUND</u>	FUND BALANCE @ 01/01/2024 FINAL	(INCREASE)DECREASE THRU 10/31/2024	FUND BALANCE @ 10/31/2024
01	GENERAL	-8,012,322.99	-1,418,544.80	-9,430,867.79
02	STREET LIGHT	-29,226.63	-11,471.21	-40,697.84
03	FIRE PROTECTION	-61,793.14	-206,711.76	-268,504.90
04	FIRE HYDRANT	-59,525.99	3,772.91	-55,753.08
05	RECREATION	23,901.46	5,033.91	28,935.37
	GENERAL OPERATING FUNDS SURPLUS	-8,138,967.29	-1,627,920.95	-9,766,888.24
08	SEWER OP	-5,763,141.16 -4,371,454.29	-976,666.90 -181,150.17	-6,739,808.06 -4,552,604.46
03	SEWER FUNDS SURPLUS	-10,134,595.45	-1,157,817.07	-11,292,412.52
	8			
16	ACQ OPEN SPACE	-2,250,870.84	-102,682.48	-2,353,553.32
30	CAPITAL RESERVE	-4,214,533.23	-2,125,803.27	-6,340,336.50
31	STORMWATER MNGMNT	-795,605.31	10,485.07	-785,120.24
33	TRAFFIC IMPACT	-1,819,129.36	792,947.22	-1,026,182.14
35	HIGHWAY AID	-400,571.72	-61,331.34	-461,903.06
	CAPITAL FUNDS	-9,480,710.46	-1,486,384.80	-10,967,095.26

YTD SURPLI	JS ALL FUNDS:	-4,272,122.82

NEGATIVE BALANCES ARE DEPICTED IN RED

FUND BALANCE: THE FUND BALANCE IS THE CULMINATION OF INCOME NETTED AGAINST EXPENSES FROM THE INCEPTION OF THE FUND. WHEN (REVENUE) EXCEEDS EXPENSES, THE FUND BALANCE WILL BE A (CREDIT).

Summary of Cash and Investments 10/31/2024

10/31/2024

		10/51/2024	20
FUND#		Cash Balance	
01	GENERAL	9,546,534.36	
02	STREET LIGHT	42,029.76	
03	FIRE PROTECTION	293,748.65	
04	FIRE HYDRANT	67,679.94	
05	RECREATION	61,849.30	
	GENERAL OPERATING FUNDS CASH	\$ 10,011,842.01	1
	9		
08	SEWER OP	3,489,576.81	
09	SEWER CAPITAL	4,561,993.00	
	SEWER FUNDS CASH	\$ 8,051,569.81	
16	ACQ OPEN SPACE	2,353,553.32	
30	CAPITAL RESERVE	5,150,146.71	Includes ARPA
31	STORMWATER MNGMNT	835,250.05	
33	TRAFFIC IMPACT	1,504,213.42	1
35	HIGHWAY AID	461,903.06	1
	CAPITAL FUNDS CASH	\$ 10,305,066.56	1
	Total Cash	\$ 28,368,478.38	

	Banking Institution	0/31/2024 ash Balance
PLIGIT		24,640,377.42
TRUIST		3,667,313.76
CITADEL		 60,787.20
		\$ 28,368,478.38

Reserves per Fund Balance Policy	Reserves Per Policy 2024	10/31/2024 Cash Balance
General Fund Reserves	2,573,045.00	9,546,534.36
Sewer Fund Reserves	1,296,890.00	3,489,576.81
Sewer Capital Reserves	1,000,000.00	4,561,993.00

YTD BUDGET REPORT WITH ACTUALS 2021/2022/2023/2024



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

PAGE 1 glactrpt ANNUAL 2024 BUDGET CY REV

ACCOUNTS FOR: 01 GENERAL FUND	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
	2021	2022	2023	2024	
REVENUE 301 REAL ESTATE TAXES 310 LOCAL TAX ACT 511 321 BUSINESS LICENSES & PRMTS 331 FINES 341 INTEREST EARNINGS 342 RENTS & ROYALTIES 354 ST. CAPITAL & OP. GRANTS 355 STATE SHARED REV & ENTLMT 368 LOCAL GOVT ENTITLEMENT 361 PERMITS/DEVELOPMENT 362 PUBLIC SAFETY 363 HGHWYS & STS 380 MISCELLANEOUS REVENUE 387 DIVIDENDS/MISC REV 392 INTERFUND OPERATING TRANS EXPENSES 401 EXECUTIVE 402 FINANCIAL ADMIN 403 TAX COLLECTION 409 BUILDNGS & PLANT 410 POLICE 411 FIRE 412 AMBULANCE 414 PLANING & ZONING 430 PW-HIGHWAY RDS STS 487 EMPLOYEE BENEFITS 492 INTERFUND OPERATING TRANS TOTAL GENERAL FUND TOTAL REVENUES TOTAL EXPENSES	-967,204.45 -5,126,705.30 -202,717.04 -8,888.13 -5,974.13 -176,587.70 -00 -373,009.82 -20,219.76 -545,674.82 -153,817.67 -3,810.00 -2,594.27 -73,710.64 -00 592,170.27 214,362.74 78,371.20 180,520.44 2,791,018.88 109,891.47 33,896.00 510,950.33 677,559.06 649,644.05 765,000.00 -1,057,529.29 -7,660,913.73 6,603,384.44	-1,046,731.67 -6,363,160.56 -204,600.87 -6,029.33 -46,831.22 -181,885.31 -00 -426,781.19 -24,290.85 -499,765.36 -164,146.18 -3,900.00 -1,860.72 -25,097.14 -4,164.00 478,508.94 195,916.39 88,148.72 201,020.02 3,046,701.50 -00 457,686.42 586,020.87 298,830.87 1,790,000.00 -1,856,410.67 -8,999,244.40 7,142,833.73	-1,071,102.20 -6,206,476.97 -201,497.45 -8,078.90 -246,079.06 -186,721.39 -753.10 -484,911.20 -506,264.89 -171,198.48 -3,990.00 -1,681.03 -16,441.00 -692,827.79 335,844.82 89,175.71 201,211.23 3,402,790.62 134,431.76 30,000.00 482,082.84 659,610.40 357,940.98 600,000.00 -2,119,279.52 -9,105,195.67 6,985,916.15	-1,070,785.11 -6,161,297.81 -193,194.39 -9,888.63 -334,156.38 -189,976.70 -2,081.68 -524,938.38 -17,705.38 -451,204.70 -182,370.49 -4,080.00 -1,217.36 .00 .850,715.25 258,132.23 91,038.84 234,071.64 3,481,411.33 137,086.34 30,000.00 587,270.38 628,728.29 43,083.87 1,382,814.04 -1,418,544.80 -9,142,897.01 7,724,352.21	-1,075,000.00 -7,435,000.00 -257,200.00 -211,500.00 -330,000.00 -281,529.00 -2,500.00 -486,117.00 -19,000.00 -583,500.00 -190,973.00 -4,080.00 -5,000.00 -30,000.00 -30,000.00 -10,394.00 960,619.00 415,092.00 112,310.00 289,044.00 4,674,355.96 137,473.00 30,000.00 4,674,355.96 137,473.00 30,000.00 4,674,355.96 137,473.00 30,000.00 4,674,355.96 137,473.00 30,000.00 49,964.00 924,165.00 584,158.00 1,345,000.00 -429,612.04
TOTAL 01 GENERAL FUND	-1,057,529.29	-1,856,410.67	-2,119,279.52	-1,418,544.80	-429,612.04



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

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ACCOUNTS FOR: 02 STREET LIGHT FUND	PRIOR YR3	PRIOR YR2	LAST YR	CURRENT YR	CY REV
	ACTUALS	ACTUALS	ACTUALS	ACTUALS	BUDGET
				METAL STATE OF THE	Committee Control of the
301 REAL ESTATE TAXES 341 INTEREST EARNINGS 434 PW -STREET LGHTNG	-15,801.91	-16,567.98	-18,220.74	-16,467.69	-19,000.00
	-13.57	-224.65	-1,026.77	-1,419.95	-1,100.00
	7,420.89	11,252.45	8,970.28	6,416.43	13,935.00
TOTAL STREET LIGHT FUND	-8,394.59	-5,540.18	-10,277.23	-11,471.21	-6,165.00
TOTAL REVENUES TOTAL EXPENSES TOTAL 02 STREET LIGHT FUND	-15,815.48	-16,792.63	-19,247.51	-17,887.64	-20,100.00
	7,420.89	11,252.45	8,970.28	6,416.43	13,935.00
	-8,394.59	-5,540.18	-10,277.23	-11,471.21	-6,165.00



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

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ACCOUNTS FOR: 03 FIRE PROTECTION FUND	PRIOR YR3	PRIOR YR2	LAST YR	CURRENT YR	CY REV
	ACTUALS	ACTUALS	ACTUALS	ACTUALS	BUDGET
301 REAL ESTATE TAXES 341 INTEREST EARNINGS 392 INTERFUND OPERATING TRANS 480 MISC EXPENDITURES 489 OTHER MISC EXP	-181,482.39	-196,096.80	-201,681.22	-201,888.95	-202,700.00
	-22.75	-1,232.69	-4,839.41	-3,704.84	-5,500.00
	-165,000.00	-165,000.00	.00	-165,000.00	-165,000.00
	171,247.03	184,663.46	.00	139,486.33	203,700.00
	124,509.28	145,550.00	141,121.00	24,395.70	165,000.00
TOTAL FIRE PROTECTION FUND	-50,748.83	-32,116.03	-65,399.63	-206,711.76	-4,500.00
TOTAL REVENUES TOTAL EXPENSES TOTAL 03 FIRE PROTECTION FUND	-346,505.14	-362,329.49	-206,520.63	-370,593.79	-373,200.00
	295,756.31	330,213.46	141,121.00	163,882.03	368,700.00
	-50,748.83	-32,116.03	-65,399.63	-206,711.76	-4,500.00



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

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ACCOUNTS FOR: 04 FIRE HYDRANT FUND	PRIOR YR3	PRIOR YR2	LAST YR	CURRENT YR	CY REV
	ACTUALS	ACTUALS	ACTUALS	ACTUALS	BUDGET
301 REAL ESTATE TAXES 341 INTEREST EARNINGS 411 FIRE	-37,172.14	-40,426.66	-39,794.08	-37,196.88	-41,650.00
	-19.87	-639.60	-2,599.04	-2,736.58	-3,100.00
	32,574.72	33,401.07	39,160.62	43,706.37	50,000.00
TOTAL FIRE HYDRANT FUND	-4,617.29	-7,665.19	-3,232.50	3,772.91	5,250.00
TOTAL REVENUES TOTAL EXPENSES TOTAL 04 FIRE HYDRANT FUND	-37,192.01	-41,066.26	-42,393.12	-39,933.46	-44,750.00
	32,574.72	33,401.07	39,160.62	43,706.37	50,000.00
	-4,617.29	-7,665.19	-3,232.50	3,772.91	5,250.00



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

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ACCOUNTS FOR: 05 RECREATION FUND	PRIOR YR3	PRIOR YR2	LAST YR	CURRENT YR	CY REV
	ACTUALS	ACTUALS	ACTUALS	ACTUALS	BUDGET
	A SECTION OF SECURITION AND SECURITION ASSESSMENT				
301 REAL ESTATE TAXES 341 INTEREST EARNINGS 361 PERMITS/DEVELOPMENT 367 RECREATION 392 INTERFUND OPERATING TRANS 437 PW REPR TOOL&MAC 451 CULTURE-RECREATION 452 PARTICIPANT RECREATION 453 RECREATION EVENTS 454 PARKS 486 INSURANCE 487 EMPLOYEE BENEFITS	-354,139.32	-392,587.09	-393,693.80	-398,570.42	-395,500.00
	-126.03	-1,972.06	-9,268.92	-778.73	-12,000.00
	-5,500.00	-6,152.50	-9,500.00	-16,252.00	-22,096.00
	-9,293.00	-17,972.00	-37,035.00	-25,516.00	-67,850.00
	.00	.00	.00	.00	-180,000.00
	5,395.66	12,251.24	9,181.64	7,956.28	11,000.00
	144,507.32	162,855.40	187,957.01	189,769.66	286,066.00
	.00	.00	7,030.41	.00	19,770.00
	8,737.33	14,853.74	15,379.62	19,935.51	22,500.00
	243,009.11	255,170.17	310,935.57	183,712.58	300,479.00
	12,045.92	4,222.36	13,510.12	29,535.84	17,603.00
	11,809.77	12,023.38	13,809.42	15,241.19	9,972.00
TOTAL RECREATION FUND	56,446.76	42,692.64	108,306.07	5,033.91	-10,056.00
TOTAL REVENUES TOTAL EXPENSES TOTAL 05 RECREATION FUND	-369,058.35	-418,683.65	-449,497.72	-441,117.15	-677,446.00
	425,505.11	461,376.29	557,803.79	446,151.06	667,390.00
	56,446.76	42,692.64	108,306.07	5,033.91	-10,056.00



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

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ACCOUNTS FOR: 08 SEWER FUND	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
	A A SECRETARIAN SECURIOR AND A SECUR	A BUILDING	Color Carlotte year		
341 INTEREST EARNINGS 361 PERMITS/DEVELOPMENT 364 SANITATION 383 SPECIAL ASSESSMENTS 392 INTERFUND OPERATING TRANS 401 EXECUTIVE 402 FINANCIAL ADMIN 408 ENGINEERING 409 BUILDNGS & PLANT 429 PW-WASTEWTR COLL 486 INSURANCE 487 EMPLOYEE BENEFITS 492 INTERFUND OPERATING TRANS	-723.81 .00 -2,714,339.25 -1,140.04 .00 13,507.03 18,478.63 8,583.23 60,534.00 900,267.91 8,242.96 95,396.88 600,000.00	-14,655.87 -186.66 -2,688,929.29 .00 .00 6,188.59 8,162.27 3,841.06 62,350.00 1,134,738.38 3,870.60 84,958.68 604,164.00	-59,919.56 -50.00 -2,724,434.04 -900.00 .00 -1,610.76 16,294.24 4,000.00 63,600.00 1,228,268.07 1,685.32 87,359.89	-20,926.18 .00 -2,831,714.40 .00 .00 .55.05 17,847.75 .00 63,600.00 1,621,080.59 3,299.90 69,990.39 100,000.00	-70,000.00 -100.00 -2,834,300.00 -1,000.00 -800,000.00 15,000.00 27,500.00 5,000.00 130,000.00 2,991,188.00 2,507.00 171,342.00 15,065.00
TOTAL SEWER FUND	-1,011,192.46	-795,498.24	-1,385,706.84	-976,666.90	-347,798.00
TOTAL REVENUES TOTAL EXPENSES TOTAL 08 SEWER FUND	-2,716,203.10 1,705,010.64 -1,011,192.46	-2,703,771.82 1,908,273.58 -795,498.24	-2,785,303.60 1,399,596.76 -1,385,706.84	-2,852,640.58 1,875,973.68 -976,666.90	-3,705,400.00 3,357,602.00 -347,798.00



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

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ACCOUNTS FOR: 09 SEWER CAPITAL RESERVE	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
		Max ex A value and		Laboration of the Albertain	1703 De2 7 v 274 and
341 INTEREST EARNINGS 392 INTERFUND OPERATING TRANS 409 BUILDNGS & PLANT 429 PW-WASTEWTR COLL 439 CONSTRUCTION & REBUILDING 492 INTERFUND OPERATING TRANS	-1,087.73 -600,000.00 5,378.50 35,802.00 18,963.67	-37,702.58 -600,000.00 -9,149.75 28,131.99 72,191.25	-159,826.03 .00 .00 35,781.00 73,473.98 .00	-201,008.18 -100,000.00 18,174.80 39,615.78 62,067.43	-180,000.00 .00 56,685.00 46,000.00 439,000.00 800,000.00
TOTAL SEWER CAPITAL RESERVE	-540,943.56	-528,229.59	-50,571.05	-181,150.17	1,161,685.00
TOTAL REVENUES TOTAL EXPENSES TOTAL 09 SEWER CAPITAL RESERVE	-601,087.73 60,144.17 -540,943.56	-637,702.58 109,472.99 -528,229.59	-159,826.03 109,254.98 -50,571.05	-301,008.18 119,858.01 -181,150.17	-180,000.00 1,341,685.00 1,161,685.00



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

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ACCOUNTS FOR: 16 ACQUISITION OF OPEN SPAC	PRIOR YR3	PRIOR YR2	LAST YR	CURRENT YR	CY REV
	ACTUALS	ACTUALS	ACTUALS	ACTUALS	BUDGET
					KI BUSHANG ASSA
341 INTEREST EARNINGS	-568.32	-20,422.35	-93,093.48	-102,682.48	-118,000.00
454 PARKS	600.00	25.00	4,462.98	.00	10,000.00
TOTAL ACQUISITION OF OPEN SPAC	31.68	-20,397.35	-88,630.50	-102,682.48	-108,000.00
TOTAL REVENUES TOTAL EXPENSES TOTAL 16 ACQUISITION OF OPEN SPAC	-568.32	-20,422.35	-93,093.48	-102,682.48	-118,000.00
	600.00	25.00	4,462.98	.00	10,000.00
	31.68	-20,397.35	-88,630.50	-102,682.48	-108,000.00



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

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ACCOUNTS FOR: CAPITAL RESERVE FUND	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
	THE PERSON NAMED IN	No Contact Contact		THE RESERVE THE STATE OF THE ST	
341 INTEREST EARNINGS 351 FEDERAL GRANTS 354 ST. CAPITAL & OP. GRANTS 391 FIXED ASSETS PROCEEDS 392 INTERFUND OPERATING TRANS 401 EXECUTIVE 407 DATA PROCESSING 409 BUILDNGS & PLANT 410 POLICE 430 PW-HIGHWAY RDS STS 439 CONSTRUCTION & REBUILDING 454 PARKS 492 INTERFUND OPERATING TRANS	-6,534.15 .00 .00 .00 -500,000.00 .00 .00 82,117.53 21,233.52 20,976.30 113,660.30 34,343.21	-48,892.74 -603,593.36 .00 -47,187.00 -725,000.00 .00 5,926.78 38,956.10 41,754.25 .00 100,829.70 137,536.63	-191,898.65 -250,000.00 .00 .00 -600,000.00 82,130.00 18,572.00 20,894.29 129,831.00 35,781.00 47,296.57 90,316.58 33,655.00	-331,650.60 -310,980.00 -935,219.77 -709,980.00 -1,217,814.04 362,036.63 17,069.68 31,237.48 136,823.44 119,951.41 603,308.36 109,414.14	-230,007.00 .00 -1,316,067.00 -20,000.00 -200,000.00 762,852.00 64,315.00 386,000.00 242,000.00 110,000.00 1,177,000.00 716,500.00
TOTAL CAPITAL RESERVE FUND	-234,203.29	-1,099,669.64	-583,422.21	-2,125,803.27	1,692,593.00
TOTAL REVENUES TOTAL EXPENSES TOTAL 30 CAPITAL RESERVE FUND	-506,534.15 272,330.86 -234,203.29	-1,424,673.10 325,003.46 -1,099,669.64	-1,041,898.65 458,476.44 -583,422.21	-3,505,644.41 1,379,841.14 -2,125,803.27	-1,766,074.00 3,458,667.00 1,692,593.00



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

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ACCOUNTS FOR: 31 STORMWATER MANAGEMENT	PRIOR YR3	PRIOR YR2	LAST YR	CURRENT YR	CY REV
	ACTUALS	ACTUALS	ACTUALS	ACTUALS	BUDGET
341 INTEREST EARNINGS	-142.12	-3,267.89	-14,030.17	-36,308.07	-20,000.00
354 ST. CAPITAL & OP. GRANTS	.00	.00	.00	-64,497.00	-158,920.00
387 DIVIDENDS/MISC REV	-7,166.50	-85,769.50	-66,749.50	-34,727.50	-260,435.00
446 STORMWATER MANAGEMENT	32,399.01	71,969.84	70,791.93	146,017.64	478,000.00
TOTAL STORMWATER MANAGEMENT	25,090.39	-17,067.55	-9,987.74	10,485.07	38,645.00
TOTAL REVENUES TOTAL EXPENSES TOTAL 31 STORMWATER MANAGEMENT	-7,308.62	-89,037.39	-80,779.67	-135,532.57	-439,355.00
	32,399.01	71,969.84	70,791.93	146,017.64	478,000.00
	25,090.39	-17,067.55	-9,987.74	10,485.07	38,645.00



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

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ACCOUNTS FOR: TRAFFIC IMPACT FUND	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
		William Barrier A		LA NEW YORK OF PRINCES	
341 INTEREST EARNINGS 354 ST. CAPITAL & OP. GRANTS 361 PERMITS/DEVELOPMENT 392 INTERFUND OPERATING TRANS 433 PW -TRAFFIC 439 CONSTRUCTION & REBUILDING	-446.20 .00 -19,892.92 -100,000.00 242,695.99	-13,527.41 2,417.50 -79,975.00 -900,000.00 49,128.52 .00	-67,156.79 .00 .00 .00 427,841.69 12,673.09	-79,097.90 -1,004,454.28 .00 .00 1,870,675.38 5,824.02	-81,000.00 -2,416,316.00 -50,000.00 -800,000.00 2,690,000.00 665,000.00
TOTAL TRAFFIC IMPACT FUND	122,356.87	-941,956.39	373,357.99	792,947.22	7,684.00
TOTAL REVENUES TOTAL EXPENSES TOTAL 33 TRAFFIC IMPACT FUND	-120,339.12 242,695.99 122,356.87	-991,084.91 49,128.52 -941,956.39	-67,156.79 440,514.78 373,357.99	-1,083,552.18 1,876,499.40 792,947.22	-3,347,316.00 3,355,000.00 7,684.00



Lower Gwynedd Township YTD BUDGET REPORT WITH PRIOR YEARS THRU OCTOBER 2021/2022/2023/2024 FOR PERIOD 10 OF 2024

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ACCOUNTS FOR: 35 HIGHWAY AID FUND	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
ENGLOSS AS THE DESCRIPTION OF SERVICE SHOWS	AMERICAL NORTH TREES	The state of the same	Selection of the select	A CAMP OF THE PARTY OF THE PART	
341 INTEREST EARNINGS 355 STATE SHARED REV & ENTLMT 392 INTERFUND OPERATING TRANS 430 PW-HIGHWAY RDS STS 439 CONSTRUCTION & REBUILDING TOTAL HIGHWAY AID FUND TOTAL REVENUES TOTAL EXPENSES TOTAL 35 HIGHWAY AID FUND	-292.08 -348,150.90 .00 36,264.99 370,035.07 57,857.08 -348,442.98 406,300.06 57,857.08	-6,490.32 -359,978.98 .00 37,144.48 232,979.88 -96,344.94 -366,469.30 270,124.36 -96,344.94	-24,706.93 -368,867.51 -33,655.00 6,527.77 296,793.60 -123,908.07 -427,229.44 303,321.37 -123,908.07	-21,979.18 -368,213.97 .00 27,200.56 301,661.25 -61,331.34 -390,193.15 328,861.81 -61,331.34	-36,000.00 -370,000.00 .00 .00 .00 .415,000.00 .39,000.00 -406,000.00 .445,000.00 .39,000.00
GRAND TOTAL	-2,645,846.53	-5,358,203.13	-3,958,751.23	-4,272,122.82	2,038,725.96



PAID INVOICES REPORT

WARRANT: 112624

VENDOR	NAME DOCUMENT	INV DATE V	OUCHER	РО		CHECK NO	Т	CHK DATE	GL ACC	COUNT	GL ACCOUNT DESCRIPTION	
18	21ST CENTURY 167751 INVOICE:	11/07/24 6	PAPER, 9501	LLC		103751	Р	11/26/24	01414	340	LEGAL NOTICES	1,253.62
	VENDOR TOTAL	S	24,	547.71	YTD	INVOICED				26,466.93 YTD	PAID	1,253.62
4098	ALTOMARE PRE 167845 INVOICE:	10/28/24 6	9597			103752	Р	11/26/24	01430	370	R&M PW	1,115.00
	VENDOR TOTAL	S	1,	115.00	YTD	INVOICED				1,115.00 YTD	PAID	1,115.00
3976	ANTHONY GULL 167828 INVOICE:	11/21/24 69						11/26/24		320	COMMUNICATION	168.75
	167828 INVOICE:	11/21/24 69 112124	9580			103753	P	11/26/24	08429	320	COMMUNICATIONS	56.25
	VENDOR TOTAL	S		225.00	YTD	INVOICED				365.97 YTD	PAID	225.00
2738	ARBOR VALLEY 167792 INVOICE:	TREE SURGEO 11/06/24 69 2442	ONS, I 9543	NC.		103754	Р	11/26/24	31446	450	CONTRACTED SERVICES	4,569.16
	VENDOR TOTAL	S	57,	731.66	YTD	INVOICED				57,731.66 YTD	PAID	4,569.16
3210	ARMOUR & SONS 167808 INVOICE:		INC. 9560			103755	Р	11/26/24	01430	370	R&M PW	3,085.39
	VENDOR TOTAL	S	35,	249.02	YTD	INVOICED				35,249.02 YTD	PAID	3,085.39
3431	ASPHALT MAIN 167812 INVOICE:		9564			103756	Р	11/26/24	30439	000	INFRASTRUCTURE REBUILDING	349,165.29
	VENDOR TOTAL	S	349,	165.29	YTD	INVOICED				349,165.29 YTD	PAID	349,165.29
3319	BUCKS COUNTY 167810 INVOICE:	11/15/24 69	WER AU 9562	THORITY	,	103757	P	11/26/24	08429	450	CONTRACTED SERVICES	4,300.00
	VENDOR TOTAL	S	60,	385.00	YTD	INVOICED				68,985.00 YTD	PAID	4,300.00
2523	CLINTON SNYD 167789 INVOICE: 167789	11/01/24 69 112124 11/01/24 69						11/26/24 11/26/24		320 320	COMMUNICATION	168.75 56.25
	INVOICE:	112124						•				



PAID INVOICES REPORT

WARRANT: 112624

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VENDOR	NAME DOCUMENT	INV DATE	VOUCHER	PO	CHEC	K NO	T CHK DATE	GL ACC	DUNT	GL ACCOUNT DESCRIPTION	
	VENDOR TOTALS	S		436.49	YTD INVO	DICED			436.49 YTD	PAID	225.00
4097	CORBO LANDSCA 167805	11/04/24	69557			1021	м 11/26/24	30401	900	EXPENDITURES - ARPA FUNDS	8,734.90
	INVOICE: 167843	11/04/24	A 69595		1		P 11/26/24		450	CONTRACTED SERVICES	17,440.10
	INVOICE: 167844 INVOICE:	11/05/24	69596		1	L03759	P 11/26/24	31446	450	CONTRACTED SERVICES	1,400.00
	VENDOR TOTALS	S	27,	575.00	YTD INVO	DICED			27,575.00 YTD	PAID	27,575.00
2803	CURT LIVEZEY 167795	11/08/24	69546		1	L03760	P 11/26/24	01430	320	COMMUNICATION	168.75
	INVOICE: 167795 INVOICE:	112124 11/08/24				L03760	P 11/26/24	08429	320	COMMUNICATIONS	56.25
	VENDOR TOTALS			355.46	YTD INVO	DICED			509.07 YTD	PAID	225.00
3676	DANIEL FANTIN	NI 11/21/24	69576		1	L03761	P 11/26/24	01430	320	COMMUNICATION	126.56
	INVOICE: 167824 INVOICE:	112124 11/21/24					P 11/26/24		320	COMMUNICATIONS	42.19
	VENDOR TOTALS			168.75	YTD INVO	DICED			168.75 YTD	PAID	168.75
2149	DAVID PAUL G	EORGE									
	167785 INVOICE:	11/07/24	69535		1	L03762	P 11/26/24	01430	320	COMMUNICATION	168.75
	167785 INVOICE:	11/07/24	69535		1	L03762	P 11/26/24	08429	320	COMMUNICATIONS	56.25
	VENDOR TOTALS	S		265.00	YTD INVO	DICED	25		989.46 YTD	PAID	225.00
129	DAVID H LIGHT 167767 INVOICE:	10/31/24	69517		1	L03763	P 11/26/24	01430	220	SUPPLIES PW	580.95
	VENDOR TOTALS	s		988.41	YTD INVO	DICED			988.41 YTD	PAID	580.95
3614	DEJANA TRUCK 167817 INVOICE:	08/01/24	EQUIPM 69569	IENT CO.	, LLC 1	L03764	P 11/26/24	01430	262	REPAIRS VEHICLES/TOOLS/MA	1,287.45
	VENDOR TOTALS	S	16,	745.99	YTD INVO	DICED			16,745.99 YTD	PAID	1,287.45
25	DEL-VAL INTER 167752	RNATIONAL 11/19/24	TRUCKS, 69502	INC.	1	L03765	P 11/26/24	01430	262	REPAIRS VEHICLES/TOOLS/MA	142.94



PAID INVOICES REPORT

WARRANT: 112624

VENDOR	NAME DOCUMENT	INV DATE	VOUCHE	R PO		CHECK NO	Т	CHK DATE	GL ACC	DUNT		GL ACCOUNT DESCRIPTION	
	INVOICE:	13373811											
	VENDOR TOTAL	S	5	,061.26	YTD	INVOICED				8,477.21	YTD	PAID	142.94
3756	DELCO SOLUTION 167826 INVOICE:	11/15/24	69578			103766	Р	11/26/24	01401	430		TECHNOLOGY	195.00
	VENDOR TOTAL	S	2	,340.00	YTD	INVOICED				2,535.00	YTD	PAID	195.00
125	DENNEY ELECT 167766 INVOICE: 167766	RIC SUPPLY 10/30/24 S10232269	69516 92.001 69516			103767		11/26/24 11/26/24		740 700		CAPITAL PURCHASES CAPITAL PURCHASE, HIGHWAY	
	INVOICE:	s10232269	2.001			203707	٠	11/20/24	50450	700		CAFITAL FORCHASE, HIGHWAT	339.22
	VENDOR TOTAL	S	1	,148.67	YTD	INVOICED				1,188.63	YTD	PAID	678.43
3483	ECKERT SEAMA 167815 INVOICE:	11/12/24	& MELLO 69567	OT, LLC		103768	Р	11/26/24	01401	314		LEGAL SERVICES	2,567.50
	VENDOR TOTAL	S	26	,552.50	YTD	INVOICED				41,736.50	YTD	PAID	2,567.50
4078	EDWIN CARRER 167838 INVOICE: 167838 INVOICE:	11/21/24 112124 11/21/24				103769 103769		11/26/24 11/26/24		320 320		COMMUNICATION COMMUNICATIONS	56.25 18.75
	VENDOR TOTAL	s		275.00	YTD	INVOICED				275.00	YTD	PAID	75.00
3048	ELLIOTT AUTO 167809 INVOICE: 167809 INVOICE: 167809	10/22/24 112124 10/22/24 112124	69561 69561				Р	11/26/24 11/26/24 11/26/24	01430	220 262 262		SUPPLIES PW REPAIRS VEHICLES/TOOLS/MA R&M EQUIP/VEHICLES	
	INVOICE: VENDOR TOTAL:	112124								9,484.00	YTD		652.79
	ENRIQUE CRES 167833 INVOICE: 167833 INVOICE:	PO 11/21/24 112124 11/21/24	69585			103771	. Р		01430	320 320		COMMUNICATION COMMUNICATIONS	84.38 28.12
	VENDOR TOTAL	S		134.00	YTD	INVOICED				134.00	YTD	PAID	112.50
2867	FERGUSON HOLI	DINGS, INC	: .										



PAID INVOICES REPORT

WARRANT: 112624

VENDOR	NAME	Charles and Chicago	T LY SA LOS	No. of Street, Street, St.	No.			W-100-1	17011111111111111		
VERDOR		INV DATE	VOUCHER	R PO	433	CHECK NO	T CHK DAT	GL ACC	COUNT	GL ACCOUNT DESCRIPTION	
	167797 INVOICE:	10/07/24 0713849	69548			103772	P 11/26/2	1 01430	370	R&M PW	357.03
	VENDOR TOTAL	S		357.03	YTD	INVOICED			357.03 YTD	PAID	357.03
4094	GENO NAVE 167839 INVOICE: 167839 INVOICE:	112124 11/21/24					P 11/26/2			COMMUNICATION COMMUNICATIONS	84.38 28.12
				112.50	YTD	INVOICED			112.50 YTD	PAID	112.50
67	GENUINE PARTS 167763 INVOICE:	10/01/24	69513			103774	P 11/26/2	1 01430	220	SUPPLIES PW	127.29
	VENDOR TOTAL	S	1,	,593.61	YTD	INVOICED			1,604.99 YTD	PAID	127.29
3626	GEORGE DAVID 167841 INVOICE:	10/16/24	69593			103775	P 11/26/2	1 01410	262	VEHICLE MAINTENANCE	545.70
	VENDOR TOTAL	S	5,	,836.28	YTD	INVOICED			5,836.28 YTD	PAID	545.70
26	GLASGOW, INC 167753 INVOICE:	10/31/24	69503			103776	P 11/26/2	1 01430	370	R&M PW	181.20
	VENDOR TOTAL	S	1,	,137.54	YTD	INVOICED			1,137.54 YTD	PAID	181.20
436	GWYNEDD MERC 167781 INVOICE:	11/07/24	69531			103777	P 11/26/2	01310	100	REAL ESTATE TRANSFER TAX	33,437.44
	VENDOR TOTAL	S	33,	,437.44	YTD	INVOICED			33,437.44 YTD	PAID	33,437.44
3613	HEALTH MATS (167816 INVOICE:	11/01/24	69568			103778	P 11/26/2	1 01409	370	R&M ALL BLDNGS	71.35
	VENDOR TOTAL	S		784.85	YTD	INVOICED			856.20 YTD	PAID	71.35
380	HEIDELBERG MA 167779 INVOICE:	ATERIALS U 11/07/24 4563850	JS, INC. 69529			103779	P 11/26/2	1 01430	370	R&M PW	169.21
	VENDOR TOTAL	S	6,	,153.24	YTD	INVOICED			6,945.07 YTD	PAID	169.21
3358	KEYSTONE MUN: 167811	ICIPAL SEF 10/30/24	RVICES, 69563	INC.		103780	P 11/26/2	1 01414	311	PROF SERV- UCC INSPECTING	7,227.00



PAID INVOICES REPORT

WARRANT: 112624

VENDOR	NAME		DE TRUCK	A STORY OF THE PARTY OF	10977	Charles and the same of	Aviagrayas		VINT SECURE		renue	STATE OF THE STATE		
VENDOR	DOCUMENT	INV DATE	VOUCHER	R PO		CHECK NO	T CHK I	DATE	GL ACC	OUNT		GL ACCOUNT DESCRIPTION		
	INVOICE:	38181												
	VENDOR TOTAL	S	153	,464.25	YTD	INVOICED				174,597.75	YTD	PAID	7,227.00	
417	LARRY DORN 167780 INVOICE:	11/07/24 112124	69530			103781	P 11/26	5/24	01430	320		COMMUNICATION	168.75	
	167780 INVOICE:	11/07/24 112124	69530			103781	P 11/26	5/24	08429	320		COMMUNICATIONS	56.25	
	VENDOR TOTAL	S		453.95	YTD	INVOICED				453.95	YTD	PAID	225.00	
3963	LEADSONLINE 167827 INVOICE:	11/17/24	69579			103782	P 11/26	5/24	01410	222		DETECTIVE OPERATING SUPPL	2,567.00	
	VENDOR TOTAL	S	5	,060.00	YTD	INVOICED				5,060.00	YTD	PAID	2,567.00	
2643	LUBRICATING 167790 INVOICE:	11/05/24	EQUIPMI 69541	ENT LLC		103783	P 11/26	5/24	01430	262		REPAIRS VEHICLES/TOOLS/MA	357.00	
	VENDOR TOTAL	S	1	,087.50	YTD	INVOICED				1,087.50	YTD	PAID	357.00	
4000	MARK MANJARD 167830 INVOICE:	11/15/24	69582			103784	P 11/26	5/24	01414	314		PROF SERV- LEGAL (ZHB)	400.00	
	167831 INVOICE:		69583			103784	P 11/26	5/24	01414	314		PROF SERV- LEGAL (ZHB)	235.00	
	VENDOR TOTAL	S	7	,375.00	YTD	INVOICED				7,375.00	YTD	PAID	635.00	
3646	MCDONALD UNI 167820 INVOICE:	11/06/24	NY, ING 69572	с.		103785	P 11/26	5/24	01410	238		UNIFORMS	469.05	
	167821	11/06/24	69573			103785	P 11/26	5/24	01410	238		UNIFORMS	534.59	
	INVOICE: 167822	11/08/24	69574			103785	P 11/26	5/24	01410	238		UNIFORMS	296.29	
	INVOICE: 167823 INVOICE:	07/29/24	69575			103785	P 11/26	5/24	01410	238		UNIFORMS	294.49	
	VENDOR TOTAL	S	21	,837.51	YTD	INVOICED				24,699.64	YTD	PAID	1,594.42	
122	MELFIKO, INC 167765 INVOICE:	11/08/24	69515			103786	P 11/26	5/24	01401	460		VOLUNTEER BOARD COMMISSIO	242.88	
	VENDOR TOTAL	.s		445.28	YTD	INVOICED				445.28	YTD	PAID	242.88	
85	MOTOROLA SOL	UTIONS, IN	1C.											



PAID INVOICES REPORT

WARRANT: 112624

VENDOR	NAME DOCUMENT	INV DATE	VOUCHE	R PO		CHECK NO	т	CHK DATE	GL ACC	DUNT	GL ACCOUNT DESCRIPTION	
		11/08/24	69514									7,416.00
	VENDOR TOTAL	S	21	,946.00	YTD	INVOICED				30,803.08 YT	D PAID	7,416.00
2416	NICK FINORE 167786 INVOICE:	11/07/24 112124	69536			103788	Р	11/26/24	01430	238	CLOTHING & UNIFORMS	300.00
	VENDOR TOTAL	S		300.00	YTD	INVOICED				300.00 YT	O PAID	300.00
140	NORTH WALES 167768 INVOICE: 167769 INVOICE: 167770 INVOICE: 167771 INVOICE: 167772 INVOICE: 167773 INVOICE: 167774 INVOICE: 167775 INVOICE: 167776 INVOICE: 167777 INVOICE: 167777 INVOICE: 167777 INVOICE: 167778 INVOICE:	WATER AUTH 11/08/24 85091769	ORITY 69518 110824			103789	Р	11/26/24	08429	360	UTILITIES	15.87
	167769 INVOICE:	11/08/24 59057996	69519 110824			103789	Р	11/26/24	05454	360	UTILITIES	26.45
	167770 INVOICE:	11/08/24 06346012	69520 110824			103789	P	11/26/24	05454	360	UTILITIES	15.87
	167771 INVOICE:	11/08/24 13691066	69521			103789	P	11/26/24	08429	360	UTILITIES	15.87
	167772 INVOICE:	11/08/24 73994984	69522 110824			103789	Р	11/26/24	05454	360	UTILITIES	204.41
	167773 INVOICE:	11/08/24 04271047	69523			103789	P	11/26/24	05454	360	UTILITIES	15.87
	167774 TNVOTCE:	11/08/24 08863528	69524			103789	P	11/26/24	01409	360	UTILITIES	15.87
	167775	11/08/24	69525			103789	P	11/26/24	01409	360	UTILITIES	15.87
	167776	11/08/24	69526			103789	Р	11/26/24	01409	360	UTILITIES	760.96
	167777	11/08/24	69527			103789	P	11/26/24	08429	360	UTILITIES	15.87
	167778 INVOICE:	11/07/24 SALES0002	69528 548			103790	Р	11/26/24	08429	450	CONTRACTED SERVICES	1,330.25
											PAID	2,433.16
469	NYCO CORPORA 167782 INVOICE:	11/12/24	69532			103791	Р	11/26/24	01430	262	REPAIRS VEHICLES/TOOLS/MA	90.44
	VENDOR TOTAL	S	1,	183.72	YTD	INVOICED				1,523.22 YT	PAID	90.44
4050	ODALYS CUMMIN 167832 INVOICE:	11/08/24	69584			103792	Р	11/26/24	01414	314	PROF SERV- LEGAL (ZHB)	680.00
	VENDOR TOTAL	S	2,	380.00	YTD	INVOICED				2,380.00 YT	PAID	680.00
596	PA ONE CALL : 167783	SYSTEM, IN 10/31/24	C. 69533			103793	Р	11/26/24	08429	450	CONTRACTED SERVICES	459.68



PAID INVOICES REPORT

WARRANT: 112624

									The state of the s
VENDOR	NAME DOCUMENT	INV DATE VOUCHER	P0	CHECK NO	T CHK DATE	GL ACCOU	NT	GL ACCOUNT DESCRIPTION	
	INVOICE:	0001073951							
	VENDOR TOTAL	s 2,	245.59 YTD	INVOICED			2,707.97 YTD	PAID	459.68
3700	167825	TOLL BY PLATE 11/01/24 69577 137595904-1		103794	P 11/26/24	01410	220	OPERATING SUPPLIES	7.10
	VENDOR TOTAL	S	504.50 YTD	INVOICED			517.10 YTD	PAID	7.10
665	PAUL B. MOYE 167784 INVOICE:	11/07/24 69534		103795	P 11/26/24	01430	262	REPAIRS VEHICLES/TOOLS/MA	5.54
	VENDOR TOTAL	s 5,	137.07 YTD	INVOICED			5,202.06 YTD	PAID	5.54
5	PECO - PAYME 167728 INVOICE:	NT PROCESSING 11/01/24 69478 9503468000 11012 11/06/24 69479	4	103796	P 11/26/24	02434	379	R/M GWYNEDD RESERVE DISTR	7.68
		11/06/24 69479 6075873000 11062		103796	P 11/26/24	02434	382	R/M GWYNN OAKS DISTRICT	7.68
	167730	11/14/24 69480 2793920100 11142		103796	P 11/26/24	01430	360	UTILITIES	9.10
	167731	11/01/24 69481 0548354000 11012		103796	P 11/26/24	05454	360	UTILITIES	13.40
	167732	11/01/24 69482 3270531222 11012		103796	P 11/26/24	05454	360	UTILITIES	26.94
	167733	11/06/24 69483 0457866000 11062		103796	P 11/26/24	02434	381	R/M WALNUT FARMS DISTRICT	27.01
	167734	11/11/24 69484		103796	P 11/26/24	08429	360	UTILITIES	32.08
	INVOICE: 167735	11/04/24 69485		103796	P 11/26/24	05454	360	UTILITIES	33.93
	167736	6865873000 11042 11/14/24 69486		103796	P 11/26/24	05454	360	UTILITIES	35.75
	167737	3978998000 11142 11/06/24 69487		103796	P 11/26/24	02434	378	R/M CEDAR HILL EST DISTRI	38.51
	167738	0671309000 11062 11/04/24 69488		103796	P 11/26/24	08429	360	UTILITIES	40.86
	167739	3161783000 11042 11/11/24 69489		103796	P 11/26/24	02434	373	R/M TREWELLYN ESTATE DIST	46.44
	167740	5486784000 11112 11/01/24 69490		103796	P 11/26/24	05454	360	UTILITIES	46.49
	INVOICE: 167741	4325804000 11012 11/14/24 69491	.4	103796	P 11/26/24	01409	360	UTILITIES	46.54
	167742	2971145000 11142 11/04/24 69492		103796	P 11/26/24	05454	360	UTILITIES	51.77
	INVOICE: 167743	5210869000 11042 11/01/24 69493	4	103796	P 11/26/24	05454	360	UTILITIES	56.40
	INVOICE: 167744	8946494000 11012			P 11/26/24		360	UTILITIES	158.25



PAID INVOICES REPORT

WARRANT: 112624

VENDOR	NAME	NEW YORK OF THE	A PROPERTY AND ADDRESS OF	AND RESIDENCE OF STREET				THE CONTROL OF THE CO	
VENDOR	DOCUMENT	INV DATE VO	UCHER PO	CHECK NO	T CHK DATE	GL ACC	OUNT	GL ACCOUNT DESCRIPTION	
	167745 INVOICE:	11/01/24 69 701952333 1		103796	P 11/26/24	01409	360	UTILITIES	209.42
	167746	11/13/24 69	496	103796	P 11/26/24	08429	360	UTILITIES	223.08
	INVOICE: 167747	11/06/24 69	497	103796	P 11/26/24	01430	360	UTILITIES	227.06
	INVOICE: 167748	11/04/24 69	498	103796	P 11/26/24	05454	360	UTILITIES	549.80
	167749	11/04/24 69	499	103796	P 11/26/24	08429	360	UTILITIES	682.90
	INVOICE: 167750 INVOICE:	5166383000 11/04/24 69 1665558000	500	103796	P 11/26/24	01409	360	UTILITIES	1,707.44
	VENDOR TOTAL	S	69,568.9	3 YTD INVOICED			82,597.90	YTD PAID	4,278.53
2798	PENN DETROIT 167793	11/08/24 69		103797	P 11/26/24	08429	370	R&M PUMP STATIONS/SEWER L	1,079.42
	INVOICE: 167794 INVOICE:	11/08/24 69	545	103797	P 11/26/24	01409	370	R&M ALL BLDNGS	388.50
	VENDOR TOTAL	S	16,927.9	7 YTD INVOICED			18,640.59	YTD PAID	1,467.92
2919	PFM ASSET MAI 167798 INVOICE: 167798 INVOICE:	09/30/24 69 14495863 09/30/24 69	549	103798 103798				PROF. SERVICES - PENSION, PROFESSIONAL SERVICES	S 559 B
	VENDOR TOTAL	s	40,337.7	1 YTD INVOICED			49,066.35	YTD PAID	4,823.22
4072	PILOT THOMAS 167834 INVOICE:	LOGISTICS, 10/31/24 69 1043163-IN	LLC 586	103799	P 11/26/24	01410	374	FUEL/ GASOLINE/ DIESEL	989.23
	167834	10/31/24 69	586	103799	P 11/26/24	01430	374	FUEL/ GASOLINE/ DIESEL	775.82
	167835	11/07/24 69 1048568-IN	587	103799	P 11/26/24	01410	374	FUEL/ GASOLINE/ DIESEL	940.38
	167836	10/03/24 69 1017522-IN		103799	P 11/26/24	01410	374	FUEL/ GASOLINE/ DIESEL	6.53
	167837	09/11/24 69 W218445-IN	589	103799	P 11/26/24	01410	374	FUEL/ GASOLINE/ DIESEL	6.55
	VENDOR TOTAL	S	11,589.8	1 YTD INVOICED			11,589.81	YTD PAID	2,718.51
3458	REMCO, INC. 167813	11/05/24 69	565	103800	P 11/26/24	01409	370	R&M ALL BLDNGS	641.27
	INVOICE: 167814 INVOICE:	760882 11/11/24 69 763035	566	103800	P 11/26/24	01409	370	R&M ALL BLDNGS	8,504.29



PAID INVOICES REPORT

WARRANT: 112624

VENDOR	NAME DOCUMENT	INV DATE	VOUCHE	R PO	(CHECK NO	T	CHK DATE	GL ACC	TNUC		GL ACCOUNT DESCRIPTION		
	VENDOR TOTAL	S	37	,903.44	YTD :	INVOICED				39,910.41	YTD	PAID	9,145.	56
3992	ROBERT COLLI 167829 INVOICE:	11/21/24	69581			103801	Р	11/26/24	01430	320		COMMUNICATION	168.	75
	167829 INVOICE:	11/21/24	69581			103801	Р	11/26/24	08429	320		COMMUNICATIONS	56.2	25
	VENDOR TOTAL	S		324.90	YTD :	INVOICED				520.02	YTD	PAID	225.0	00
51	SANDI FEIGHT 167762 INVOICE:	09/24/24	69512			103802	Р	11/26/24	05453	141		FALL FEST	33.9	99
	VENDOR TOTAL			33.99	YTD :	INVOICED				33.99	YTD	PAID	33.9	99
2460	SANG CHUL LE 167787 INVOICE:	11/02/24	69537			103803	Р	11/26/24	01410	238		UNIFORMS	135.0	00
	VENDOR TOTAL	S		867.75	YTD :	INVOICED				929.70	YTD	PAID	135.0	00
2856	SEALMASTER 167796 INVOICE:	09/13/24 INV208229	69547 1			103804	Р	11/26/24	01430	370		R&M PW	375.9	99
	VENDOR TOTAL	S	1	,745.23	YTD :	INVOICED				1,745.23	YTD	PAID	375.9	99
4096	IDSC HOLDING 167842	S LLC 11/13/24	69594			103805	Р	11/26/24	09429	740		CAPITAL PURCHASES CAPITAL PURCHASE, HIGHWAY	8,495.	53
	167842 INVOICE:	11/13/24 ARV/63105	69594 522			103805	Р	11/26/24	30430	700		CAPITAL PURCHASE, HIGHWAY	8,495.6	52
	VENDOR TOTAL												16,991.	25
2725	THOMAS J. MO 167791 INVOICE:	RRIS III 11/07/24 125046	69542			103806	Р	11/26/24	01410	220		OPERATING SUPPLIES	625.6	65
	VENDOR TOTAL	S	6	,835.80	YTD :	INVOICED				11,153.28	YTD	PAID	625.0	65
3641	TRAISR, LLC 167819 INVOICE:	10/31/24 3037	69571			103807	Р	11/26/24	01414	430		TECHNOLOGY	2,250.0	00
	VENDOR TOTAL	S	16	,800.00	YTD :	INVOICED				20,200.00	YTD	PAID	2,250.0	00
3625	TREETOP PROD		69570			103808	Р	11/26/24	01430	220		SUPPLIES PW	1,358.	31



PAID INVOICES REPORT

WARRANT: 112624

VENDOR	NAME							* **	* .
VENDOR	DOCUMENT	INV DATE VO	DUCHER PO	CHECK NO	T CHK DATE	GL ACC	OUNT	GL ACCOUNT DESCRIPTION	LENGTH DE LEGIS
	INVOICE:	INVTRE30095	5						
	VENDOR TOTAL	s	1,358.81	TD INVOICED			2,703.95	YTD PAID	1,358.81
40	VERIZON 167754 INVOICE:	11/12/24 69 2156160540		103809	P 11/26/24	08429	320	COMMUNICATIONS	33.36
	167756	11/12/24 69	9506	103809	P 11/26/24	08429	320	COMMUNICATIONS	35.90
	INVOICE: 167757	2156282913 11/07/24 69	9507	103809	P 11/26/24	08429	320	COMMUNICATIONS	39.58
	INVOICE: 167758 INVOICE:	2155428926 11/07/24 69 2152831193	9508	103809	P 11/26/24	08429	320	COMMUNICATIONS	39.58
	167759	11/07/24 69 2155428927	9509	103809	P 11/26/24	08429	320	COMMUNICATIONS	47.00
	INVOICE: 167760	07/11/24 69	9510	103809	P 11/26/24	01409	320	COMMUNICATIONS	45.30
	INVOICE: 167760 INVOICE:	2152835268 07/11/24 69 2152835268	9510	103809	P 11/26/24	01409	320	COMMUNICATIONS	50.42
	167760	07/11/24 69	510	103809	P 11/26/24	01409	320	COMMUNICATIONS	50.68
	INVOICE: 167760 INVOICE:	2152835268 07/11/24 69 2152835268	9510	103809	P 11/26/24	01409	320	COMMUNICATIONS	52.08
	167761 INVOICE:	09/10/24 69	9511	103809	P 11/26/24	01409	320	COMMUNICATIONS	343.22
	167761 INVOICE:	09/10/24 69 2156282630	9511	103809	P 11/26/24	01409	320	COMMUNICATIONS	343.03
	167761	09/10/24 69 2156282630	511	103809	P 11/26/24	01409	320	COMMUNICATIONS	343.18
	VENDOR TOTAL	S	9,263.65	TD INVOICED			10,009.92	YTD PAID	1,423.33
3202	VERIZON BUSI 167802 INVOICE:	11/08/24 69	SERVICES, IN 19553	NC. 103810	P 11/26/24	01409	320	COMMUNICATIONS	1,146.22
	VENDOR TOTAL	S	13,358.49	TD INVOICED			14,001.68	YTD PAID	1,146.22
3092	VERIZON WIRE 167800	11/01/24 69	9551	103811	P 11/26/24	01401	320	COMMUNICATION	309.52
	INVOICE: 167800	9977704655 11/01/24 69	9551	103811	P 11/26/24	01410	320	COMMUNICATIONS	762.61
	INVOICE: 167800	9977704655 11/01/24 69	9551	103811	P 11/26/24	01430	320	COMMUNICATION	128.75
	INVOICE: 167800	9977704655 11/01/24 69	9551	103811	P 11/26/24	05451	320	COMMUNICATION	66.91
	INVOICE: 167800 INVOICE:	9977704655 11/01/24 69 9977704655	9551	103811	P 11/26/24	08429	320	COMMUNICATIONS	329.40



PAID INVOICES REPORT

WARRANT: 112624

TO FISCAL 2024/11 01/01/2024 TO 12/31/2024

VENDOR	NAME DOCUMENT	INV DAT	E VOUCHE	R PO	CHECK NO	T CHK DATE	GL ACC	COUNT	GL ACCOUNT DESCRIPTION	
	VENDOR TOTAL	S	18	3,913.44	YTD INVOICED			21,719.7	77 YTD PAID	1,597.19
3204	VICTORY GARD 167803 INVOICE:	11/07/2			103812	P 11/26/24	01430	370	R&M PW	100.00
	167804 INVOICE:	11/11/2 886645	4 69556		103812	P 11/26/24	01430	370	R&M PW	50.00
	167806 INVOICE:	11/06/2 888101	4 69558		103812	P 11/26/24	01430	370	R&M PW	100.00
	167807 INVOICE:	11/06/2	4 69559		103812	P 11/26/24	01430	370	R&M PW	100.00
	VENDOR TOTAL	S	3	,275.00	YTD INVOICED			3,275.0	OO YTD PAID	350.00
2511	WEST PUBLISH: 167788 INVOICE:	11/01/2	4 69539		103813	P 11/26/24	30410	705	POLICE PCCD GRANT EXP	157.50
	VENDOR TOTAL	s	1	,665.00	YTD INVOICED			1,965.0	OO YTD PAID	157.50
									REPORT TOTALS	506,770.38
									COUNT AMOUNT	

TOTAL PRINTED CHECKS
TOTAL MANUAL CHECKS
1
498,035
1
8,734

** END OF REPORT - Generated by Mary Trocino **



Statement

Account Name:

BILLING ACCOUNT 030522

Card Number:

Company Name:

LOWER GWYNEDD TOWNSHIP

Account Limit:

Employee ID:

772190000032397

Available Credit:

Currency:

\$ 15,961.55

xxxx-xxxx-xxxx-0522

Payment Due Date (MM/DD/YYYY):

Statement Date (MM/DD/YYYY):

09/27/2024 10/24/2024 U.S. DOLLAR

\$5,590.04

\$ 20,000.00

Statement Summary:

Report any items which do not agree with your records within 30 days of the statement date.

APT 3 H

Payments: \$-5,590.04 Adjustments: \$ 0.00

30HH

pure 12H

pure 12H

pure 500

Net Purchases: Cash Advance:

Previous Balance:

\$4,038.45 \$ 0.00

Fees:

\$ 0.00

Other Charges:

\$ 0.00

New Account Balance:

\$4,038.45

Transaction Summary:

Trans Date	Posting Date Trans ID	Description	Pre-T	ax Amount Auth #	Total Tax	Trans Amount
Card Numbe	r xxxx-xxxx-xxxx-0	522 BILLING ACCOUNT 030522				
09/04	09/04 549004002	AUTOMATIC PYMT RECEIVED		-5,590.04	\$ 0.00	\$ -5,590.04
			TOTAL CREDITS xxxx-xx TOTAL DEBITS xxxx-xx			\$ -5,590.04 \$ 0.00
Card Numbe	r xxxx-xxxx-xxxx-6	350 FEIGHT-HICKS, SANDI L				
09/04	09/05 549241427	TWINKLE PHOTO BOOTH DRESHER	PA 05453.141	\$ 649.00 030291	\$ 0.00	\$ 649.00 V
09/13	09/16 550936682	PAYPAL WECONSERVE 7172194074 F	01401.460	\$ 70.75 038281	\$ 4.25 (e)	\$ 75.00
09/18	09/19 551722140	PAYPAL WECONSERVE 4029357733 F	PA 01401.460	\$ 9.43 035844	\$ 0.57 (e)	\$ 10.00
00/00	00/00	The street of th	1 = 54			
09/20	09/23 552301965	RENTAL WORLD-LANSDALE LANSDA	05453.141	\$ 451.70 033505	\$ 27.10 (e)	\$ 478.80 V
09/20		RENTAL WORLD-LANSDALE LANSDA	05453.141	N-0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	\$ 27.10 (e) \$ 0.50	\$ 478.80 V \$ 8.00 L
	552301965 09/23		05 453.141 EPA 05.453.141	033505 \$ 7.50		

TOTAL CREDITS xxxx-xxxx-xxxx-6350 TOTAL DEBITS xxxx-xxxx-xxxx-6350

\$ 0.00 \$ 1,531.71

1

Card Number	r xxxx-xxxx-xxxx-2	2252 KENNY, PAUL D				Page 2 of 4
08/30	08/30 548412683	JONES & BARTLETT LEARN 8008320034	ма 01410420	\$ 96.96 027717	\$ 6.06 (e)	\$ 103.02
09/05	09/06 549521505	NU CPS REGISTRATION EVANSTON IL	01410.400	\$ 275.23 038038	\$ 24.77 (e)	\$ 300.00
09/17	09/18 551498531	QUALIFICATION TARGETS HAMMOND W	01410.220	\$ 224.52 008774	\$ 0.00	\$ 224.52
09/18	09/19 551722141	DUNKIN #340169 MONTOGOMERYVI PA	01410.420	\$ 64.77 053338	\$ 3.89 (e)	\$ 68.66
09/18	09/20 551955394	FBI LEEDA INC 877-7727712 PA	01410420	\$ 734.41 096652	\$ 60.59	\$ 795.00
		ז	TOTAL CREDITS XXXX-XX TOTAL DEBITS XXXX-XX			\$ 0.00 \$ 1,491.20
ard Number	r xxxx-xxxx-6	926 WORMAN, JAMIE P.				
09/14	09/16 ⁵ 550936683	WWW.ELMWOODPARKZOO.COM 610-277	7-3825 PA 01401.420	\$ 28.30 015252	\$ 1.70 (e)	\$ 30.00
09/18	09/19 551722212	GIANT 6510 SPRING HOUSE PA	0 1401.460	\$ 25.04 053204	\$ 0.52	\$ 25.56 V
09/18	09/20 551955396	IL GIARDINO PIZZA CAFE SPRING HOUS	EPA. 01401-460	\$ 118.02 053284	\$ 7.08 (e)	\$ 125.10 L
09/21	09/23 552301966	EIG CONSTANTCONTACT.CO WALTHAM I	MA 01401-450	\$ 88.00 070800	\$ 0.00	\$88.00 V
09/26	09/27 553104890	PSATS ENOLA PA	01401.420	\$ 117.92 020686	\$ 7.08 (e)	\$ 125.00
09/26	09/27 553104889	PSATS ENOLA PA	01401.420	\$ 117.92 067961	\$ 7.08 (e)	\$ 125.00 V
A CARTES SET CONTROL OF CONTROL O	mary sales and sales and a		OTAL CREDITS XXXX-XX			\$ 0.00 \$ 518.66
Card Number	· xxxx-xxxx-3	833 ZOLLERS, FRED				
Card Number 09/17	r xxxx-xxxx-xxxx-3 09/18 551498532	8833 ZOLLERS, FRED MICHAELS STORES 5181 NORTH WALES	PA 01401.200	\$ 14.15 065724	\$ 0,85 (e)	\$ 15.00 V
	09/18	,			\$ 0.85 (e) \$ 0.00	\$ 15.00 \$ 63.98
09/17	09/18 551498532 09/20	MICHAELS STORES 5181 NORTH WALES	01401.200	065724 \$ 63.98 035571 \$ 267.90		<i>V</i>

TOTAL CREDITS xxxx-xxxx-xxxx-3833

TOTAL DEBITS xxxx-xxxx-xxxx-3833

\$ 0.00

\$ 496.88

VENDOR#	NAME	ADDRESS	CITY	ST	ZIP
4082	JOHN PANIZZA/GENTERRA CORP.	556 HOPWOOD ROAD	COLLEGEVILLE	PA	19426
4083	LONGO ELECTRICAL-MECHANICAL, INC.	1 HARRY SHUPE BOULEVARD	WHARTON	NJ	07885
4085	PITNEY BOWES BANK, INC - RESERVE ACCOUNT	PO BOX 981023	BOSTON	MA	02298-1023
4086	DINA BOYD	3 DANBRIDGE ROAD	HORSHAM	PA	19044
4087	CAROLINA HERITAGE	1409 CAROLINA PLACE	DOWNINGTON	PA	19335
4088	MINUTEMAN SECURITY TECHNOLOGIES, INC.	LOCKBOX PO BOX 4772	CAROL STREAM	IL	60197-4772

LOWER GWYNEDD TOWNSHIP SUPERVISOR LIAISON REPORT OF VOLUNTEER COMMISSION MEETING HIGHLIGHTS

Board/Commission	Environmental Advisory Council
Members/Terms	5-7 residents, 3-year terms appointed by the BOS
Meeting Schedule	2 nd Wednesday of each month, 7:00 pm
Supervisor Liaison(s)	Tessie McNeely, Danielle Duckett
Staff Liaison	Sandi Feight-Hicks
Minute Taker	Jen O'Brien

	MEETING HIGHLIGHTS
Meeting Date	Wednesday, November 13, 2024
	Desisions/Desagners and attacks

Decisions/Recommendations

 Starting in 2025, the EAC will dedicate monthly meetings to workshops to gain input from all the EAC. This will allow more dedicated time to discuss topics and not exclude members from the discussion with sub-committees. Jan: Organization, Feb: SUP, March: Normal, April: RF100.

Major Discussion Items

- Melinda Wolff gave a thorough presentation of the tour members took of Republic Recycling Center. EAC recommend an recycling page be added to Spring Newsletter.
- Going Green Award discussion award title for 2024, staff will work on timing for award at BoS meeting.
- Programming Planning Guidebook, was attached, EAC was asked to review it once more.

Next Meeting	January, 2025	
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NOTE: This form notes significant highlights from a public board or commission meeting; it does not supplement or replace the official minutes of the meeting. Minutes are posted on the Township's website on the "Meetings" page. This form is included in the Board of Supervisor's meeting packet, which also is posted on the "Meetings" page.

LOWER GWYNEDD TOWNSHIP SUPERVISOR LIAISON REPORT OF VOLUNTEER COMMISSION MEETING HIGHLIGHTS

Board/Commission	Parks & Recreation Board	
Members/Terms	7 residents, 5-year terms appointed by the BOS	
Meeting Schedule	3 rd Tuesday of the Month, 6:00 p.m.	
Supervisor Liaison(s)	Janine Martin	
Staff Liaison	Sandi Feight-Hicks	
Minute Taker	Harry Hellerman, Secretary	

MEETING HIGHLIGHTS		
Meeting Date	Tuesday, November 19, 2024	
Decisions/Recommendations		
Major Discussion Items		

Tuesday, January 21, 2025	
	Tuesday, January 21, 2025

NOTE: This form lists significant highlights from a public board or commission meeting; it does not supplement or replace the official minutes of the meeting. Minutes are posted on the Township's website on the "Meetings" page. This form is included in the Board of Supervisor's meeting packet, which also is posted on the "Meetings" page.