

LOWER GWYNEDD TOWNSHIP BOARD OF SUPERVISORS REGULAR PUBLIC MEETING

Tuesday, November 26, 2024, 7:00 p.m.

To join the meeting via Zoom:

<https://us02web.zoom.us/j/86870613453?pwd=qAqBolkfi7Lh5D4U82aYzoQsrS4rrb.1>

Call #: 1-646-876-9923



CALL TO ORDER AND PLEDGE OF ALLEGIANCE

ANNOUNCEMENTS AND PRESENTATIONS

The Board of Supervisors met in executive session prior to tonight's meeting to discuss matters of personnel, real estate, and potential litigation.

PUBLIC COMMENTS

Citizen comments, concerns, questions for items not on the agenda
(Comments on agenda items will be taken when those items are discussed by the Board)

BUILDING AND ZONING

1. Public hearing for a conditional use application for Gwynedd Estates (ACTS Retirement / Life Communities, Inc.) to permit grading, stormwater pipe and trail to extend into the riparian buffer allowing access to an existing nature area
2. Presentation of Gwynedd Estates (ACTS Retirement / Life Communities, Inc.) amended land development plan to construct a two-story building and parking for 40 skilled nursing beds

GENERAL BUSINESS

1. Discussion about improvements to Gypsy Hill & Penllyn Pike intersection
2. Consider authorization to proceed with final design of a culvert replacement at 448 Marion Avenue
3. Resolution 2024-31 authorizing submission of a PA Local Share Act grant application in the amount of \$580,000 for Oxford Park
4. Resolution 2024-32 authorizing submission of a PA Local Share Act grant application in the amount of \$999,366 for the Public Works Facility
5. Consider approval of a license agreement for 922 Chesterfield Drive
6. Consider approval of a Right to Know policy

7. Township Engineer Report – November 2024
8. Traffic Engineer Report – November 2024
9. Finance Report – October 2024
10. Approval of invoice report
11. Approval of minutes – November 12, 2024

SUPERVISOR LIAISON REPORTS

Questions about Volunteer Commission Meeting Highlights

STAFF UPDATES

Updates from staff on municipal activities and projects

SUPERVISORS COMMENTS

Comments or questions from the Board of Supervisors

Adjournment

UPCOMING MEETING DATES*

HUMAN RELATIONS COMMISSION	THURS	03/06/2025	7:00 P.M.
BOARD OF SUPERVISORS	TUES	12/10/2024	7:00 P.M.
ENVIRONMENTAL ADVISORY COUNCIL	WED	12/11/2024	7:00 P.M.
ZONING HEARING BOARD	THURS	12/12/2024	6:00 P.M.
PARKS AND RECREATION	TUES	01/21/2025	6:00 P.M.
PLANNING COMMISSION	WED	12/18/2024	7:00 P.M.

*Please check the Township website to confirm meeting dates and times.



MEMORANDUM

ATTN: Board of Supervisors

DATE: November 21, 2024

FROM: Jamie P. Worman, Assistant Township Manager

Jamie Worman

SUBJ: [Gwynedd Estates Conditional Use- #24-06CU](#)

[Gwynedd Estates Land Development-#20-04 \(Amended\)](#)

Acts Retirement Life Communities Inc. has filed an amended land development and conditional use application for the Gwynedd Estates Facility. The applicant is proposing the addition of a two-story building at the northeastern corner of the site, modifications to existing access drives, an expansion of off-streeting parking, an emergency access drive, and new internal pedestrian walkways. The plans were originally approved by Resolution #2022-26 on November 7th, 2022. The plans were amended to now also include the replacement of a bocce ball court and picnic area, as well as an additional stormwater management facility on-site. They are also proposing to construct a trail extension and bridge. The added improvements are within the riparian and wetland buffer area requiring conditional use approval. The conditional use application and amended land development plans were reviewed and recommended for approval at the Planning Commission Meeting held October 16th, 2024. A conditional use hearing is scheduled for the BOS meeting on November 26th, 2024, and the amended land development plans will be presented. The information is linked above and attached to this memo for your reference. A revised waiver letter is also attached.

The applicant is represented by Bernadette Kearny, Esq. She will handle the hearing.

Recommended Motion: Conditional Use #24-06- It is recommended that the BOS authorize the Township Solicitor to prepare a decision and order approving the conditional use application for the encroachment into the 25-foot wetland buffer area to facilitate the proposed improvements.

Recommended Motion: Amended Land Development Plan #20-04- It is recommended that the BOS authorize the Township Solicitor to prepare an approval resolution for the amended Gwynedd Estates Land Development Plan.

LEGAL ADVERTISEMENT
CONDITIONAL USE HEARING NOTICE

Notice is hereby given that the Lower Gwynedd Township Board of Supervisors, on Tuesday, November 26, 2024, at 7:00 p.m., will hold a public hearing to consider the conditional use application (“**Application**”) of Acts Retirement Life Communities, Inc. (“**Applicant**”), legal owner of the property known as Norristown Road, Parcel #39-00-02955-00-3, consisting of approximately 25 acres, located within the MF-3 Multifamily Zoning District (“**Property**”). The Applicant proposes the addition of a building at the northeastern corner of the Property with additional parking and the reconfiguration of the existing access drives (the “**Proposed Use**”). Conditional use approval is required pursuant to Section 1298.17(c), because the Proposed Use intends disturbance within the minimum riparian buffer for the installation of walkways and stormwater management piping. The Application must meet the requirements of Section 1298.07 of the Township's Zoning Code.

The Board of Supervisors will consider testimony and evidence from the Applicant at the hearing in support of the Application. Copies of the Application and proposed plans are available to be viewed at the Lower Gwynedd Township Building during normal business hours. Please contact the Township at (215) 646-5302 or mfarzetta@lowergwynedd.org, to schedule an appointment.

The public may participate in the meeting in person at the Lower Gwynedd Township Building, 1130 N. Bethlehem Pike, Spring House, PA 19477; online <https://us02web.zoom.us/j/86870613453?pwd=qAqBolkfi7Lh5D4U82aYzoQsrS4rrb.1> ; or by calling 1-646-876-9923 and entering the meeting ID number 868 7061 3453 when prompted.

At the hearing, members of the public may request party status. Only those granted party status may question witnesses, present testimony, and appeal from the decision to court. Party status is not required to provide comments only, and comments may be presented in writing, or verbally at the conclusion of the hearing. Anyone requesting party status or who wishes to submit written comments in advance of the hearing, are encouraged, but not required, to email the Township Solicitor, Neil Andrew Stein, Esquire, nstein@kaplaw.com, with your name, address, e-mail address, and telephone number and any comments.

Neil Andrew Stein, Esquire
Lower Gwynedd Township Township Solicitor

PLEASE PROVIDE PROOF OF PUBLICATION

PHILADELPHIA GROUP

AFFIDAVIT OF PUBLICATION
390 Eagleview Boulevard • Exton, PA 19341

LOWER GWYNEDD TOWNSHIP
1130 N BETHLEHEM PIKE
PO BOX 625
SPRING HOUSE, PA 19477
Attention: M. Farzetta

STATE OF PENNSYLVANIA,

The undersigned Richard L. Crowe, being duly sworn the he/she is the principal clerk of The Reporter, The Reporter Digital, published in Montgomery County for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

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Neil Andrew Stein, Esquire
Lower Gwynedd Township
Township Solicitor
LAN: Nov. 11, 18. a-1

LOWER GWYNEDD TOWNSHIP

Published in the following edition(s):

The Reporter, The Reporter Digital
11/11/24, 11/18/24

Commonwealth of Pennsylvania - Notary Seal
MAUREEN SCHMID, Notary Public
Montgomery County
My Commission Expires March 31, 2025
Commission Number 1248132

Sworn to the subscribed before me this 11/18/24

Maureen Schmid
Notary Public, State of Pennsylvania
Acting in County of Montgomery

Advertisement Information

Client Id: 881248 **Ad Id:** 2658670 **PO:** Cond Use Hearing **Sales Person:** 063308

Account: **881248**
 Name: **CAROLE CULBRETH Mary**
 Company: **LOWER GWYNEDD TOWNSHIP**
 Address: **1130 N BETHLEHEM PIKE**
PO BOX 625
SPRING HOUSE, PA 19477
 Telephone: **(215) 646-5302**
 Fax: **(000) 000-0000**
 Description: **LEGAL ADVERTISEMENT CONDITIONAL USE**

Date: **11/18/24**
 Start Date: **11/11/24** Stop Date: **11/18/24**
 Class: **1201 - Legal Notices**
 Ad ID: **2658670**
 Ad Taker: **DRDMCCORMICK**
 Sales Person: **Diane McCormick (063308)**
 Words: **345**
 Lines: **96**
 Agate Lines: **96**
 Depth: **10.667**
 Inserts: **4**
 Blind Box:
 PO Number: **Cond Use Hearing**

Ad sample

Total: **\$1,127.62**
 Paid Amount: **\$0.00**
 Amount Due: **\$1,127.62**

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Neil Andrew Stein, Esquire
 Lower Gwynedd Township
 Township Solicitor
 LAN: Nov. 11, 18. a-1

Publication
The Reporter, The Reporter Digital

We Appreciate Your Business!
 Thank You **CAROLE CULBRETH Mary!**

HRMM&L

HAMBURG, RUBIN, MULLIN,
MAXWELL & LUPIN, PC

www.HRMML.com
Lawyers@HRMML.com

J. Edmund Mullin
Steven H. Lupin
Douglas I Zeiders
Carl N. Weiner
Mark F. Himsworth
Steven A. Hann
Steven B. Barrett
Christen G. Pionzio
Ethan R. O'Shea
Bernadette A. Kearney
Paul G. Mullin
John J. Iannozzi
William G. Roark
Lisa A. Shearman, LL.M.
Nathan M. Murawsky
Robert J. Iannozzi Jr.
Sean E. Cullen LL.M.
Ron L. Woodman
Kevin M. McGrath
Kathleen A. Maloles
Steven J. English
Danielle M. Yacono
John F. McCaul
Zachary R. Morano
Brittany Ann Kane
Celso L. Leite
J. Braun Taylor

OF COUNSEL:
Jonathan Samel, LL.M.
John C. Rafferty Jr. Senator
Noah Marlier

LANSDALE
1684 S. Broad Street
Suite 230
Post Office Box 1479
Lansdale, PA 19446-5422
Phone 215-661-0400
Fax 215-661-0315

PHILADELPHIA
123 S. Broad Street
Suite 2102
Philadelphia, PA 19109

17834-018

November 21, 2024

VIA EMAIL to jworman@lowergwynedd.org

Jamie Worman
Township Manager
Lower Gwynedd Township
1130 North Bethlehem Pike
Spring House, PA 19477

**Re: Conditional Use Application- Acts Retirement-Life Communities, Inc.
Gwynedd Estates**

Dear Ms. Woman:

This letter is to request to amend the conditional use application of Acts Retirement-Life Communities, Inc. for its Gwynedd Estates community filed with the Township on October 10, 2024.

Twenty (20) copies of revised Plan A will be sent under separate cover from Eustace Engineering. Paragraph 5 of the Conditional Use Applicant is amended to reference that a level spreader will be installed in the location shown on revised Plan A.

Please call me at 215-616-1522 or email me at BKearney@hrmml.com if you have any questions. Thank you.

Very truly yours,

HAMBURG, RUBIN, MULLIN,
MAXWELL & LUPIN

By: 
BERNADETTE A. KEARNEY

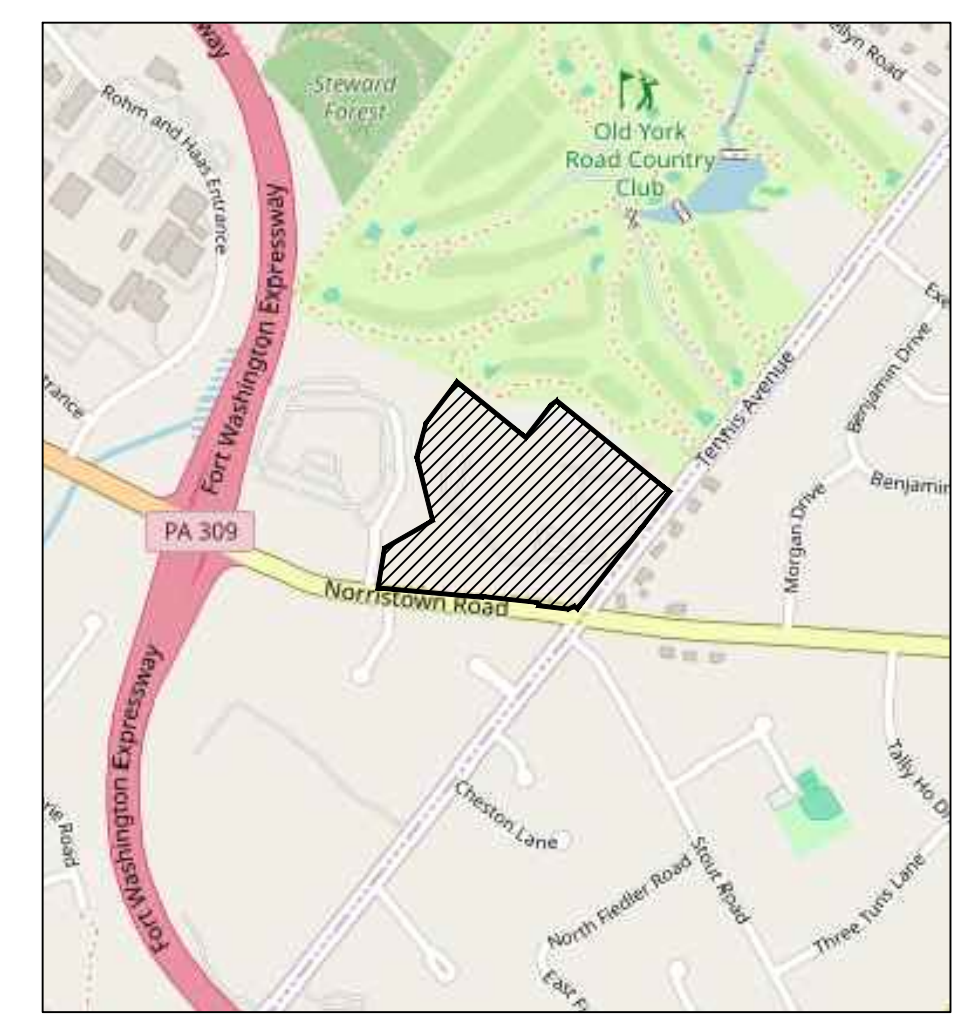
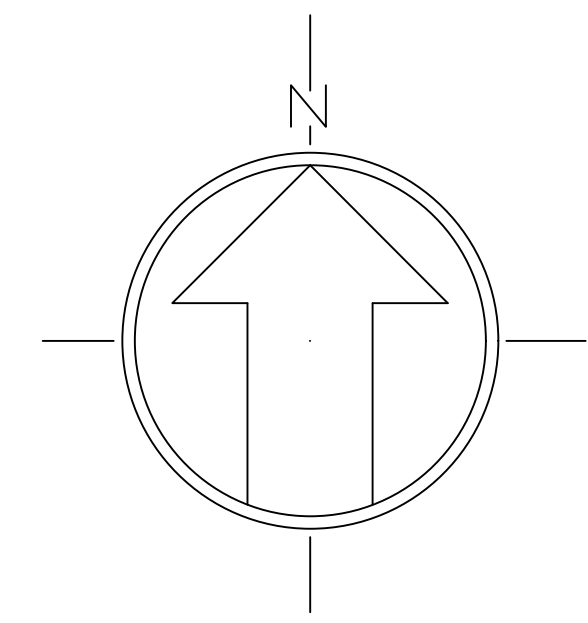
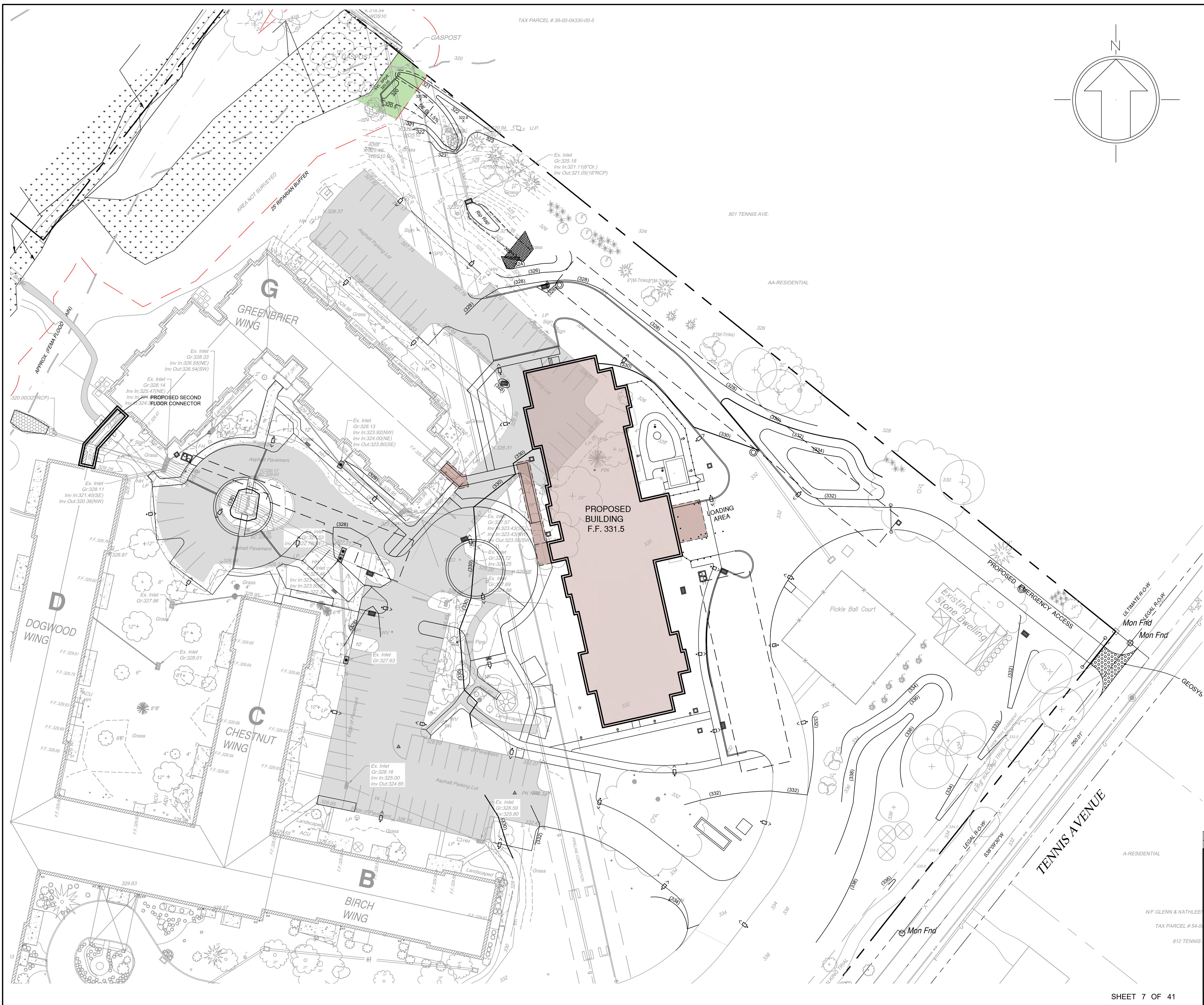
BAK:haw

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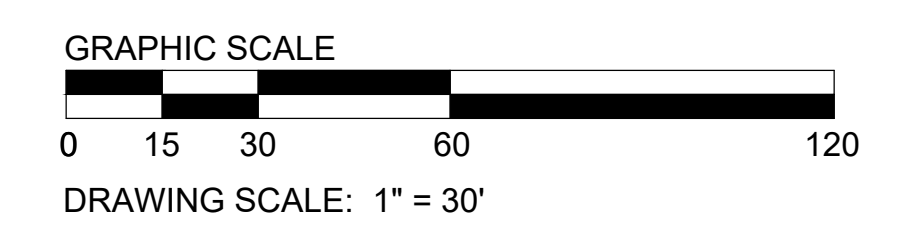
Page 2
November 21, 2024

cc: Mary Eustace, via mail
Robbie Sutton, via email
Shawn Machese, via email
Edward Brown, via email
Chris B. Isenberg, via email
Neil Stein, Esq., via email

X:\PROJECTS\237308B Gwynedd Estates Assisted Living\AutoCAD\Drawings\Land Development\07_8-GRADING TEMP.dwg October 16, 2024



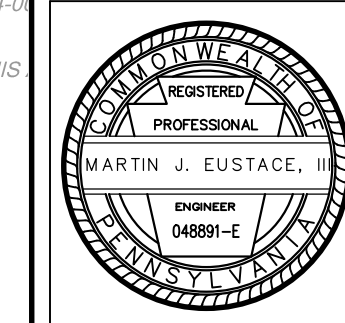
Location Map
Scale: 1" = 1000'



2	10/16/2024	CBI	REVISED FOR PLANNING COMMISSION MEETING
1	10/10/2024	CBI	CONDITIONAL USE APPLICATION

CONDITIONAL USE - GRADING PLAN - A ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA



EUSTACE
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

MARTIN J. EUSTACE, III
307 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090
Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

Martin J. Eustace, III, P.E.
PA Lic. PE048891E

DRAWN BY	JAS
CHECKED BY	MJE
DATE	6/21/24
DRAWING No.	D 2373 08B 45

Lower Gwynedd Township
 48 Knight Road
 Ambler, PA 19002

Date: 10/10/2024	Job No. 2373-08B
Attention: Jamie Worman - Zoning Officer	
Re: Conditional Use Application	
Acts Gwynedd Estates AL	

We are sending you Attached Under separate cover via _____ the following items:
 Shop Drawing Prints Samples
 Copy of Letter Plans Specifications Others: _____

Copies	Date	No.	Description
1	10/10/2024		Conditional Use Application (5 @ 8.5x11)
20	10/10/2024		Conditional Use Drawings (3 @ 24x36)
1	10/10/2024		USB drive with Application and Drawings
1	10/10/2024		Check 17400 - Application Fee: \$4,000

- For approval Resubmit __ copies for approval Approved as noted
 For your use For review and comment Submit __ copies for distribution Approved as submitted
 As requested Returned for corrections Return __ corrected prints For storage
 FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS:

Copy To: Acts Retirement Life Signed: Chris B. Isenberg, RLA

* If enclosures are not as noted, kindly notify us at once



Lower Gwynedd Township
1130 N. Bethlehem Pike, P.O. Box 625
Spring House, PA 19477
(215)646-5302- phone
(215)646-3357-fax
www.lowergwynedd.org

Conditional Use Appeal to Board of Supervisors

1. Date: 10/10/2024

2. Classification of Appeal (check all that apply):
 - Request for a Conditional Use
 - Other (specify): _____

3. Applicant:
 - Name: Acts Retirement Life Communities, Inc.
 - Mailing Address: 420 Delaware Drive
Fort Washington, PA 19034
 - Phone Number: 561-400-6008
 - Email Address: SFletcher@actslife.org
 - State owner of legal title, if other than Applicant: _____
V.P. of Real Estate Services

4. Applicant's Attorney:
 - Name: Bernadette Kearney
 - Mailing Address: HRMML, 1684 S. Broad Street
Lansdale, PA 19446-5422
 - Phone Number: 215-661-0400
 - Email Address: BKearney@HRMML.com

5. Property:
 - Location: Gwynedd Estates, 301 Norristown Rd., Ambler, PA 19002
 - Present Zoning Classification: MF-3 Multifamily District
 - Area: 25.00 Acres
 - Frontage: 1,807.3 LF
 - Depth: 846.7 LF
 - Description of the current use and the existing improvements on the property: Independent and Assisted Living Facility for Seniors

Description of the proposed use and the proposed improvements (if different):

Stormwater piping, grading, gravel trail extension and accessibility improvements within the 25' Riparian Buffer for access to existing Nature Area.

6. Legal grounds for appeal:

Cut/Fill calculations show no additional fill within the 100-year floodplain nor 25' Riparian Buffer area. Proposed improvements are for ADA access to existing nature area. No wetlands nor waters will be destroyed as part of this improvement. Area is maintained as lawn.

7. State each section of the zoning ordinance involved in this application:

Section 1298.17(c)

8. Has any previous appeal or application been filed in connection with this property?

Yes No If yes, date and specifics: _____

Conditional Use granted for trail extension, bridge and storm water management facilities on February 28, 2017 (attached).

9. Is public water available to this property?

Yes No

Is public sewer available to this property?

Yes No

10. Does this Application involve a proposed subdivision?

Yes No

If yes, has a subdivision plan been filed with the Township?

Yes No

Suzette L. Kearney,
Signature of Applicant

Attorney for Applicant



1130 N. BETHLEHEM PIKE • P.O. BOX 625 • SPRING HOUSE, PA 19477-0625 • 215-646-5302 • FAX 215-646-3357

www.lowergwynedd.org

March 1, 2017

Bernadette Kearney, Esq.
ACTS Center-Blue Bell
375 Morris Road
P.O. Box 1479
Lansdale, PA 19446-0773

Re: ACTS Retirement-Life Communities
301 Norristown Road
Lower Gwynedd, PA

Dear Ms. Kearney,

Attached is an executed copy of the Decision and Order approved at the Board of Supervisors meeting on February 28, 2017.

Sincerely,

Craig T. McAnally
Township Manager

/cbc

Enc.



**BEFORE THE BOARD OF SUPERVISORS
OF LOWER GWYNEDD TOWNSHIP, PENNSYLVANIA**

IN THE MATTER OF :
CONDITIONAL USE APPLICATION: :
 :
ACTS RETIREMENT-LIFE :
COMMUNITIES, INC. :
301 NORRISTOWN ROAD :
LOWER GWYNEDD, PA :

DECISION AND ORDER

AND NOW, this 28th day of February, 2017, upon consideration of the application of ACTS RETIREMENT-LIFE COMMUNITIES, INC. (“Applicant”) for a Conditional Use for Township approval to permit the construction of a trail extension, bridge and storm water management facilities in riparian and wetland buffers on property commonly known as Gwynedd Estates (the “Proposed Use”) on property located at 301 Norristown Road, Lower Gwynedd, PA (the “Property”) in accordance with Section 1298.17(c) of the Lower Gwynedd Township Zoning Ordinance, and upon consideration of the testimony produced at the hearing before the Board of Supervisors on February 28, 2017, the application is hereby **APPROVED** subject to the following conditions:

1. Nothing in this Decision and Order shall be construed as either an express or implied waiver of any provision of any applicable ordinance of Lower Gwynedd Township. No level of development is guaranteed by virtue of this conditional Approval and the Proposed Use shall be permitted only if the fully-engineered Plans for the Property can demonstrate compliance with all applicable zoning and subdivision and land development regulations of the

Township as well as any relevant statutes or regulations of any other governmental entity having jurisdiction over development on the Property.

2. The use permitted by this Approval shall be consistent with the application, testimony and exhibits submitted to the Board of Supervisors at the public hearing held on February 28, 2017.

3. Applicant shall be permitted to construct the requested trail extension, bridge and storm water management facilities in riparian and wetland buffers as depicted on the Plan produced as an exhibit to the Conditional Use application. No further improvements shall be permitted on the Property without approval of the Township.

4. All of the terms, conditions and provisions of this Decision and Order shall be included as notes on any final record plan prepared and recorded as a part of any future land development approval for the Property.

**LOWER GWYNEDD TOWNSHIP
BOARD OF SUPERVISORS**

By: 
Stephen J. Paccione, Chairman

Attest: 
Craig McAnally, Secretary

Waivers:
 Section 1230.16 - A waiver to permit only one submission for Preliminary and Final approval.
 Section 1230.19(c)(3)&(4) - A waiver from requiring all existing features within 200 feet of the property boundary be depicted on the plans, unless township request office detail on future project reviews.
 Section 1230.30(c) - A waiver to permit the proposed loading area being located within the existing gas line easement. Written approval from Williams-Transco Gas Pipeline Corporation will be obtained.
 Section 1230.37(c) & 1230.61 - A waiver from requiring curb installation and cartway widening along all existing roads abutting the property.
 Section 1230.41(g) - A waiver to allow twelve (12) parking spaces in a row without the required ten (10) foot landscape strip.
 Section 1230.42(a) - A waiver from providing the required street trees along Norrisstown Road and Tennis Avenue at a frequency of two shade trees per 40 linear feet of street: to count the existing vegetation in lieu of street trees.
 Section 1241.411 - A waiver to permit the use of the Rational Method for the peak rate reduction calculations.

BOARD OF SUPERVISORS CERTIFICATION
 APPROVED BY THE BOARD OF SUPERVISORS OF LOWER GWYNEDD TOWNSHIP
 THIS ___ DAY OF _____
 DANIELLE A. DUCKETT
 CHAIR
 MIMI GLEASON
 SECRETARY

TOWNSHIP ENGINEER CERTIFICATION
 APPROVED BY THE TOWNSHIP ENGINEER ON THE DAY OF _____
 JAMES HERSH, P.E.
 TOWNSHIP ENGINEER

PLANNING COMMISSION CERTIFICATION
 APPROVED BY THE LOWER GWYNEDD TOWNSHIP PLANNING COMMISSION
 THIS ___ DAY OF _____
 CRAIG MELOGRANO
 CHAIRMAN
 LOWER GWYNEDD TOWNSHIP PLANNING COMMISSION

RECORDING CERTIFICATE
 RECORDED THIS ___ DAY OF _____
 IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC. IN AND FOR THE COUNTY OF MONTGOMERY OF NORRISTOWN, PENNSYLVANIA.
 IN PLAN FILE CASE ___ D.B. NO. ___ PAGE ___

OWNER OF RECORD:
 ADULT COMMUNITIES TOTAL SERVICES, INC. HAS LAID OUT UPON OUR LAND SITUATED IN THE LOWER GWYNEDD TOWNSHIP, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA CERTAIN LOTS AND STREETS ACCORDING TO THE ACCOMPANYING PLAN.
 WITNESS MY HAND AND SEAL THIS ___ DAY OF _____ 20__
 SEAN FLETCHER
 SENIOR VICE PRESIDENT - REAL ESTATE SERVICES

**COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF MONTGOMERY
 NOTARY PUBLIC:**
 ON THE ___ DAY OF _____ 20__ BEFORE ME, THE SUBSCRIBED, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA RESIDING IN _____ PERSONALLY APPEARED SEAN FLETCHER WHO ACKNOWLEDGED HIMSELF TO BE THE SENIOR VICE PRESIDENT - REAL ESTATE SERVICES OF ADULT COMMUNITIES TOTAL SERVICES, INC. AND THAT AS SUCH HE BEING AUTHORIZED TO DO SO SEAN FLETCHER EXECUTED THE FOREGOING PLAN BY DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON, AND THAT THE SAID CORPORATION DESIRES THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.
 WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC
 MY COMMISSION EXPIRES: 20__

SURVEYOR CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT THE MONUMENTS SHOWN HEREON EXIST AS LOCATED AND THAT ALL DIMENSIONAL DETAILS ARE CORRECT.

DATE _____ ROBERT M. COHRAC
 REGISTERED ENGINEER OR SURVEYOR (SEAL)

TOWNSHIP STATEMENTS:
 The detention basin and stormwater facilities (as shown on this plan) are a basic and perpetual plan of the storm drainage system of the Township of Lower Gwynedd, and as such are to be protected and preserved. In accordance with the approved final plan by the owner on whose lands the structures are located, The Township of Lower Gwynedd and/or its agents reserves the right and privilege to enter upon such lands from time to time for the purpose of inspection of said detention basin in order to determine that the structural and design integrity are being maintained by the owner.

In the event that maintenance and structural integrity are not maintained by the owner as required by the Township, the owner hereby grants to the Township the right to enter upon such property and to perform any and all improvements, revisions or maintenance as may be determined necessary by the Township and to recover the costs thereof from the property owner by all lawful means including, but not limited to, the imposition of a municipal lien on the subject property.

Open space land may not be separately sold, nor shall such land be further developed or subdivided.

All development activities, such as clearing, grading, re-grading, driveways, roads, buildings, septic systems, detention basins and utility easements shall be limited to the natural resource protection standards as specified in the Lower Gwynedd Township Zoning Ordinance as last amended. The remaining resources shall remain in its natural condition, including the natural forest ground cover. This restriction shall run with the land and be binding on the present and all future owners and/or lessees.

ZONING NOTES

	REQUIRED	EXISTING	PROPOSED
LOT AREA	20 ac	25.00 ac	25.00 ac
LOT WIDTH	200 ft	1488 ft	1488 ft
FRONT YARD	200 ft	56.5 ft	56.5 ft
SIDE YARD	75 ft	44.5 ft	44.5 ft
REAR YARD	75 ft	75 ft	75 ft
BUILDING COVERAGE	20%	11.71%	13.2% (+16,319 s.f.)
IMPERVIOUS COVERAGE	45%	25.15%	28.5% (+36,127 s.f.)
BUILDING HEIGHT	30 ft / 2 stories	30 ft / 2 stories	30 ft
ACCESSORY BUILDING HEIGHT	14 ft	14 ft	14 ft
PARKING	0.85 / Unit + Employee = 238 spaces	241 spaces includes 1 handicap spaces	278 spaces** includes 7 handicap spaces

* EXISTING NON-CONFORMING
 ** VARIANCE FOR PARKING SETBACK (15 SPACES)
 ZHB APPL. 20-03Z SECT. 1276.04 TO PERMIT 7 SPACES IN THE SIDE YARD AND 8 SPACES IN FRONT YARD.
 SECT. 1276.07 TO PERMIT 15 SPACES WITHIN 75 FEET OF THE PROPERTY LINE DATED 7/15/20.

EXISTING CONDITIONS
 151 APARTMENTS = 151 UNITS
 20 PERSONAL CARE BEDS = 20 UNITS
 TOTAL UNITS = 171 UNITS

PROPOSED CONDITIONS
 151 APARTMENTS = 151 UNITS
 59 PERSONAL CARE BEDS = 59 UNITS
 TOTAL UNITS = 210 UNITS***

*** VARIANCE ZHB APPL. 20-03Z SECT. 1276.08(a) TO PERMIT 211 UNITS DATED 7/15/20.

Density Calculations:

8.04 Units x Gross acre = 201 Units (Allowable)
 8.04 Units x 25.00 ac = 201 Units (Allowable)
 Ratio of Apartments to Personal Care not to exceed 9.05 to 1.
 Apartments = 181 Units (Approved)
 Personal Care Beds = 20 Units (Approved)
Existing Conditions:
 Apartments = 151 Units
 Personal Care Beds = 20 Units
 Ratio of Apartments to Personal Care is 7.55 to 1.
One-time Conditional Use Approval Application
 Convert Maximum of 4 Apartment Units to Personal Care Beds at a ratio of 5 Personal Care Beds to 1 Apartment Unit
 4 Apartments x 5 Beds = 20 Personal Care beds

Parking Calculations:

Apartments = 151 x 0.85 = 129 spaces
 Personal Care Beds = 39 x 0.85 = 33 spaces
 Employees = 54 = 54 spaces
 Homiller House = 2 Apartments x 2 = 4 spaces
 237 spaces
 Minimum ADA Handicap spaces required:
 5 Accessible Spaces w/60" Access aisle
 2 Van Accessible Space w/80" Access aisle
 Proposed Ratio of Apartments to Personal Care is 2.56 to 1.



Location Map
 Scale: 1" = 1000'

WILLIAMS PIPELINE NOTES:

- NO CUT IS PERMITTED WITHOUT WILLIAMS WRITTEN APPROVAL.
- FOREIGN LINES ARE TO BE ENCASED IN STEEL PIPE FOR THE FULL WIDTH OF WILLIAMS ROW WHILE MAINTAINING A VERTICAL SEPARATION OF 2' (IF OPEN CUT) AND 5' (IF BORED).
- NO VIBRATORY COMPACTION OVER THE PIPELINES.
- CONSTRUCTION EQUIPMENT MUST BE APPROVED PRIOR TO WORKING/CROSSING THE ROW/NOTE: RESTRICTIONS/PROTECTION MAYBE REQUIRED FOR EQUIPMENT CROSSING OVER THE PIPELINE WITH REDUCE COVER DURING CONSTRUCTION).
- NO MACHINE EXCAVATION WITHIN 2' OF PIPELINE.
- WILLIAMS REP IS REQUIRED TO BE ONSITE FOR ANY WORK INVOLVING ITS ROW.
- WILLIAMS REQUIREMENTS MUST BE ADHERED TO FOR ANY DESIGN AND OR CONSTRUCTION ACTIVITIES INVOLVING WILLIAMS ROW.

OLD YORK ROAD COUNTRY CLUB NOTES:

- THE PROPOSED FIRE LANE WILL NOT BE USED AS AN EMPLOYEE ENTRANCE AT ANY TIME. THE FIRE LANE IS TO BE GATED AT BOTH ENDS. KNOX BOX TO BE PROVIDED FOR ACCESS BY EMERGENCY VEHICLES ONLY.

GENERAL NOTES:

- The Boundary information shown hereon was prepared by Chambers Associates, Inc., and represents the compilation of recorded information and an actual survey completed in January 1997.
- The Plan was prepared without the benefit of a title report and property is subject to Easements, Conditions, and Restrictions etc. contained therein, recorded or unrecorded.
- Topographic features shown hereon were prepared by Chambers Associates, Inc. and represent an actual on-the-ground survey conducted in April 2019.
 Benchmark: The elevations on this plan are based on U.S.G.S. Datum; Benchmark: PA DOT GPS CM-H94-01-91 Disk in concrete, elevation 313.95
- Said property is located within an area having a flood zone designation "A" by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map no. 42091C0287-G with the Date of Identification of March 2, 2016, for Community no. 420993, Lower Gwynedd Township, Montgomery County, Pennsylvania, which is the current flood insurance rate map for the community in which the said premises is situated.
 Zone "A" indicates no base flood elevation has been determined for the 1% annual chance flood (100-year flood).
 Area: Gross 25 acres of land more or less.
 Net 24.47 acres of land more or less.
- Any damage incurred within the public right-of-way as a result of construction is to be repaired at the owner's sole expense.

Site Data:

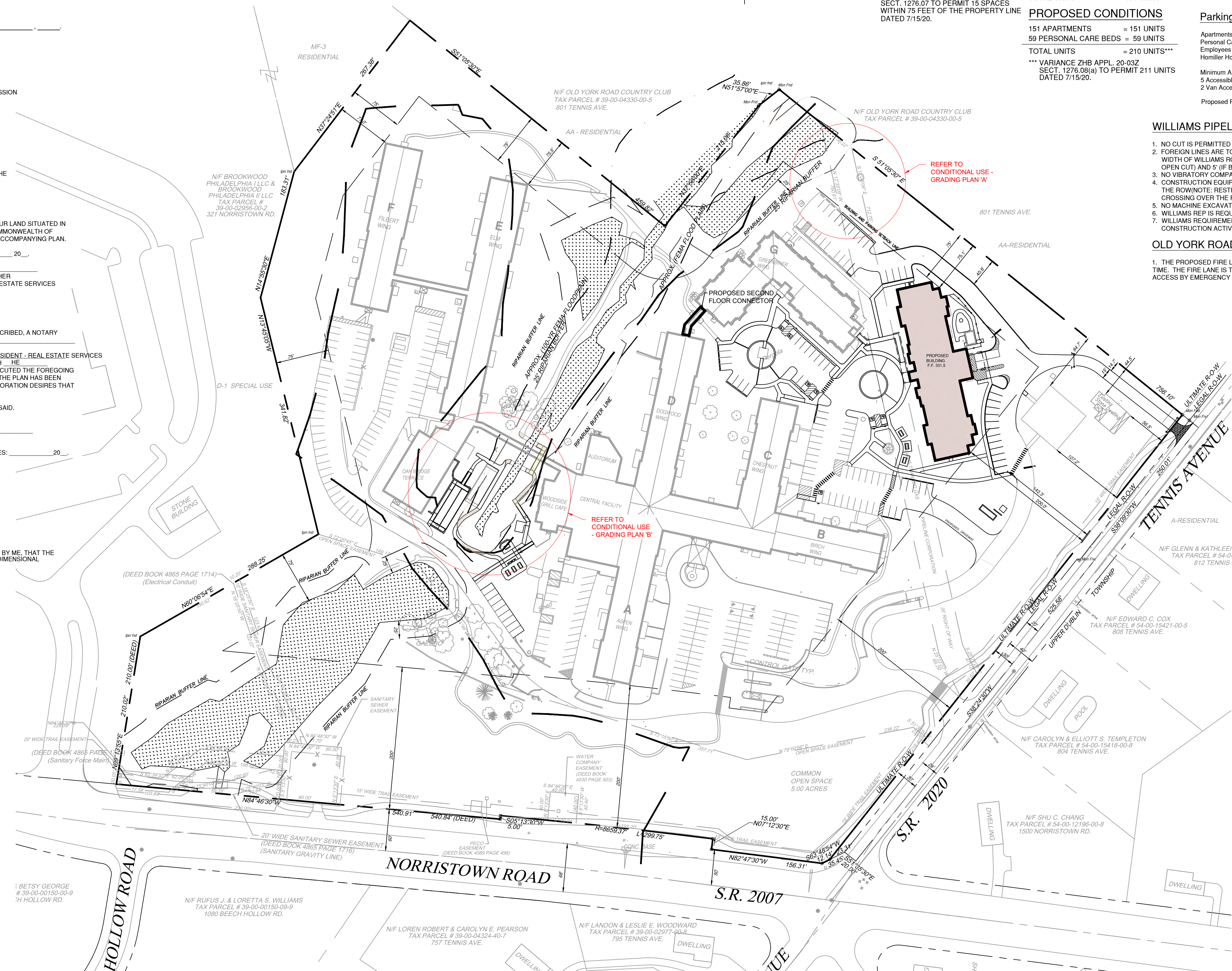
Address: 301 NORRISTOWN RD. SPRINGHOUSE, PA.
 Zoned: MF-3 MULTIFAMILY DISTRICT
 Lot Area: 25.00 ACRES

Owner/Applicant:

ADULT COMMUNITIES TOTAL SERV., INC.
 CORPORATE SERVICES CENTER
 420 DELAWARE DRIVE
 P.O. BOX 2222
 FORT WASHINGTON, PA. 19034

Parcel Information:

Parcel ID: 39-00-02955-00-3
 Tax Map ID: BLOCK 19, UNIT 100



Act 287
 ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.

CERTIFICATION

I, MARTIN J. EUSTACE, III, P.E. DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS, AND REPORTS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH CHAPTER 105 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

MARTIN J. EUSTACE, III P.E.

MCPC No. **20-0152-001**
 PROCESSED AND REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.
 Certified this date _____
 For the Director
 Montgomery County Planning Commission

GRAPHIC SCALE



DRAWING SCALE: 1" = 80' SHEET 2 OF 41

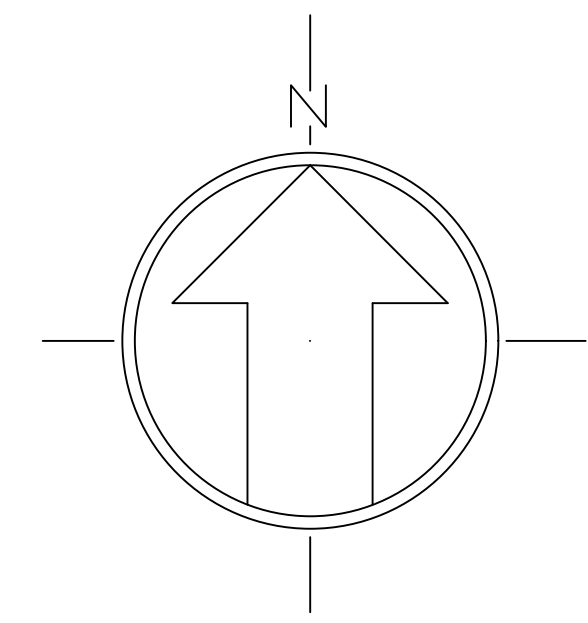
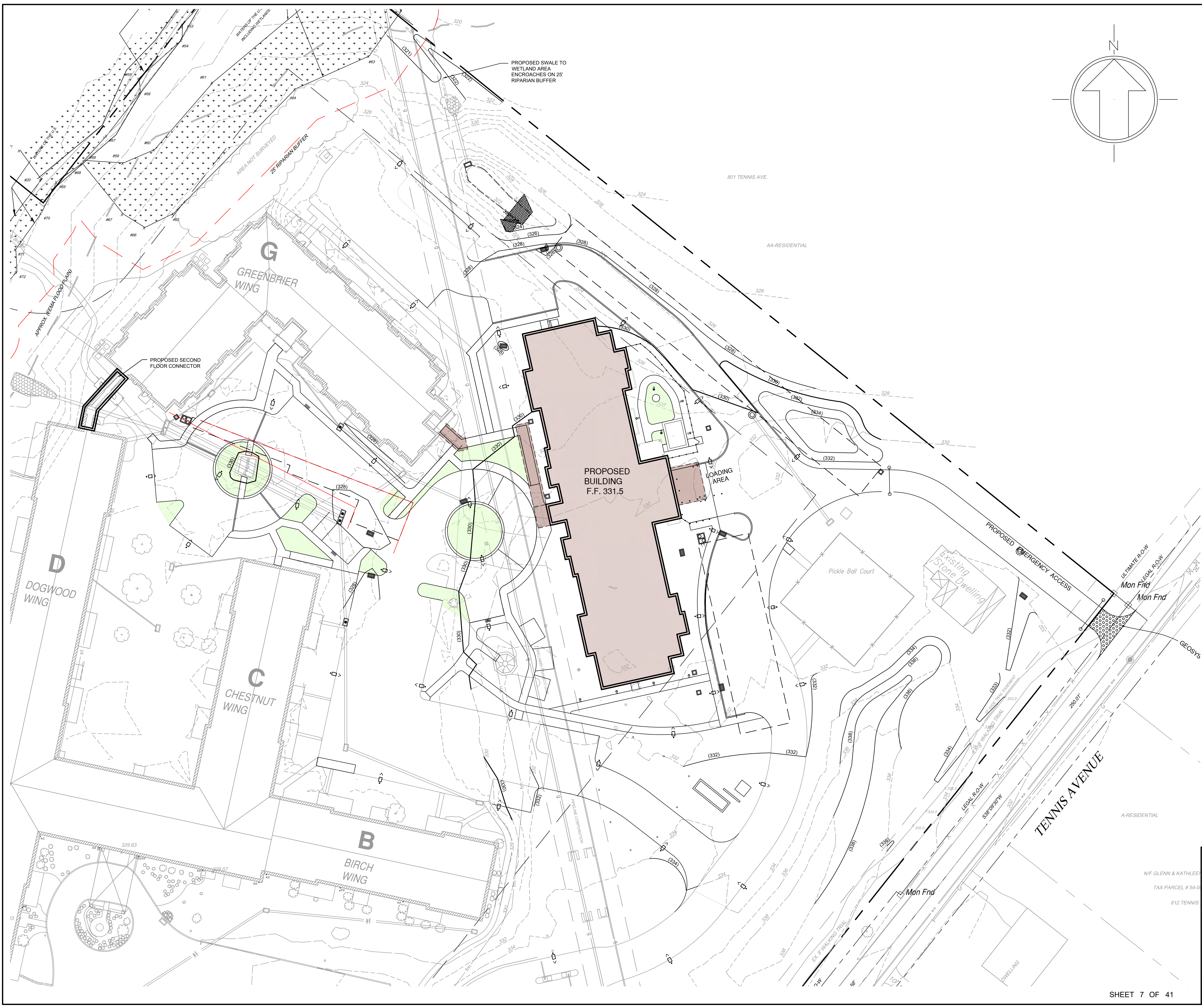
1 10/10/2024 CBI CONDITIONAL USE APPLICATION

CONDITIONAL USE - SITE PLAN
ACTS GWYNEDD ESTATES AL
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

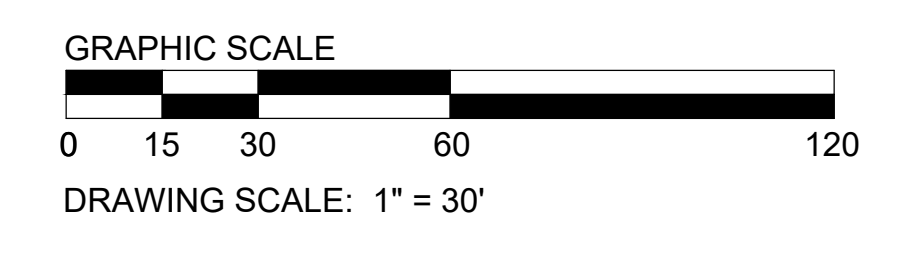
EUSTACE III
 ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS
 307 Easton Road
 Building B - 2nd Floor
 Willow Grove, PA 19090
 Tel: (215) 348-8757
 Fax: (215) 348-8759
 www.eustaceeng.com

DRAWN BY: CBI/AS
 CHECKED BY: MJE
 DATE: 6/21/24
 DRAWING No.: D2373 08B 21

X:\PROJECTS\237308B Gwynedd Estates Assisted Living\AutoCAD\Drawings\Land Development\07_8-GRADING.dwg September 30, 2024



Location Map
Scale: 1" = 1000'



N/F GLENN & KATHLEEN
TAX PARCEL # 54-0-0-0000
812 TENNIS

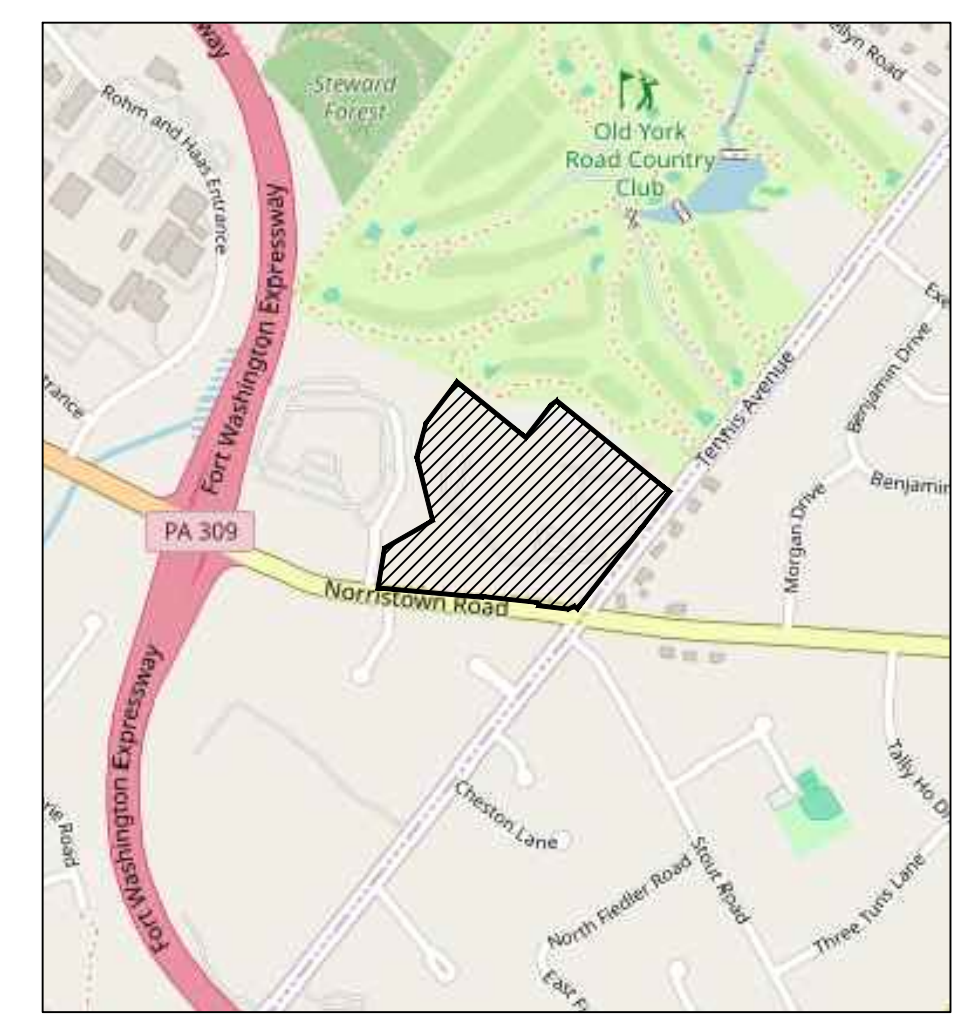
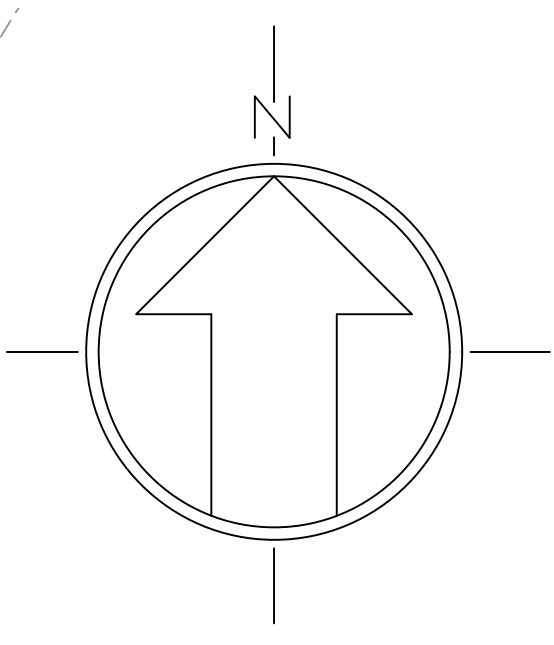
CONDITIONAL USE - GRADING PLAN - A
ACTS GWYNEDD ESTATES AL
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

GEUSTACE
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

MARTIN J. EUSTACE, III
307 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090
Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com
PA Lic. PE048891E

DRAWN BY: JAS
CHECKED BY: MJE
DATE: 6/21/24
DRAWING No.: D 2373 08B 45

X:\PROJECTS\2373\08B Gwynedd Estates Assisted Living\AutoCAD\Drawings\Land Development\07_8-GRADING.dwg September 30, 2024

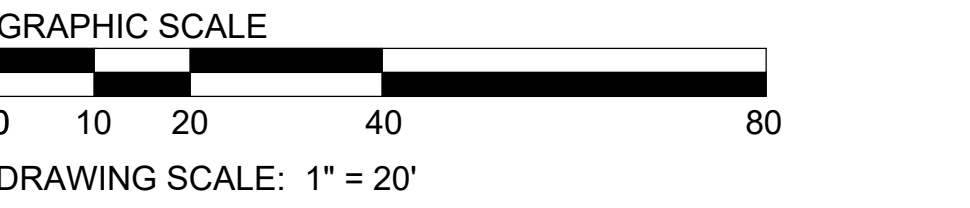


Location Map
Scale: 1" = 1000'

Riparian Buffer and FEMA Floodplain
Cut-Fill Calculations - Contour Method

Elevation	Fill Area (SF)	Cut Area (SF)	Fill Volume (CF)	Cut Volume (CF)	Net Volume (CF)
327	0.0	0.0			
326	120.4	79.6	60.2	39.8	20.4
325	71.8	0.0	96.1	39.8	56.3
324	29.7	0.0	50.7	0.0	50.7
323	23.4	140.5	26.5	70.2	-43.7
322	0.0	338.7	11.7	239.6	-227.9
321	0.0	57.1	0.0	197.9	-197.9
320.95	0.0	0.0	0.0	1.4	-1.4
TOTALS (CF):			245.3	588.7	-343.5
TOTALS (CY):			9.1	21.8	-12.7

*NOTES: Calculations are limited to the areas within the 25 foot Riparian Buffer and/or the FEMA Floodplain lines shown on the plan at left.



1 10/10/2024 CBI CONDITIONAL USE APPLICATION

CONDITIONAL USE - GRADING PLAN - B
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

MARTIN J. EUSTACE, III
PROFESSIONAL ENGINEER
04899-E

EUSTACE
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

307 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090
Tel: (215) 346-8757
Fax: (215) 346-8759
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DRAWN BY: CBI/LAS
CHECKED BY: MJE
DATE: 6/21/24
DRAWING No.: D 2373 08B 46

**LOWER GWYNEDD TOWNSHIP
PLANNING COMMISSION
Minutes of October 16, 2024**

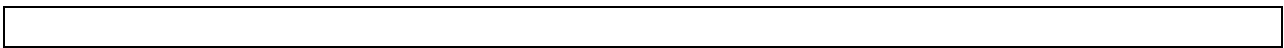
Present: Craig Melograno, Chair
Rich Valiga, Vice-Chair
Maureen Nunn
Danielle Porreca
Michael Mrozinski

Patty Furber, B&Z Administrator
Chad Dixson, Bowman
Ed Brown, Gilmore & Associates

Absent: Craig Adams, Rusty Beardsley

Call to Order:

The meeting of the Lower Gwynedd Township Planning Commission was called to order at 7:00 PM.



Approval of Minutes: August 21, 2024

A motion was made by Mr. Mrozinski and Ms. Porreca to approve the minutes of the Lower Gwynedd Township Planning Commission meeting of August 21, 2024. The motion carried unanimously.



Conditional Use Application:

**ACTS Gwynedd Estates
301 Norristown Rd.**

#24-07CU

Present for the conditional use application was Ms. Bernadette Kearney from HRMM&L, Mr. Chris Isenberg and Mr. Martin Eustace from Eustace Engineers.

Ms. Kearney gave the PC background on the history of their previous approvals. Ms. Kearney stated back in 2022 both the PC and BOS approved their land development application for a skilled nursing facility. Ms. Kearney stated that they previously met with Old York Road Country Club, and they came to an agreement back in 2022 prior to receiving their preliminary/final approval. Ms. Kearney stated that they notified the country club regarding the change of the beds from skilled nursing to personal care. Ms. Kearney stated that they had to tweak the neighbor agreement since those references skilled nursing beds instead of personal care beds. She stated they are also working on issues with the country club regarding the two trees near the area of the golf course.

Ms. Kearney stated that they received their review letter from Gilmore in reference to the amended land development plans. She stated that their review letter noted that conditional use application would be required for the riparian buffer. She stated that back in 2017 they had to obtain conditional use approval for a riparian buffer for the trail. Mr. Melograno wanted to know if we are just proceeding with their condition use application tonight and are they returning for the remainder of their requests. Mr. Brown stated that he thought they would just go back to the BOS for their amended land development plans. Ms. Kearney stated that they intend on doing a little more with stormwater improvements than originally submitted. She stated that she intends on notifying the country club of their changes. Mr. Brown stated that most of the amendments to their plans address stormwater only.

Mr. Eustace explained that there is an existing basin on the north side of the campus and a pond that discharges into a channel. Mr. Eustace stated that their plans consist of Point A (shows the area of the exiting surface basin and how that discharges) and Point B (shows the southern part of the campus including adding new activity amendments). He stated there is no change in the existing footprint. Mr. Eustace stated that part of the project consists of an existing surface basin along the north property line. He stated they kept a portion of the surface basin, converted the balance of the basin and expanded the overall size to meet today's requirement. He stated they had a meeting earlier in the week with the country club and they had concerns regarding stormwater. After that meeting, they developed a concept plan that realigns the discharge pipe in a fashion that would be more parallel to the property line. This would keep all the water coming off that basin from the golf course. Mr. Eustace stated that their design feature would not interfere with the Williams Gas Pipeline (that runs parallel to the basin). He stated that they came up with a concept plan which consists of adding a berm that will move the swale up towards the headwall. They will install a level spreader to spread the stormwater discharge. He stated that the level spreader will consist of the berm with a concrete pad for a solid surface.

Mr. Brown stated that he thought it was reasonable to recommend approval for stormwater and grading related disturbances within the riparian buffer as part of their conditional use. Mr. Valiga wanted to know if the runoff was still going onto the golf course. Mr. Eustace stated that some of the stormwater would go towards the golf course, but they will redirect that towards an existing swale along the channel. Ms. Kearney stated that she will email the revised Plan A to the country club for their review. Mr. Eustace stated that they are going the extra mile to better the stormwater situation for the country club.

Mr. Eustace showed the PC a rendering showing a bistro, grille area and bocce ball court. This new plan is to be referred to as Plan B (this was not included in their original conditional use submission to the township or Gilmore). Mr. Eustace stated that the

ACTS community wanted to enhance that gathering area for their residents. He stated that the residents were looking to add a bocce ball court. He stated there are no ADA accessible rails to access their gathering area. Currently, the residents must cross the east side (where there are two existing bridges) to cross from one side of the campus to the other. He stated that they are proposing a new walkway with a clearance of 6'8" to create an opportunity to walk the balance of the campus. He stated there are some existing paths that were part of an existing conditional use, and they are just trying to connect to those paths.

Mr. Eustace stated that they are going to design a stormwater system on the west side of the campus, which includes collecting the down spouts from OakBridge Terrace and direct the runoff to the stormwater management facility underneath the bocce court. Mr. Eustace stated that when you combine all the stormwater management facilities into the overall project, it makes quite an impact. He stated they can reduce the lower flood storm events by 44% and a higher-level flood storm event by 16-33%. He stated that when you sum up all these steps, they are helping the golf course even more than they realize. He stated that this overall design is going to have a positive impact. Mr. Melograno wanted to know what happens if the reviews come back and someone doesn't like Part A or Part B of their plan, then what. Mr. Eustace stated that they submitted their plans to the Montgomery County Conservation District and walked them through their entire project. He stated the conversation district had the first crack at their original design, they took the county's comments into consideration with their plans. Mr. Melograno wanted to know how this new plan doesn't change their land development approval. He stated that the bocce ball court is new and what they are proposing with Plan B is all new, so how doesn't that affect their land development. Mr. Brown stated that the amended plans were deemed minor enough to just amend the final approval, but Plan B was not part of that. Mr. Brown stated that they don't seem like major changes to the original land development.

Mr. Brown stated that they have not received their NPDES approval, so they had to make some revisions to their stormwater management systems. Mr. Brown stated that there are two additional waivers that were requested. He stated that waiver request #7 does not apply so that will be removed from the plans. Mr. Brown stated that Gilmore had no objection to their waiver request #6, but they will need to add some clarification on the plans and to count the existing vegetation. Mr. Mrozinski wanted to know if Mr. Brown saw any issues with either plan. Mr. Brown stated that he sees no major concerns since they are not disturbing the wetlands. Also, with Part B, which consists of mainly stormwater and trails, he noted that many of the trails already exist, so he doesn't foresee any issues. Mr. Valiga wanted to know about the waivers, if they have received approval from the Williams Pipeline Company. Mr. Eustace stated that they have contacted them and have received unofficial approval (via email).

Mr. Eustace stated that they had met with Mr. Brown and Mr. Hersh from Gilmore to address all past issues and that was extremely helpful.

A motion was made by Mr. Mrozinski and seconded by Ms. Porreca to recommend approval of the conditional use application to the BOS with the following recommendations:

1. The PC recommends approval of the stormwater and grading improvements in the riparian buffer for Part A;
 2. The PC recommends approval of the stormwater, grading and trail improvements in the riparian buffer for Part B;
 3. The applicant will comply with Gilmore’s review letter dated Sept. 18, 2024; the PC supports the additional waiver request (#6) per the plans for Part A and revised Part A;
 4. The PC supports the approval of the amended land development submission.
- The motion passed with a 5-0 vote.



**Lower Gwynedd Township & BET Investments:
MF-3 Text & Map Draft Amendment Ordinance**

Present for the draft amendment was Mr. Michael Markman from BET Investments and Ms. Julie Von Spreckelsen from Eastburn & Gray, PC. Ms. Spreckelsen stated that BET Investments are the equitable owners of 321-323 Norristown Road which is currently zoned D-1. Ms. Spreckelsen stated that the applicant proposes a mixed-use development which is not permitted within the D-1 district. Ms. Spreckelsen stated that this text amendment would allow the campus to be rezoned from D-1 to MF-3 and a mixed-use section would be added to the ordinance through conditional use. Mr. Markman showed renderings of the future campus that showed apartments, retail and office use. Mr. Markman stated the apartments would be very similar to their project located at 555 Flats in Horsham. Mr. Markman stated that the office park is currently in poor condition. Mr. Markman stated that the property is located next to the ACTS site. He stated that they had met with ACTS and stated that it was a great meeting. He stated that they also met with the country club since they will be direct neighbors.

Mr. Markman stated that the “L” shaped building on the site is currently occupied by Berkadia. He stated that their employees work in the office 3 days a week and they would like to keep that space. They are currently working on an extension with Berkadia through 2038. Mr. Melograno stated that if the lease works out with Berkadia, that building needs a lot of work. Mr. Markman stated that building improvements would be part of the process.

Mr. Markman proceeded with showing more renderings of the proposed site. He stated that they plan on building a higher-end apartment building with a parking garage. The tenants would drive into the parking garage, park as close as possible to the building, and be able to walk right into their apartment. Mr. Markman stated that the site would have EV charging stations, a courtyard with a pool and other amenities. Mr. Markman stated that none of the renderings are set since zoning approval is still required. Mr. Markman stated that the site would include some retail, along with office and residential. Mr. Markman stated that a grocery store would be included so their tenants wouldn't have to leave the site if they didn't want to.

Ms. Porreca wanted to know if a traffic study was conducted. Mr. Markman stated that one was submitted to the township around 6 months ago. Ms. Porreca stated that she lives right near that intersection, and it's already congested and very loud. Mr. Markman stated that the traffic study would be discussed at the next meeting. Mr. Dixon stated that their traffic study was not received by his office. Mr. Markman stated he would send it again.

Mr. Markman stated that they have been working with the township and the Montgomery County Planning Commission to include 10% of the units as workforce housing that would include a reduction in rent. Mr. Melograno wanted to know if the applicant is OK with the way the ordinance reads now. Mr. Markman stated that they worked with John Kennedy and the township to rewrite the ordinance numerous times and agree with everything that is written. Mr. Melograno stated that there was an internal meeting with township staff where the draft ordinance was discussed. From the discussion at the internal township meeting, Mr. Melograno stated that there would be no digital signs at the site and the parking structures would be for residential use only. Mr. Markman agreed that there would be no digital signs on their site and the parking garage would be used only for residential use. Mr. Melograno stated that the parking structure was also to provide some type of architectural element for buffering. Mr. Markman stated that buffering will be included.

Mr. Valiga wanted to know about the impervious coverage, specifically the 65% allowance. He stated that it wasn't clear if that only applied to the parking structure only. Ms. Spreckelsen explained that the ordinance is trying to encourage adding a parking structure. If a parking structure is added to the site, you would be permitted 65% impervious coverage vs 20% if no parking garage was added.

Mr. Valiga wanted to know about the front yard setback and where would the front yard be located. Mr. Markman stated that it would be along Norristown Rd. Mr. Valiga stated that the setback is currently at 50 feet and that there was a comment that it should be 100 feet. Mr. Valiga wanted to know what the setback included if that included grass and trees or structures. Mr. Brown stated that would be the building setback line. Mr.

Valiga and Mr. Melograno wanted to know what the changes to the setbacks would be since this zoning district already exists. Mr. Melograno suggested since MF-3 already exists and they want to change the setbacks, they need to submit the data to compare. Mr. Valiga stated that it would be extremely helpful to compare what the standards are to what is proposed. Ms. Porreca wanted to know if this would be the tallest building within the township. The proposed building will be 5-stories. Mr. Valiga stated that he struggled with the definition of workforce housing until he got to page 4. Mr. Melograno wanted the applicant to explain workforce housing. Mr. Markman stated that was requested by the township. Mr. Markman stated that would include 10% of the units and would likely result in a rent reduction of \$300-\$500 monthly. Mr. Melograno wanted to know if they had any other projects where they had the workforce units incorporated into their apartment buildings. Mr. Markman stated that they have not had any experience in incorporating the workforce units into their developments. Mr. Valiga wanted to know if there were any other workforce units within Montgomery County. He stated he wanted to see how this would be monitored since a lot of information is required, such as income. Mr. Markman stated that Montgomery County issues a median income, that they would have to submit a report to the township, and there is record keeping involved. Mr. Valiga wanted to know how functional this is and if it's working in other developments. Mr. Markman stated that they would find other apartments that have workforce units included and bring that information back to the PC. Mr. Valiga wanted to know how they would deny an application for the workforce units. Mr. Markman stated that they would look at their income to see if they would qualify. Mr. Melograno wanted to know what income would be considered, could the applicant use a co-signer. Mr. Markman stated that a tenant wouldn't be able to include a co-signer. He stated that each two-bedroom unit will be limited to two tenants only. Mr. Markman stated that the township could change the ordinance in 5 years and always remove the workforce units, they are just adding it because it was requested by the BOS.

Mr. Melograno stated that three uses are required to qualify as a mixed-use site and wanted to know what their third use would be. Mr. Markman stated that there is an interest in a restaurant. So, there would hopefully be a grocery store, restaurant and apartments. Mr. Valiga suggested they add a connection such as a walkway or trail from their site on Norristown Rd. to connect to Sumneytown Pike. Mr. Markman stated that there were discussions about adding a sidewalk for connection underneath the 309 bypass. Mr. Melograno stated that the PC's biggest concern was the front yard setback. He stated that he looked it up and that the existing front yard setback is currently 200' feet. Ms. Spreckelsen stated that the existing setback would be difficult to achieve since the Old York Road Country Club requested that their new building not be so close to their property. Mr. Markman stated that he would investigate different configurations. Ms. Spreckelsen wanted to know what was the PC's concern regarding the front yard setback. Mr. Melograno stated that the Spring House Innovation Park has a 200' front yard setback and that was a big deal for the residents towards that side of 309. Mr.

Markman stated with that, his issue is retail use. He stated that retail stores prefer to be closer to a roadway for visibility. Mr. Mrozinski stated that if they are looking at connecting to 309 that might change the way they might do their setbacks. Mr. Melograno wanted to know if they could have different setbacks for the different uses. Mr. Markman stated that they will be back next month to go over this in more detail.

The PC recommends the following:

1. The PC recommends adding the definition of “workforce dwelling units” to the first page (second paragraph);
2. Some of the PC members have concerns about the inclusion of the workforce housing units as part of the ordinance;
3. The PC’s biggest concern is the front yard setback requirement; they would prefer different setbacks for each proposed use (residential/retail/office).



ADJOURNMENT

There being no further business, the meeting was adjourned at 8:50 P.M.

Respectfully submitted,
Patty Furber, Secretary

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

JAMILA H. WINDER, CHAIR
NEIL K. MAKHIJA, VICE CHAIR
THOMAS DIBELLO, COMMISSIONER

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**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY • PO Box 311
NORRISTOWN, PA 19404-0311

610-278-3722
PLANNING@MONTGOMERYCOUNTYPA.GOV

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

November 8, 2024

Ms. Jamie Worman, Assistant Township Manager
Lower Gwynedd Township
1130 North Bethlehem Pike
Post Office Box 625
Spring House, Pennsylvania 19477

Re: MCPC # 20-0152-002
Plan Name: Riparian Buffer Improvements
1 lot comprising 25 acres
Situat: Norristown Drive (cross street: Tennis Avenue)
Lower Gwynedd Township

Dear Ms. Worman:

We have reviewed the above-referenced conditional use land development plan as you requested on October 16, 2024. We forward this letter as a report of our review.

BACKGROUND

The applicant, Acts Retirement Life Communities Inc., is proposing a two-story building on an existing continuing care retirement community campus. The proposal includes modifications to existing access drives, an expansion of off-street parking, an emergency access drive onto Tennis Avenue, and new internal pedestrian walkways. In addition, the applicant is seeking conditional use approval to construct a trail extension, bridge, and stormwater management facilities within the riparian and wetland buffer area. The township prohibits “filling, grading, clearing or development related to any structure or improvement, including stormwater management facilities” within any wetland or riparian buffers (§ 1298.17); however stormwater management facilities, utility crossings, roads and driveway crossings may be permitted by conditional use if no other reasonable alternative exists. The property is located in the MF-3 Multifamily zoning district. We reviewed a previously submitted proposal for this site in a letter dated September 25, 2020.

COMPREHENSIVE PLAN COMPLIANCE

The proposal is generally consistent with the county’s comprehensive plan, *MONTCO 2040: A Shared Vision*, which shows the area located in the “Suburban Residential” future land use areas. Suburban Residential



areas consist of single family detached homes, less dense single-family attached uses, and institutional uses. Residential development should match the character and type of housing found in the immediate neighborhood, and environmentally sensitive land should be preserved.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issue that the applicant and township may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

SITE PLAN

- A. Tree Preservation. The property contains existing mature trees, which are shown on the submitted plans. Based on the plans provided, it is unclear how many trees would be removed for the development of the building and other site improvements. The township requires that the preservation of healthy trees and shrubs be considered during land development site planning (§ 1230.41(i)). We recommend the applicant coordinate with the township to determine the best location for any required replacement trees.

CONDITIONAL USE

- A. Buffer Replacement. The proposal includes disturbance within the riparian and wetland buffer area, which is permitted by conditional use, per Section 1298.17(c). Township zoning requires that any riparian and wetland buffer area that is destroyed must be replaced elsewhere on the site. We recommend that the applicant demonstrate where they propose to add to the riparian corridor, to the satisfaction of the township engineer. In addition, inspection of the vegetation may be needed to determine if new riparian plantings would have an added environmental benefit.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal but we believe that our suggested revisions will better achieve Lower Gwynedd's planning objectives for sustainable development practices.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Please print the assigned MCPC number (24-0223-001) on any plans submitted for final recording.

Sincerely,

A handwritten signature in black ink, appearing to read "Claire Warner". The signature is fluid and cursive, written in a professional style.

Claire Warner, Senior Community Planner

Claire.Warner@montgomerycountypa.gov – 610-278-3755

c: ACTS Retirement Life Communities, Inc., Applicant
Bernadette Kearney, Applicant's Representative
Mimi Gleason, Township Manager
Kenneth Amey, AICP, Township Zoning Officer
Craig Melograno, Chairman, Planning Commission

Attachment A: Aerial Image of Site

Attachment B: Reduced Copy of Applicant's Proposed Site Plan

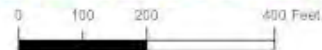
ATTACHMENTS A & B

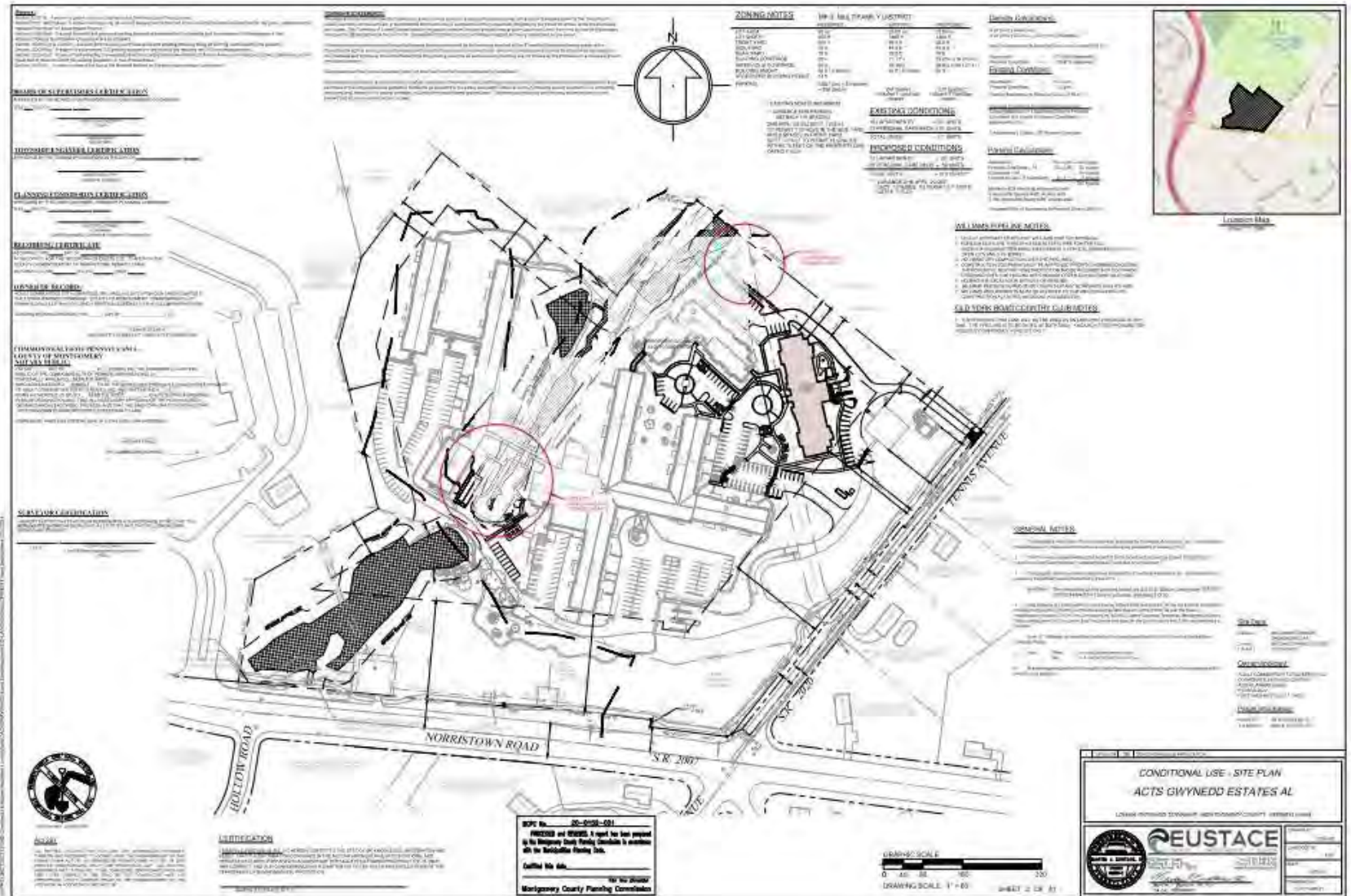


Riparian Buffer Improvements
MCPC#240230001

Montgomery
County
Planning
Commission

Montgomery County Courthouse - Planning Commission
300 Pine, 311 Leominster Pl, 1930-443111
(610) 278-3722 (610) 278-3141
www.montco.org/planning
Aerial photography extracted by Naismap







November 21, 2024

File No. 20-08061

Mimi Gleason, Township Manager
Lower Gwynedd Township
1130 N Bethlehem Pike, P.O. Box 625
Spring House, PA 19477

Reference: Gwynedd Estates, Amended Final Approval – Review 2
TMP #39-00-02955-00-3, Block 19, Unit 100
Preliminary/Final Land Development Plans

Dear Ms. Gleason:

Pursuant to your request, Gilmore & Associates, Inc. performed a review of the Amended Final land development plan submission for the above-referenced project. Upon review we offer the following comments for consideration by the Lower Gwynedd Township Board of Supervisors:

I. Submission

- A. Preliminary/Final Land Development Plans, consisting of sheets 1 through 44 of 44, dated June 21, 2024, last revised October 16, 2024, as prepared by Eustace Engineering, for Gwynedd Estates, located at 301 Norristown Road.
- B. Post-Construction Stormwater Management Report dated June 21, 2024, last revised October 16, 2024, as prepared by Eustace Engineering, Inc. for ACTS Retirement Life Communities, Inc.
- C. Erosion and Sediment Control Report, as prepared by Eustace Engineering, Inc., dated October 16, 2024.
- D. Comment Response Letter, as prepared by Eustace Engineering, Inc., dated October 16, 2024.
- E. Conditional Use Grading Plan, as prepared by Eustace Engineering, Inc., dated June 6, 2024, last revised October 16, 2024.

II. Project Description

The subject property TMP #39-00-02955-00-3, located at 301 Norristown Road, is situated in the Lower Gwynedd Township MF-3-Multifamily District. The subject property is accessed from Tennis Avenue (S.R. 2020). The tract consists of approximately 25 acres and currently contains an existing retirement community which includes a large central facility with three interconnected wings with various paved parking areas and access drives.

The plans propose the addition of a building at the northeastern corner of the site with additional parking and the reconfiguration of the existing access drives. The additional runoff from the added impervious surfaces areas will be controlled with an above grade MRC basin and five (5) subsurface infiltration basins beneath the parking areas.

III. Reference Documentation

- A. Lower Gwynedd Township Board of Supervisors Resolution No. 2022-26 granted conditional Preliminary/Final Land Development Approval of the Plans at their regular meeting on November 7, 2022. We note that since the approval, the plans have been revised to include additional improvements to areas within the campus, including the replacement of bocce court and picnic area. In addition, the plans have been revised to amend the stormwater design to include additional stormwater management facilities on-site.

65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

IV. Review Comments

A. Zoning Variance Granted

At their July 16, 2020 meeting, the Lower Gwynedd Township Zoning Hearing Board granted the following variances from the Lower Gwynedd Township Zoning Ordinance:

1. §1276.04 – To allow 7 parking spaces in the side yard and 8 parking spaces in the front yard.
2. §1276.07 – To allow 15 parking spaces within 75 feet of the property line.
3. §1276.08(a) – To allow the residential units per acre exceed a ratio the allowable 201 units up to 211 units.

B. Zoning Ordinance

We offer the following comments with respect to the Lower Gwynedd Township Zoning Ordinance.

1. §1298.17 – The minimum riparian buffer shall be 25 feet. Additionally, no filling, grading, clearing or development related to any structure or improvement, including stormwater management facilities, shall be permitted within any wetlands, active creeks, streams, watercourses, waters of the commonwealth, waters of the United States of America, wetlands buffers or riparian buffers, unless permitted by conditional use. We note that the revised plans include improvements within the riparian buffer in the area of the proposed bocce court, including concrete pedestrian ramp, gravel walkways, minor grading and stormwater piping and level spreader.

C. Waivers Requested

On November 7, 2022, Lower Gwynedd Township Board of Supervisors, per Resolution 2022-26, granted the Applicant the following waivers from the provisions set forth in the Lower Gwynedd Township Subdivision and Land Development Ordinance (SALDO). We note that since the plans have been amended, the Applicant will be required to obtain the requested waivers below.

1. §1230.16 – A waiver to permit a single submission for Preliminary and Final approval.
2. §1230.19(c)(3)&(4) – A waiver from the requirement that all existing features within two hundred feet (200') of the Property boundary be depicted on the Plans. The Applicant has agreed to provide any offsite detail that the Township Engineer deems necessary as part of future project reviews.
3. §1230.30(c) – A waiver to permit the proposed building entrance area being located within the existing Williams-Transco Gas Pipeline Corporation gas line easement.

This waiver is expressly conditioned upon the Applicant providing the Township with written approval from Williams-Transco, permitting the proposed building entrance area within the existing easement.

4. §1230.37(c) & §1230.61 – A waiver from the requirement to install curb and to widen the cartway along all existing roads abutting the Property.
5. §1230.41(g) – A waiver to allow thirteen (13) parking spaces in a row without the required ten-foot (10') landscape strip.

This originally approved waiver was to allow a maximum of twelve (12) spaces in a row, but since the plans have been revised the waiver has been amended to request a maximum of thirteen (13) spaces in a row.

Additionally, we note that the following waiver requests were not included in the original resolution and have been added to the plans.

6. §1230.42(a) – A waiver from providing the required street trees along Norristown Road and Tennis Avenue at a frequency of two shade trees per 40 linear feet of street: to count the existing vegetation in lieu of street trees.

We have no objection to counting existing trees to meet this requirement; however, we ask that the trees to be counted be identified on the plan by location, size, and species.

D. Conditions of Approval

The Applicant received Preliminary/Final Land Development Approval from the Lower Gwynedd Township Board of Supervisors at their regular meeting on November 7, 2022. Due to the plan revisions, we recommend the Board consider the conditions below as noted in the original approval resolution.

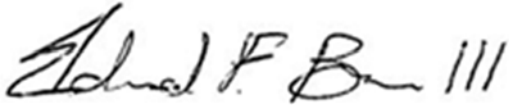
1. The Applicant is responsible for all required third party approvals, permits, etc. (e.g., Montgomery County Conservation District, PennDOT HOP, Fire Marshal, PADEP, etc.)
2. The Applicant will be required to enter into a Land Development and financial security Agreement with Lower Gwynedd Township. The documents will be prepared by the Township Solicitor and should be executed prior to the issuance of any building permits.
3. The Applicant will be required to enter into a Stormwater Ownership & Maintenance Agreement with the Township for the proposed on-site stormwater improvements. The document will be prepared by the Township Solicitor and shall be executed prior to the plans being recorded.
4. The Applicant will be required to pay a Stormwater Management Facility Fee for the proposed stormwater facilities. **We note that since the plans have been revised, the total storage was increased to 15,616 cubic feet. As such, the stormwater management fee amounts to \$7,808.00 in accordance with Lower Gwynedd Township Resolution 2005-16.**
5. The Applicant will be required to pay a transportation impact fee in the amount of \$22,850.00.
6. The Applicant shall provide the Township Manager and Township Engineer at least 72 hours' notice prior to the initiation of any grading or ground clearing.

In addition, we note the following outstanding comments, as well as offer additional comments from the revised design shall be addressed:

7. §1230.31 – We note that the retaining wall appears to be roughly four (4) feet in height. As such, the Applicant shall provide retaining wall design calculations from a structural engineer registered in the Commonwealth of Pennsylvania.
8. §1230.63 – The Applicant will be required to enter into a Tapping Fee Agreement for the proposed sewer connection. The agreement will be drafted by the Township Sewer Solicitor and shall be executed prior to the connection of the sewer facilities.
9. The spot elevations and curb elevations previously provided on the grading plan shall be added back to the plans.
10. The Applicant shall provide correspondence from the easement owner that this is acceptable. Additionally, the Applicant shall provide proof of an access easement to cross the gas easement. The Applicant has indicated that the Plans were submitted to Williams Pipeline and have been informally approved. The plans for the new swale from the existing basin and sanitary sewer easement will be submitted separately after formal approval for the amendments.
11. The note on sheet 38 states “Refer to sheet 32, “site landscape plan”, for additional detail within disturbed area”. We note that the note references the wrong sheet and shall be revised.
12. We note that the Applicant has responses to the pump station upgrade comments. Any additional comments will be provided under a separate cover.

If you have any questions regarding the above, please contact this office.

Sincerely,



Edward Brown, P.E.
Project Manager
Gilmore & Associates, Inc.

EB/sl

cc: Jamie Worman, Assistant Township Manager
Neil A Stein, Esq., Township Solicitor
Patty Sexton-Furber, Building Codes Administrator
Al Comly, Township Fire Marshal
Chad Dixon, AICP, PP, McMahon Associates, Inc.
Marty Eustace, P.E., Eustace Engineering
Chris Isenberg, R.L.A, Eustace Engineering
James Hersh, P.E., Gilmore & Associates, Inc.



October 8, 2024

Ms. Mimi Gleason
Township Manager
Lower Gwynedd Township
1130 N. Bethlehem Pike
Spring House, PA 19477

RE: **Traffic Review #5 – Preliminary/Final Land Development Plans**
Gwynedd Estates – 301 Norristown Road (S.R. 2007)
Lower Gwynedd Township, Montgomery County, PA
Project No. 314087-01-010

Dear Mimi:

As requested, on behalf of Lower Gwynedd Township, Bowman Consulting Group (Bowman) has completed our fifth (5th) traffic engineering review of the proposed expansion to the existing Gwynedd Estates campus located at 301 Norristown Road (S.R. 2007) in Lower Gwynedd Township, Montgomery County, PA. It is our understanding that the proposed expansion will consist of a proposed building containing 39 skilled nursing beds. Access to the site will continue to be provided via the existing full-movement driveway along Tennis Avenue (S.R. 2020), as well as a proposed emergency-only access to Tennis Avenue (S.R. 2020) located to the north of the existing full-movement driveway.

The following documents were reviewed in preparation of our review:

- Preliminary/Final Land Development Plans – ACTS Gwynedd Estates AL, prepared by Eustace Engineering, dated June 21, 2024.
- Response to Township Engineer Comments – Gwynedd Estates AL, prepared by Eustace Engineering, dated July 25, 2024.

Based on our review of the submitted document noted above, Bowman offers the following comments for consideration by the Township and action by the applicant.

1. The applicant was previously granted a waiver from the following Subdivision and Land Development Ordinance requirements per Township Resolution 2022-26. However, since the plans are being amended, the applicant will be required to obtain a new waiver from the following ordinance requirements which are listed on Sheet 2 of the plan set:
 - Section 1230.37(c) – requiring a 34-foot cartway width along Tennis Avenue (S.R. 2020).
 - Section 1230.41(g) – requiring a maximum of 10 parking spaces in a row without provision of a 10-foot landscaped island.
 - Section 1230.61 – requiring curbing along the site frontages of Tennis Avenue (S.R. 2020) and Norristown Road (S.R. 2007).
2. According to **Section 1230.46(e)(8)** of the **Subdivision and Land Development Ordinance**, parking spaces shall be a minimum of 19 feet deep. The plans show a parking space depth of 18 feet for the parking spaces in the parking area to the south of the Greenbrier building.

3. According to **Section 1230.46(e)(11)** of the **Subdivision and Land Development Ordinance**, no less than a five-foot radius of curvature is permitted for all curblines in parking areas. The plans show several areas throughout the parking areas with less than a five-foot curb radius.
4. The drive aisle adjacent to the drop-off/pick-up loop for the proposed building which connects the existing and proposed parking lots appears to be less than the required 24 feet in width as required in **Section 1230.46(e)(8)** of the **Subdivision and Land Development Ordinance**. The reduced width of the aisle in this area may result in overlapping traffic movements for opposing traffic in the aisle and opposing traffic in the aisle and the drop-off/pick-up loop next to the proposed building. The applicant's engineer must evaluate and revise the design as needed to eliminate overlapping traffic movements.
5. A stop sign and stop bar should be shown on the plans at the following locations:
 - On the proposed driveway approach to the south of the proposed building at its intersection with the internal loop road leading to/from the proposed building and the main driveway to/from Tennis Avenue (S.R. 2020).
 - On the existing full-movement driveway approach at its intersection with Tennis Avenue (S.R. 2020).
 - On the eastbound approach (receiving area lanes) on the eastern side of the proposed building at its intersection with the drive aisle to the east of the proposed building.
6. It appears that one-way traffic flow is proposed in the drop-off/pick-up loop on the western side of the proposed building, as well as in the drop-off/pick-up loop to the south of the Greenbrier building. Therefore, the following signage should be added to the plans:
 - "Do Not Enter" signs should be shown on the plans on both sides of the northern end of the one-way drop-off/pick-up loop and "One-Way" signs should be shown on the plans at the entry of the one-way drop-off/pick-up loop located on the western side of the proposed building.
 - "Do Not Enter" signs should be shown on the plans on both sides of the southern end of the one-way drop-off/pick-up loop and "One-Way" signs should be shown on the plans throughout the one-way drop-off/pick-up loop located to the south of the Greenbrier building.
7. The pedestrian crossing shown on the plans across the drive aisle leading to/from the sidewalk on the southern end of the parking spaces on the eastern side of the proposed building and the sidewalk leading to/from the pickleball court should be relocated further to the north so that it crosses this drive aisle at the northern end of these parking spaces. The diagonal alignment shown on the plans increases the crossing distance for pedestrians. ADA ramps should be shown on the plans on both sides of the crosswalk. In addition, "Pedestrian Warning" signs should be shown on both sides of the crosswalk.
8. The arrow pavement markings in the drop-off/pick-up loop to the west of the proposed building should be relocated to be positioned at the intersection of the one-way loop and the drive aisle in the parking area to the east of the Chestnut building and the drive aisle leading to/from the parking area to the south of the Greenbrier building.
9. The "Stop" sign and stop bar shown at the following locations should be removed from the plans:
 - On the drive aisle between the proposed building and the pickleball court in the vicinity of the southern end of the parking spaces to the east of the proposed building.
 - On the southbound approach of the drive aisle to the east of the proposed building at its intersection with the drive aisle leading to/from the receiving area.

10. The striping for the crosswalk currently located across the Tennis Avenue (S.R. 2020) driveway is beginning to fade, therefore, the striping for this crosswalk should be updated to provide a continental pedestrian crossing for improved visibility.
11. The proposed development will be subject to the transportation impact fee of \$2,285 per "new" weekday afternoon peak hour trip and the applicant will be required to pay a Transportation Impact Fee. Based on Land Use Code 254 (Assisted Living) in the Institute of Transportation Engineers publication, **Trip Generation**, Tenth Edition, the proposed 39 skilled nursing beds will generate approximately 10 "new" weekday afternoon peak hour trips, resulting in a transportation impact fee of \$22,850.
12. Since Tennis Avenue (S.R. 2020) is a State Roadway, a State Highway Occupancy Permit (HOP) will be required for the proposed emergency access located along Tennis Avenue (S.R. 2020). The Township and our office must be copied on all plan submissions and correspondence between the applicant and PennDOT and invited to any and all meetings between these parties.
13. Based on our review, the applicant should address the aforementioned comments, and provide revised plans to the Township and our office for further review and approval recommendations. The applicant's engineer must provide a response letter that describes how each specific review comment has been addressed, where each can be found in the study or materials, as opposed to general responses. This will aid in the detailed review and subsequent review timeframes.

We trust that this review letter responds to your request and satisfactorily addresses the traffic issues that are related to the proposed development apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Sincerely,



Chad Dixon, AICP, PP
Senior Project Manager

CED/BMJ

cc: Jamie Worman, Assistant Township Manager
Patty Sexton-Furber, Building Codes Administrator
James Hersh, P.E., Gilmore & Associates, Inc.
Neil Stein, Esquire, Solicitor
Al Comly, Township Fire Marshal
Martin Eustace, P.E., Eustace Engineering

MEMORANDUM

TO: Jamie Worman

FROM: Al Comly, Fire Marshal

DATE: 10-8-2024

RE: PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS

ACTS GWYNEDD ESTATES

CONSTRUCTION OF NEW BUILDING & ASSOCIATED SITEWORK

I have reviewed the most recent submittal of the above-referenced project as prepared by Eustance Engineering, consisting of the following:

41 Drawing Sheets, as listed on the Cover Sheet. Cover Sheet is added to the drawing sheets for overall total of 42 sheets. All sheets are dated 6-21-2024

My comments are as follows:

- 1 I note the change of engineers from the previous submittals for this Land Development for this project. Chambers Associates had been the engineer of record prior to this submittal. My comments and reviews from those earlier drawings are to be part of the overall Land Development record for this project.
- 2 I note the building layout has changed to place the main entrance on the project "West" side where it had previously been located on the project "East" side. This change is not germane to my review of the project.
- 3 The emergency drive providing access from Tennis Ave is shown as per previous agreement on location. (ref Sheet 32 of 41). No information is provided about the material shown in the shoulder of Tennis Ave, other than to state that it is "Geo-sys". No detail or information was provided. The gate and the chain detail are acceptable and shall use a padlock with a Knox key coordinated with the fire company keyway, and the driveway material is also acceptable, provided it is capable of handling apparatus with a 25,000 lb axle rating.
- 4 Truck turning clearances are shown on Sheet 30 of 41. This is acceptable, provided that all overhead clearance is a minimum of 14'-0". Also any driveway shown as part of the apparatus access lanes on the referenced sheet shall be designed to accommodate the 25,000 lb axle rating. Particular note is made of the various stormwater and BMP details properly supporting the required weight.
- 5 Hydrant locations shown on Sheets 15 of 41 and 9 of 41 are acceptable. Fire Department Connection for the building shall be coordinated to be within 75 feet of one of the hydrants shown on the referenced sheets, without requiring the placement of a connecting hose across a driveway.
- 6 No Parking by Order of Fire Marshal signs shall be placed on all roadways (signage for this was not included in these details). No parking shall be posted to restrict all parking and stopping areas to the parking and stopping locations identified on the plans, and not blocking apparatus access on the site.

October 23, 2024

Ms. Jamie Worman
Assistant Township Manager
Lower Gwynedd Township

Re: Acts Gwynedd Estates AL
301 Norristown Road
PARID: 39-00-02955-00-3/TMID: Block 19, Unit 100
Land Development Application

Dear Ms. Worman,

On behalf of the owner/applicant, Adult Communities Total Services, Inc., we respectfully request the following waivers from Chapter 1230 of the Township's Codified Ordinances.

The following requested waivers were previously approved per Resolution 2022-26 on November 7, 2022:

1. §1230.16 - A waiver to permit a single submission for Preliminary and Final approval.
2. §1230.19(c)(3)&(4) - A waiver from the requirement that all existing features within two hundred feet (200') of the Property boundary be depicted on the Plans. The Applicant has agreed to provide any offsite detail that the Township Engineer deems necessary as part of future project reviews.
3. § 1230.30(c) - A waiver to permit the proposed loading area being located within the existing Williams-Transco Gas Pipeline Corporation gas line easement.

We will provide written approval from Williams-Transco, permitting the proposed drop-off area within the existing easement.

4. §1230.37(c) & §1230.61 - A waiver from the requirement to install curb and to widen the cartway along all existing roads abutting the Property.

The following requested waivers have been modified or not previously approved:

5. §1230.41(g) - A waiver to allow thirteen (13) parking spaces in a row without the required ten foot (10') landscape strip.

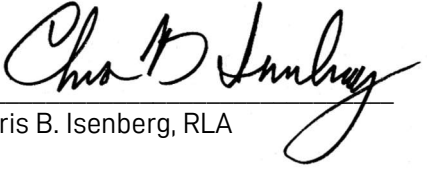
This waiver request was previously approved at 12 spaces per row. There are two locations shown with 13 spaces in a row on the current version of the land development set. One over the underground basin East of the new building and the other East of Building C where accessible spaces have been relocated to a more convenient location on the North side of the building. Two parking rows in the bay north of Building B will have 10 foot wide islands added to reduce the parking runs.

6. §1230.42(a) - A waiver from providing the required street trees along Norristown Road and Tennis Avenue at a frequency of two shade trees per 40 linear feet of street: to count the existing vegetation in lieu of street trees.

Additional street trees complying with the ordinance requirement are proposed in the first 267 feet of tennis avenue associated with the new building. This waiver request is to not be required to provide additional street tress along the portion of Tennis Avenue and Norristown Road that is not affected by this land development there is significant mature vegetation along both frontages.

We appreciate the Township's consideration of this request and ask that you not hesitate to contact us should you have any questions.

Sincerely,

A handwritten signature in black ink, reading "Chris B. Isenberg". The signature is written in a cursive style with a horizontal line underneath it.

Chris B. Isenberg, RLA

Preliminary/Final Land Development Plans

ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD, MONTGOMERY COUNTY, PENNSYLVANIA

prepared for

ACTS RETIREMENT-LIFE COMMUNITIES INC.

prepared by



607 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090

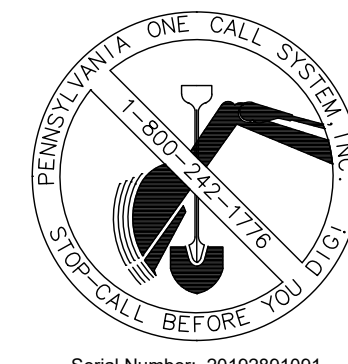
Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

Sheet List				
Drawing Number	Sheet Number	Name	Date	Last Revised
2373 08B 00	0	Cover Sheet	6/21/2024	10/16/2024
2373 08B 48	1	Legend Sheet	6/21/2024	10/16/2024
2373 08B 21	2	Land Development Plan	6/21/2024	10/16/2024
2373 08B 18	3	Existing Features Plan	6/21/2024	10/16/2024
2373 08B 09	4	Existing Features / Demolition - Plan A	6/21/2024	10/16/2024
2373 08B 10	5	Existing Features / Demolition - Plan B	6/21/2024	10/16/2024
2373 08B 20	6	Geometry, Signage & Pavement Marking Plan	6/21/2024	10/16/2024
2373 08B 45	7	Grading Plan - A	6/21/2024	10/16/2024
2373 08B 46	8	Grading Plan - B	6/21/2024	10/16/2024
2373 08B 31	9	Utility Plan - A	6/21/2024	10/16/2024
2373 08B 32	10	Utility Plan - B	6/21/2024	10/16/2024
2373 08B 16	11	Erosion & Sedimentation Control Plan - A	6/21/2024	10/16/2024
2373 08B 17	12	Erosion & Sedimentation Control Plan - B	6/21/2024	10/16/2024
2373 08B 15	13	Erosion & Sedimentation Control Notes	6/21/2024	10/16/2024
2373 08B 14	14	Erosion & Sedimentation Control Details	6/21/2024	10/16/2024
2373 08B 25	15	PCSM Plan - A	6/21/2024	10/16/2024
2373 08B 26	16	PCSM Plan - B	6/21/2024	10/16/2024
2373 08B 22	17	PCSM Notes & Details A	6/21/2024	10/16/2024
2373 08B 24	18	PCSM Notes & Details B	6/21/2024	10/16/2024
2373 08B 47	19	PCSM Notes & Details C	6/21/2024	10/16/2024
2373 08B 27	20	Roadway Profile	6/21/2024	10/16/2024
2373 08B 35	21	Storm Sewer Profile A	6/21/2024	10/16/2024
2373 08B 36	22	Storm Sewer Profile B	6/21/2024	10/16/2024
2373 08B 34	23	Storm Sewer Profile C	6/21/2024	10/16/2024
2373 08B 38	24	Yard Drain Profiles	6/21/2024	10/16/2024
2373 08B 19	25	Williams-Transco Gas Pipeline - Plan & Profile	6/21/2024	10/16/2024
2373 08B 28	26	Sanitary Sewer Plan & Profile	6/21/2024	10/16/2024
2373 08B 37	27	Water Plan & Profile	6/21/2024	10/16/2024
2373 08B 29	28	Sight Distance Plan & Profile A	6/21/2024	10/16/2024
2373 08B 30	29	Sight Distance Plan & Profile B	6/21/2024	10/16/2024
2373 08B 50	30	Truck Turning Plan	6/21/2024	10/16/2024
2373 08B 33	31	Water Details	6/21/2024	10/16/2024
2373 08B 13	32	Construction Details	6/21/2024	10/16/2024
2373 08B 12	33	Sanitary Sewer Details	6/21/2024	10/16/2024
2373 08B 11	34	Sanitary Sewer Details - B	6/21/2024	10/16/2024
2373 08B 39	35	Site Landscape Plan - A	6/21/2024	10/16/2024
2373 08B 40	36	Tree Removals Plan - A	6/21/2024	10/16/2024
2373 08B 41	37	Tree Removals Plan - B	6/21/2024	10/16/2024
2373 08B 42	38	Overall Landscape Plan	6/21/2024	10/16/2024
2373 08B 43	39	Landscape Details - A	6/21/2024	10/16/2024
2373 08B 49	40	Landscape Details - B	6/21/2024	10/16/2024
2373 08B 44	41	Site Lighting Plan	6/21/2024	10/16/2024
2373 08B 42	42	PCSM Landscape Plan	6/21/2024	10/16/2024
2373 08B 43	43	PCSM Landscape Details	6/21/2024	10/16/2024

ACT 287, AS AMENDED, TABLE OF CONTACTS	RESPONSE 10/11/19
BUCKS COUNTY WATER AND SEWER AUTHORITY 1275 ALMHOUSE RD. WARRINGTON, PA. 18976 CONTACT: JAMES NAPOLEON EMAIL: n.jm@bcwsa.net	
CROWN CASTLE 1500 CORPORATE DR. CANONSBURG, PA. 15317 CONTACT: TYLER STEIN EMAIL: tyler.stein@crowncastle.com	
COMCAST CABLEVISION 1 APOLLO RD. PLYMOUTH MEETING, PA. 19462 CONTACT: TOM DEMSEY	
COMCAST 4400 WAYNE AVE. PHILADELPHIA, PA. 19140 CONTACT: ROBERT HARVEY EMAIL: bob.harvey@cable.comcast.com	
PECO ENERGY C/O USIC 450 S. HENDERSON RD. SUITE B KING OF PRUSSIA, PA. 19406 CONTACT: NIKKIA SIMPKINS EMAIL: NIKKIASIMPKINS@USICLLC.COM	DID NOT RESPOND THROUGH PA ONE CALL
LOWER GWYNEDD TOWNSHIP 1130 N. BETHLEHEM PIKE P.O. BOX 625 SPRING HOUSE, PA. 19477 CONTACT: ALFRED ZOLLERS EMAIL: fzollers@owergwynedd.org	CLEAR - NO FACILITIES
NORTH WALES WATER AUTHORITY 200 WEST WALNUT STREET P.O. BOX 1339 NORTH WALES, PA. 19454 CONTACT: JOSEPH MURPHY EMAIL: jmurphy@wwater.com	ENGINEERING COMPLETE MARKED UP PLANS SENT
TRANSCONTINENTAL GAS/WILLIAMS GAS 99 FARBER ROAD PRINCETON, NJ 08540 CONTACT: DAN SCHWEITZER EMAIL: dan.schweitzer@williams.com	
VERIZON PENNSYLVANIA LLC. 1050 VIRGINIA DR. FORT WASHINGTON, PA. 19034 CONTACT: DARLENE LEPPERD JOHNSON EMAIL: darlene.k.lepperd@one.verizon.com	
UPPER DUBLIN TOWNSHIP 801 LOCH ALSH AVENUE FORT WASHINGTON, PA. 19034 CONTACT: TOM FOUNTAIN EMAIL: TFOUNTAIN@UPPERDUBLIN.NET	

ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK, AS PER PENNSYLVANIA ACT 287, CONTACTED 10/11/2019, 10/16/2019, SERIAL # 20192891397, 20192891090, 20192891091.

• PA ONE CALL INFORMATION WAS TAKEN FROM CHAMBERS ASSOCIATES, INC. PLANS



Serial Number: 20192891091

Act 287

ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.

Legend

- Property Line / Right-of-Way
- Existing Monument found
- Existing Iron Pin or Pipe found
- Setback Line
- Existing Building
- Existing Edge of Pavement
- Existing Curb
- Existing Wetlands
- Existing Concrete
- Existing Asphalt Paving
- Existing Sanitary Sewer Line
- Existing Water Line
- Existing Gas Line
- Existing Phone Line
- Existing Storm Line
- Existing Overhead Wire
- Existing Fence
- Existing Minor Contour
- Existing Major Contour
- Existing Tree Line
- Existing Center Line
- Existing Easement
- Existing Parking Line
- Existing Force Main
- Existing Center Line
- Existing Soil Line
- Existing Fire Hydrant
- Existing Utility Pole
- Existing Sign
- Existing Water Valve
- Existing Light Standard
- Existing Inlet
- Existing MH
- Existing Spot Grade
- Existing Rip Rap
- Existing Wetlands

Legend

- Proposed Monument to be set
- Proposed Iron Pin to be set
- Proposed Building
- Proposed Curb
- Proposed Concrete
- Proposed Edge of Pavement
- Proposed Pavers
- Proposed Sidewalk
- Proposed Parking Count
- Proposed Handicap Stall
- Proposed Retaining Wall
- Proposed Sign
- Proposed Retaining Wall
- Proposed Surface Basin
- Proposed Grass Area
- Proposed Filter Sock
- Proposed Filter Sock
- Proposed Limit of Disturbance
- Proposed Limit of Tree Disturbance
- Proposed NPDES Permit Area
- Proposed Staging Area
- Proposed Stockpile
- Proposed Rock Construction Entrance
- Proposed Erosion Control Blanket
- Proposed Protective Fence
- Proposed Rip Rap
- Proposed Reinforced Vegetated Turf
- Proposed Inlet Protection
- Proposed Concrete Washout
- Proposed Spot Grade
- Proposed Contour
- Proposed Index Contour
- Proposed Sanitary Sewer Line
- Proposed Water Line
- Proposed Gas Line
- Proposed Storm Line
- Proposed Electric Line
- Drainage Area
- TOC Path
- TOC Point
- Discharge Point
- Proposed Inlet
- Infiltration Testing Pit Location
- Geotechnical Investigation Boring Location
- Proposed MH

1 | 10/16/2024 | YG | REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

LEGEND

ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

MARTIN J. EUSTACE, III, P.E.
 307 Easton Road
 Building B - 2nd Floor
 Willow Grove, PA 19090
 Tel: (215) 346-8757
 Fax: (215) 346-8759
 www.eustaceeng.com

DRAWN BY: JAS
 CHECKED BY: MJE
 DATE: 6/21/24
 DRAWING No.: D 2373 08B 48

Waivers:
 Section 1230.16 - A waiver to permit only one submission for Preliminary and Final approval.
 Section 1230.19(c)(3)&(4) - A waiver from requiring all existing features within 200 feet of the property boundary be depicted on the plans, unless township request office detail on future project reviews.
 Section 1230.30(c) - A waiver to permit the proposed loading area being located within the existing gas line easement. Written approval from Williams-Tranco Gas Pipeline Corporation will be obtained.
 Section 1230.37(c) & 1230.61 - A waiver from requiring curb installation and roadway widening along all existing roads abutting the property.
 Section 1230.41(g) - A waiver to allow thirteen (13) parking spaces in a carway within the required ten (10) foot landscape strip.
 Section 1230.42(a) - A waiver from providing the required street trees along Norristown Road and Tennis Avenue at a frequency of two shade trees per 40 linear feet of street to count the existing vegetation in lieu of street trees.

BOARD OF SUPERVISORS CERTIFICATION
 APPROVED BY THE BOARD OF SUPERVISORS OF LOWER GWYNEDD TOWNSHIP
 THIS ___ DAY OF _____
 DANIELLE A. DUCKETT
 CHAIR
 MIMI GLEASON
 SECRETARY

TOWNSHIP ENGINEER CERTIFICATION
 APPROVED BY THE TOWNSHIP ENGINEER ON THE DAY OF _____
 JAMES HERSH, P.E.
 TOWNSHIP ENGINEER

PLANNING COMMISSION CERTIFICATION
 APPROVED BY THE LOWER GWYNEDD TOWNSHIP PLANNING COMMISSION
 THIS ___ DAY OF _____
 CRAIG MELOGRANO
 CHAIRMAN
 LOWER GWYNEDD TOWNSHIP PLANNING COMMISSION

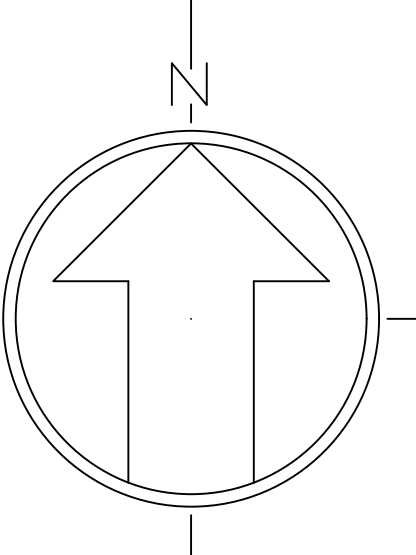
RECORDING CERTIFICATE
 RECORDED THIS ___ DAY OF _____
 IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC. IN AND FOR THE COUNTY OF MONTGOMERY OF NORRISTOWN, PENNSYLVANIA.
 IN PLAN FILE CASE # _____ D.B. NO. _____ PAGE _____

OWNER OF RECORD:
 ADULT COMMUNITIES TOTAL SERVICES, INC. HAS LAID OUT UPON OUR LAND SITUATED IN THE LOWER GWYNEDD TOWNSHIP, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA CERTAIN LOTS AND STREETS ACCORDING TO THE ACCOMPANYING PLAN.
 WITNESS MY HAND AND SEAL THIS ___ DAY OF _____ 20__
 SEAN FLETCHER
 SENIOR VICE PRESIDENT - REAL ESTATE SERVICES

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY
NOTARY PUBLIC:
 ON THE ___ DAY OF _____ 20__ BEFORE ME, THE SUBSCRIBED, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA RESIDING IN _____ PERSONALLY APPEARED _____ HIMSELF / HERSELF TO BE THE SENIOR VICE PRESIDENT - REAL ESTATE SERVICES OF ADULT COMMUNITIES TOTAL SERVICES, INC. AND THAT AS SUCH HE / SHE BEING AUTHORIZED TO DO SO. _____ EXECUTED THE FOREGOING PLAN BY DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON, AND THAT THE SAID CORPORATION DESIRES THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.
 WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR AFORESAID.
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____ 20__

SURVEYOR CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT THE MONUMENTS SHOWN HEREON EXIST AS LOCATED AND THAT ALL DIMENSIONAL DETAILS ARE CORRECT.
 DATE _____ ROBERT M. COHRAC
 REGISTERED ENGINEER OR SURVEYOR (SEAL)

TOWNSHIP STATEMENTS:
 The detention basin and stormwater facilities (as shown on this plan) are a basic and perpetual plan of the storm drainage system of the Township of Lower Gwynedd, and as such are to be protected and preserved. In accordance with the approved final plan by the owner on whose lands the structures are located, The Township of Lower Gwynedd and its agents reserves the right and privilege to enter upon such lands from time to time for the purpose of inspection of said detention basin in order to determine that the structural and design integrity are being maintained by the owner.
 In the event that maintenance and structural integrity are not maintained by the owner as required by the Township, the owner hereby grants to the Township the right to enter upon such property and to perform any and all improvements, revisions or maintenance as may be determined necessary by the Township and to recover the costs thereof from the property owner by all lawful means including, but not limited to, the imposition of a municipal lien on the subject property.
 Open space land may not be separately sold, nor shall such land be further developed or subdivided.
 All development activities, such as clearing, grading, re-grading, driveways, roads, buildings, septic systems, detention basins and utility easements shall be limited to the natural resource protection standards as specified in the Lower Gwynedd Township Zoning Ordinance as last amended. The remaining resources shall remain in its natural condition, including the natural forest ground cover. This restriction shall run with the land and be binding on the present and all future owners and/or lessees.



ZONING NOTES

MF-3 MULTIFAMILY DISTRICT
 REQUIRED: LOT AREA 20 ac, LOT WIDTH 200 ft, FRONT YARD 200 ft, SIDE YARD 75 ft, REAR YARD 75 ft, BUILDING COVERAGE 20%, IMPERVIOUS COVERAGE 45%, BUILDING HEIGHT 30 ft / 2 stories, ACCESSORY BUILDING HEIGHT 14 ft, PARKING 0.85 / Unit + Employee = 238 spaces

REQUIRED	EXISTING	PROPOSED
20 ac	25.00 ac	25.00 ac
200 ft	1488 ft	1488 ft
200 ft	56.5 ft	56.5 ft
75 ft	44.5 ft	44.5 ft
75 ft	75 ft	75 ft
20%	11.71%	13.2% (+16,319 s.f.)
45%	25.15%	28.5% (+36,127 s.f.)
30 ft / 2 stories	30 ft / 2 stories	30 ft
14 ft		
0.85 / Unit + Employee = 238 spaces	241 spaces includes 1 handicap spaces	278 spaces** includes 7 handicap spaces

** EXISTING NON-CONFORMING
 ** VARIANCE FOR PARKING SETBACK (15 SPACES)

EXISTING CONDITIONS
 151 APARTMENTS = 151 UNITS
 20 PERSONAL CARE BEDS = 20 UNITS
 TOTAL UNITS = 171 UNITS

PROPOSED CONDITIONS
 151 APARTMENTS = 151 UNITS
 59 PERSONAL CARE BEDS = 59 UNITS
 TOTAL UNITS = 210 UNITS***

*** VARIANCE ZHB APPL. 20-03Z SECT. 1276.08(a) TO PERMIT 211 UNITS DATED 7/15/20.

Density Calculations:

8.04 Units x Gross acre = 201 Units (Allowable)
 8.04 Units x 25.00 ac = 201 Units (Allowable)
 Ratio of Apartments to Personal Care not to exceed 9.05 to 1.
 Apartments = 181 Units (Approved)
 Personal Care Beds = 20 Units (Approved)

Existing Conditions:
 Apartments = 151 Units
 Personal Care Beds = 20 Units
 Ratio of Apartments to Personal Care is 7.55 to 1.

Parking Calculations:
 Apartments = 151 Units
 Personal Care Beds = 39
 Employees = 54
 Homiller House = 2 Apartments
 Minimum ADA Handicap spaces required:
 5 Accessible Spaces w/60" Access aisle
 2 Van Accessible Space w/80" Access aisle
 Proposed Ratio of Apartments to Personal Care is 2.56 to 1.

WILLIAMS PIPELINE NOTES:

- NO CUT IS PERMITTED WITHOUT WILLIAMS WRITTEN APPROVAL.
- FOREIGN LINES ARE TO BE ENCASED IN STEEL PIPE FOR THE FULL WIDTH OF WILLIAMS ROW WHILE MAINTAINING A VERTICAL SEPARATION OF 2' (IF OPEN CUT) AND 5' (IF BORED).
- NO VIBRATORY COMPACTION OVER THE PIPELINES.
- CONSTRUCTION EQUIPMENT MUST BE APPROVED PRIOR TO WORKING/CROSSING THE ROW/NOTE: RESTRICTIONS/PROTECTION MAYBE REQUIRED FOR EQUIPMENT CROSSING OVER THE PIPELINE WITH REDUCE COVER DURING CONSTRUCTION.
- NO MACHINE EXCAVATION WITHIN 2' OF PIPELINE.
- WILLIAMS REF IS REQUIRED TO BE ONSITE FOR ANY WORK INVOLVING ITS ROW.
- WILLIAMS REQUIREMENTS MUST BE ADHERED TO FOR ANY DESIGN AND OR CONSTRUCTION ACTIVITIES INVOLVING WILLIAMS ROW.

OLD YORK ROAD COUNTRY CLUB NOTES:

- THE PROPOSED FIRE LANE WILL NOT BE USED AS AN EMPLOYEE ENTRANCE AT ANY TIME. THE FIRE LANE IS TO BE GATED AT BOTH ENDS. KNOX BOX TO BE PROVIDED FOR ACCESS BY EMERGENCY VEHICLES ONLY.

SANITARY SEWER EASEMENT

SCALE: 1" = 20'

GENERAL NOTES:

- The Boundary information shown hereon was prepared by Chambers Associates, Inc., and represents the compilation of recorded information and an actual survey completed in January 1997.
- The Plan was prepared without the benefit of a title report and property is subject to Easements, Conditions, and Restrictions etc. contained therein, recorded or unrecorded.
- Topographic features shown hereon were prepared by Chambers Associates, Inc. and represent an actual on-the-ground survey conducted in April 2019.
 Benchmark: The elevations on this plan are based on U.S.G.S. Datum; Benchmark: PA DOT GPS CM-H94-01-91 Disk in concrete, elevation 313.95
- Said property is located within an area having a flood zone designation "A" by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map no. 42091C0287-G with the Date of Identification of March 2, 2016, for Community no. 420993, Lower Gwynedd Township, Montgomery County, Pennsylvania, which is the current flood insurance rate map for the community in which the said premises is situated.
 Zone "A" indicates no base flood elevation has been determined for the 1% annual chance flood (100-year flood).
 Area: Gross 25 acres of land more or less.
 Net 24.47 acres of land more or less.
- Any damage incurred within the public right-of-way as a result of construction is to be repaired at the owner's sole expense.

RECORDING NOTE:

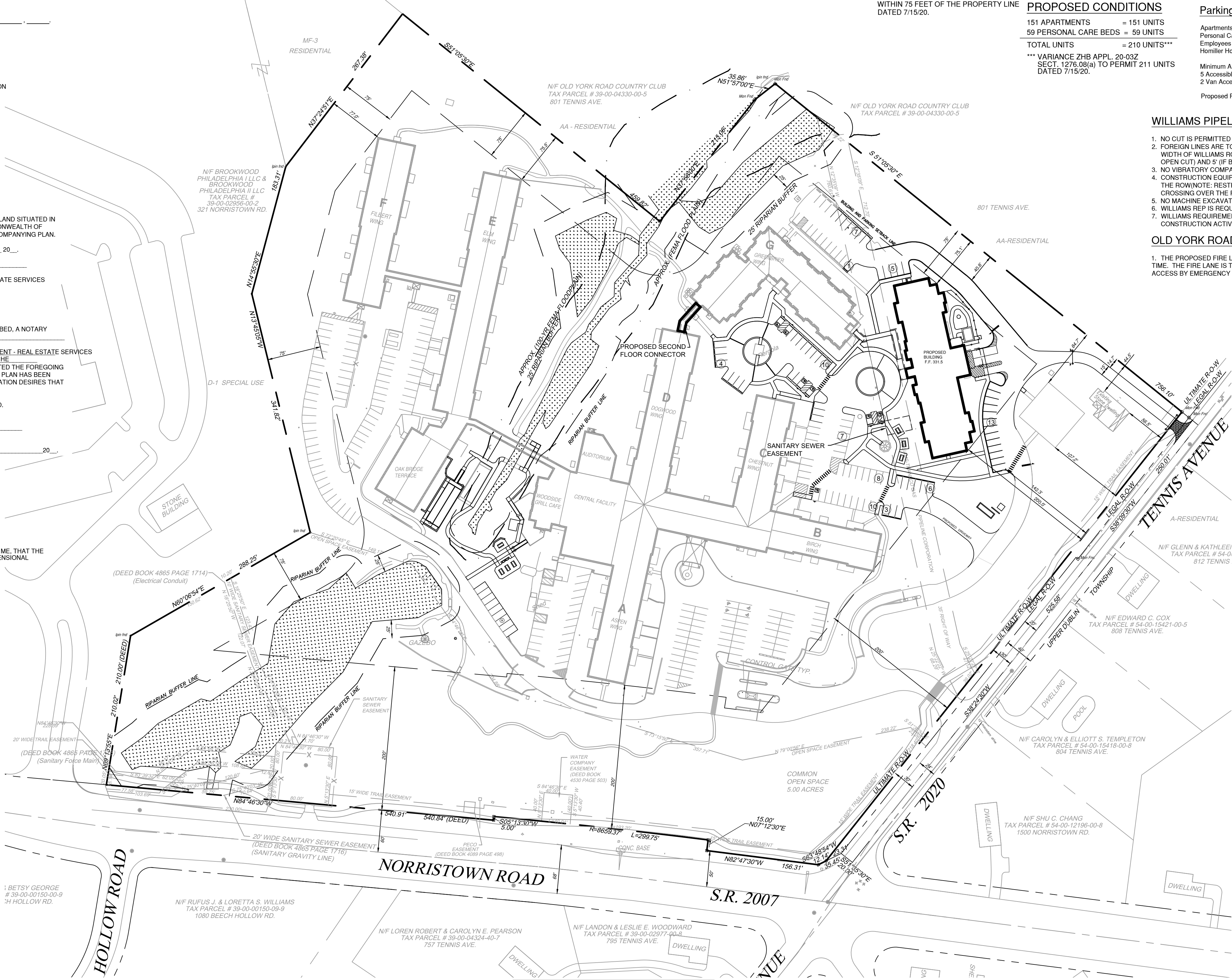
SHEETS 1 THRU 43 OF THIS PLAN SET ARE TO BE CONSIDERED A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE MONTGOMERY COUNTY RECORDER OF DEEDS OFFICE. ONLY SHEETS 2, 15, 16, 17, 18, 19, 42, & 43 SHALL BE RECORDED.

Site Data:

Address: 301 NORRISTOWN RD. SPRINGHOUSE, PA.
 Zoned: MF-3 MULTIFAMILY DISTRICT
 Lot Area: 25.00 ACRES

Owner/Applicant:
 ADULT COMMUNITIES TOTAL SERV., INC.
 CORPORATE SERVICES CENTER
 420 DELAWARE DRIVE
 P.O. BOX 2222
 FORT WASHINGTON, PA. 19034

Parcel Information:
 Parcel ID: 39-00-02955-00-3
 Tax Map ID: BLOCK 19, UNIT 100



Serial Number: 20192891091

Act 287
 ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.

CERTIFICATION

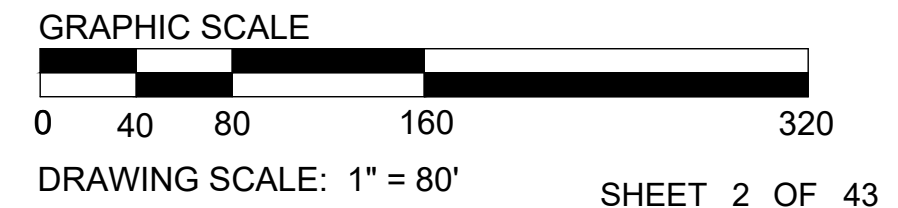
I, MARTIN J. EUSTACE, III, P.E. DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS, AND REPORTS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH CHAPTER 105 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

MARTIN J. EUSTACE, III P.E.

MCPC No. **20-0152-001**

PROCESSED and REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date _____
 For the Director
 Montgomery County Planning Commission



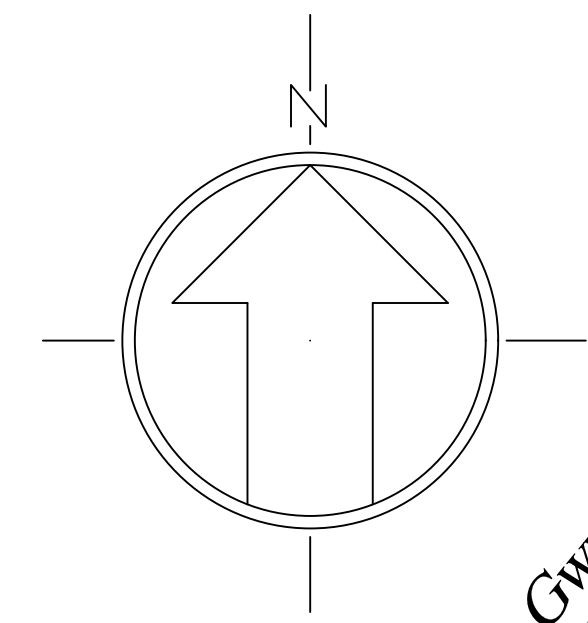
1 | 10/16/2024 | YG | REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

LAND DEVELOPMENT PLAN
ACTS GWYNEDD ESTATES AL
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

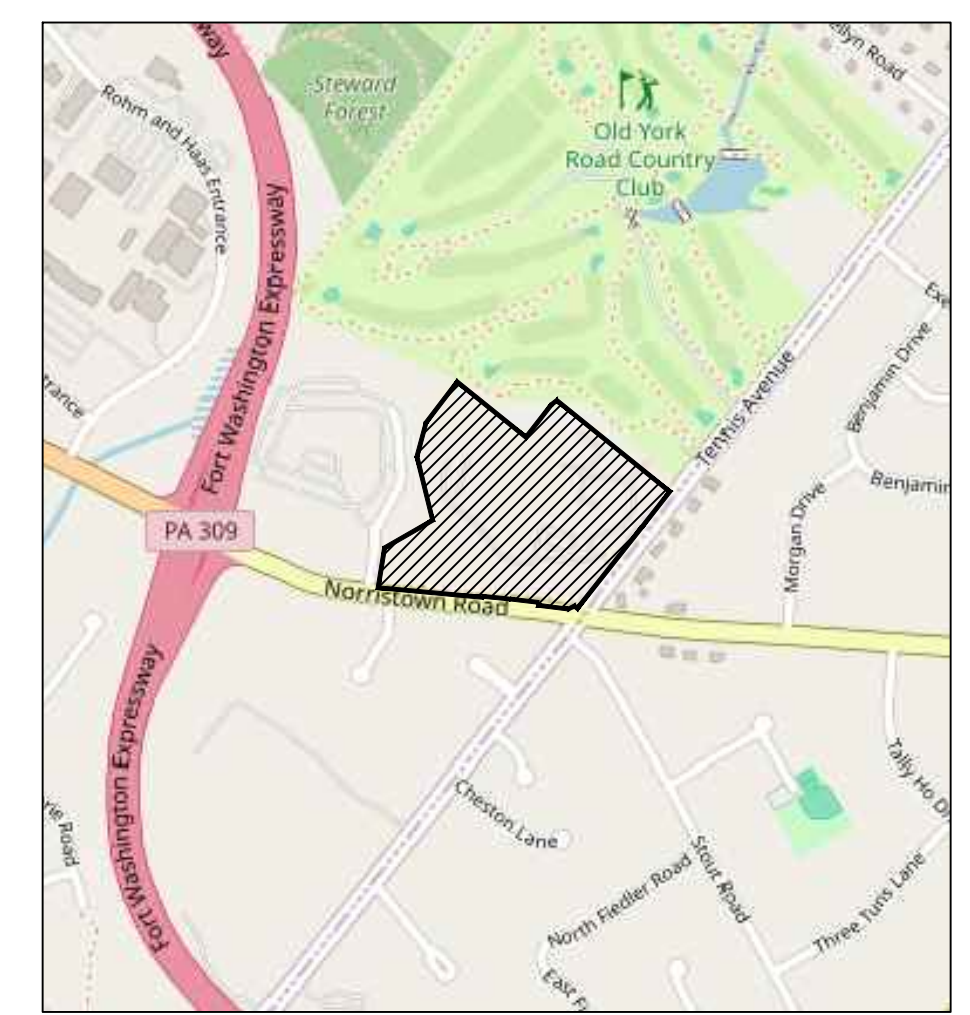
EUSTACE
 ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS
 307 Easton Road
 Willow Grove, PA 19090
 Tel: (215) 346-8757
 Fax: (215) 346-8759
 www.eustaceeng.com

DRAWN BY: CBJ/AS
 CHECKED BY: MJE
 DATE: 6/21/24
 DRAWING No.: D 2373 08B 21

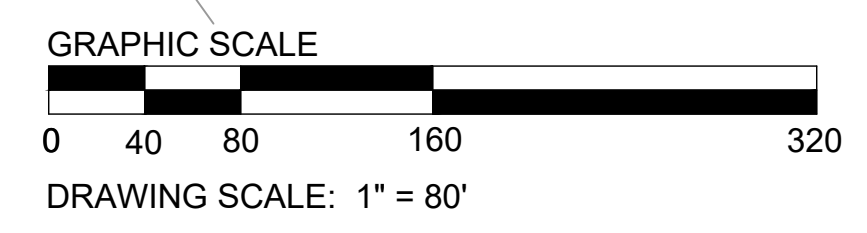
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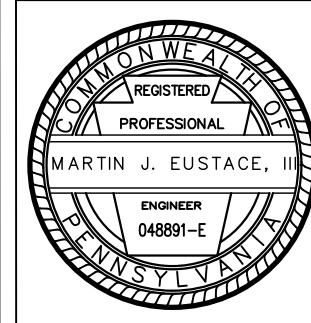

Lower Gwynedd Township
Upper Dublin Township



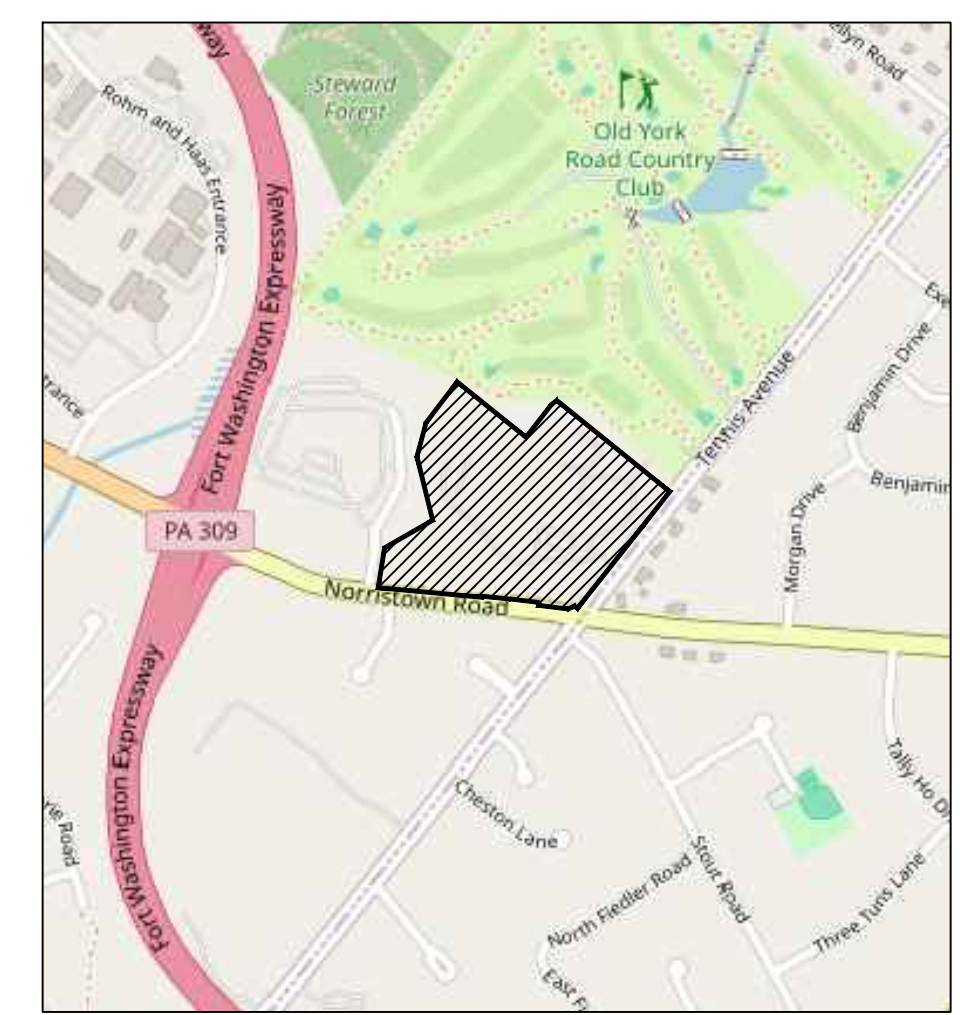
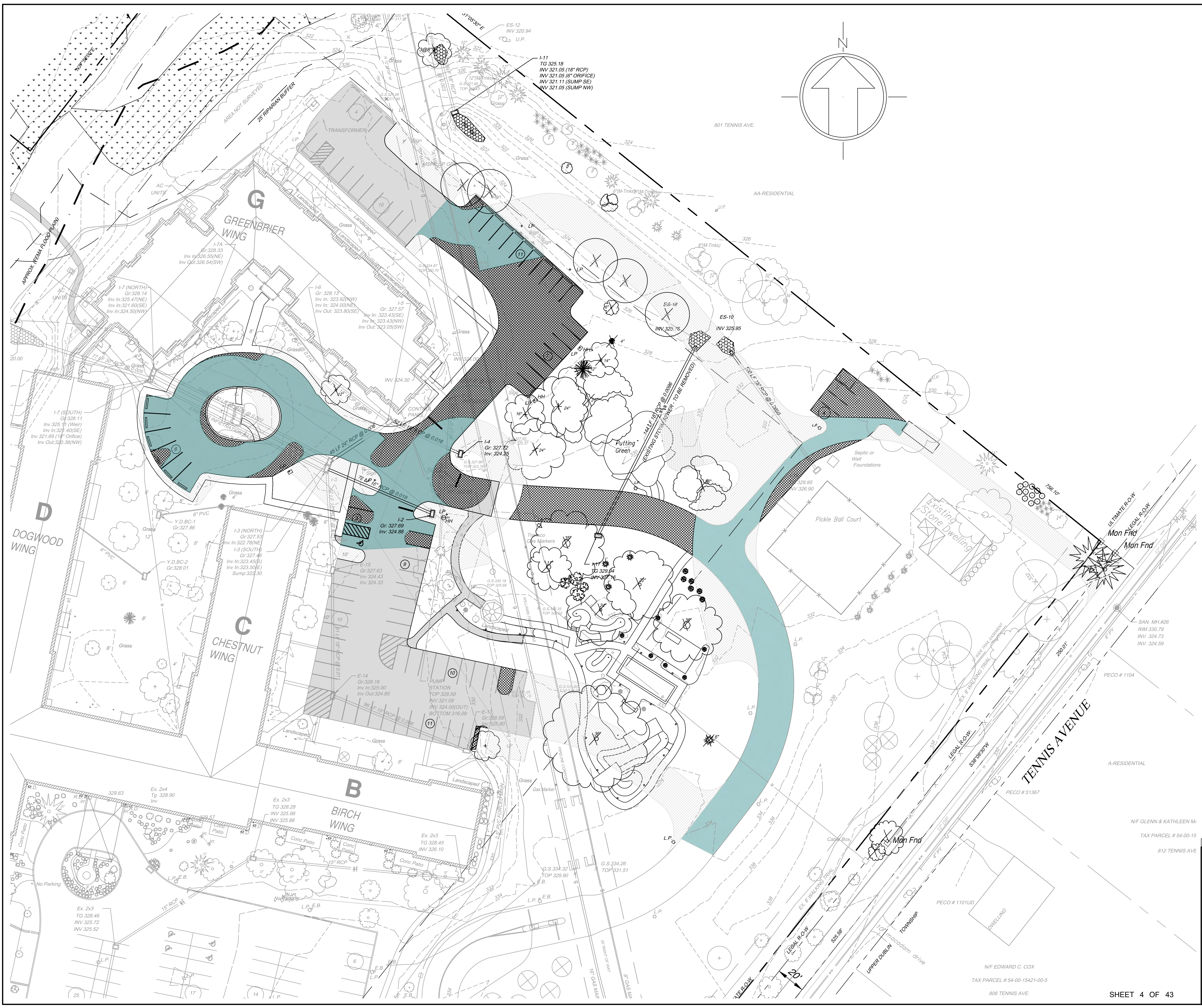
Location Map
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SHEET 3 OF 43


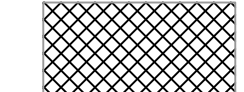
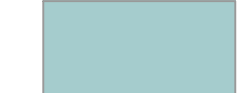
1 10/18/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24	
EXISTING FEATURES PLAN ACTS GWYNEDD ESTATES AL	
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA	
	
	<p>MARTIN J. EUSTACE, II 307 Easton Road Building B - 2nd Floor Willow Grove, PA 19090 Tel: (215) 346-8757 Fax: (215) 346-8759 www.eustaceeng.com</p> <p><i>Martin J. Eustace, II</i> Martin J. Eustace, III, P.E. PA Lic. PE048891E</p>
DRAWN BY JAS	CHECKED BY MJE
DATE 6/21/24	DRAWING No. D 2373 08B 18

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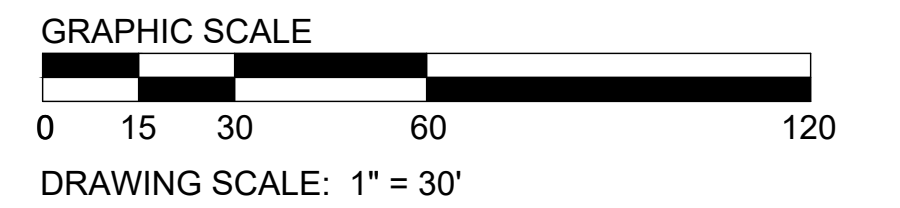


Location Map
Scale: 1" = 1000'

LEGEND

-  GRASS AREA TO BE PAVED
-  EXISTING PAVING TO BE REMOVED
-  EXISTING PAVING TO BE REPLACED

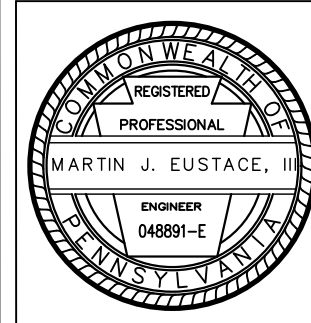
REFER TO SHEET 36 FOR TREE REMOVAL



1 | 10/18/2024 | YG | REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

EXISTING FEATURES / DEMOLITION PLAN A
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

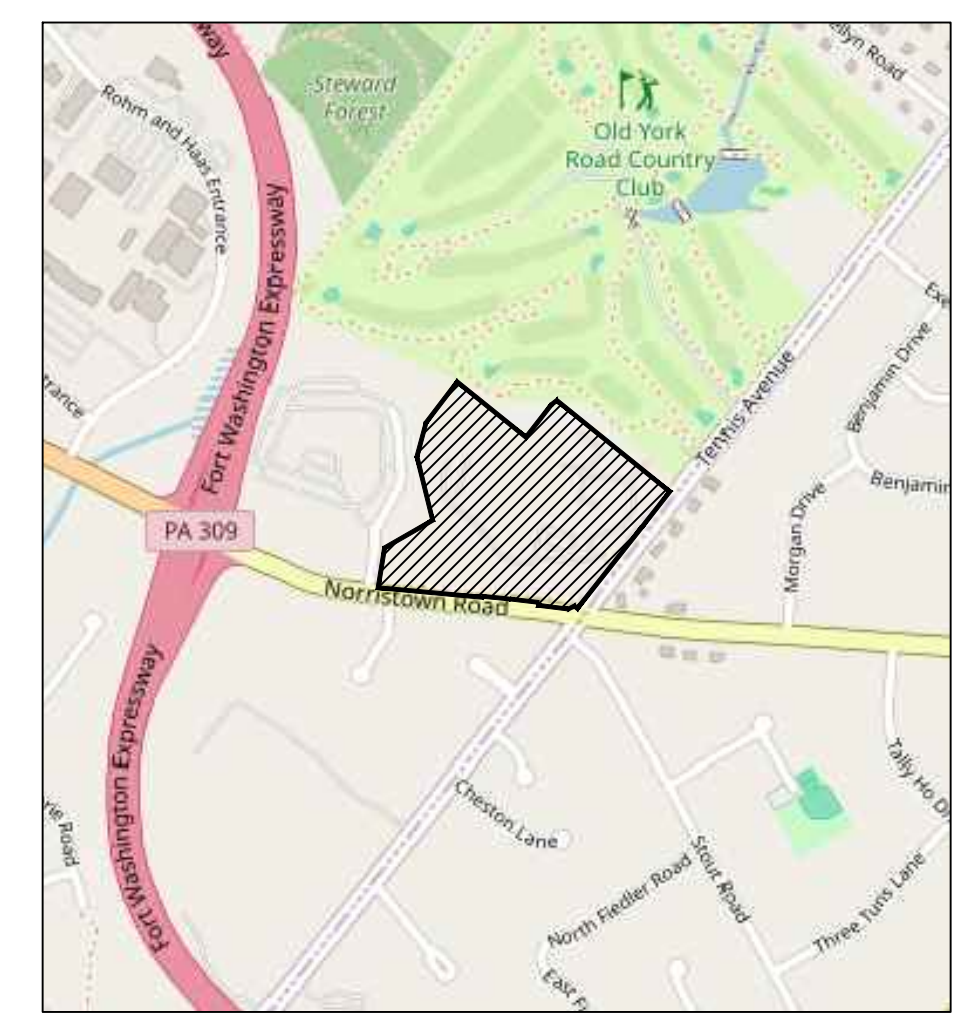
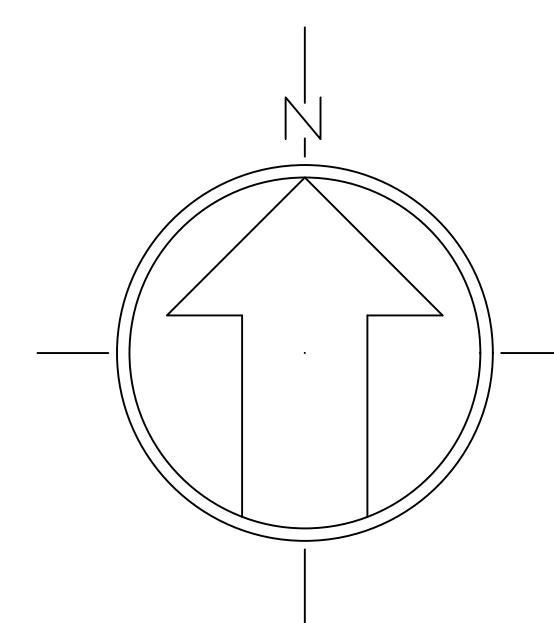
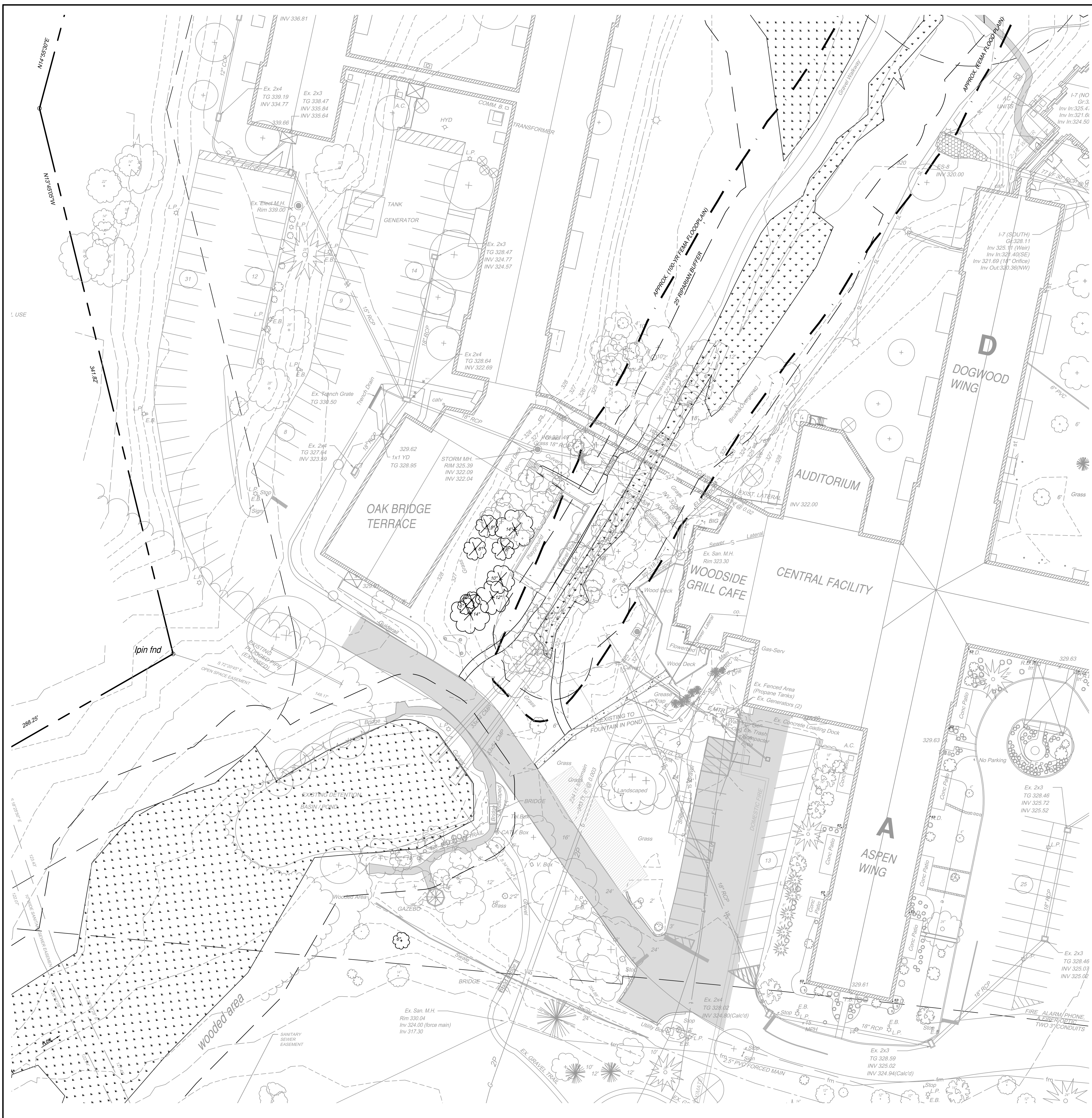


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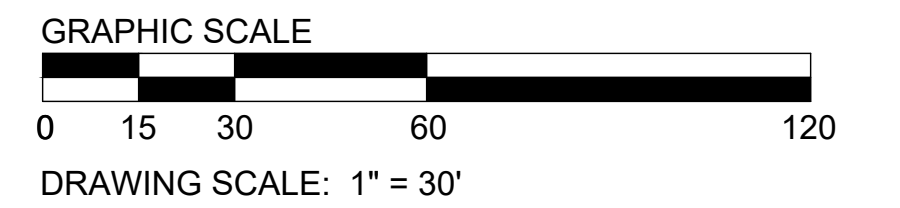


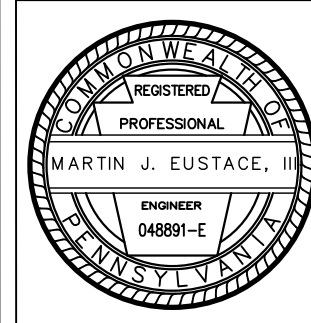
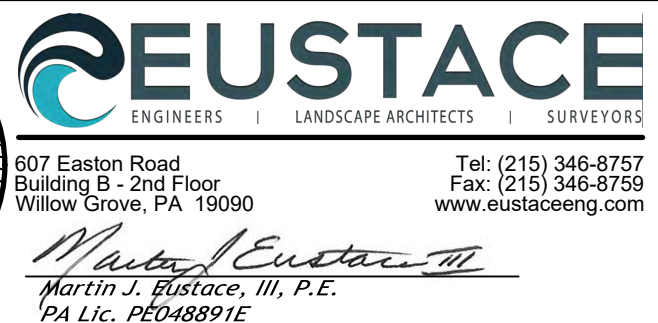
Location Map
Scale: 1" = 1000'

LEGEND

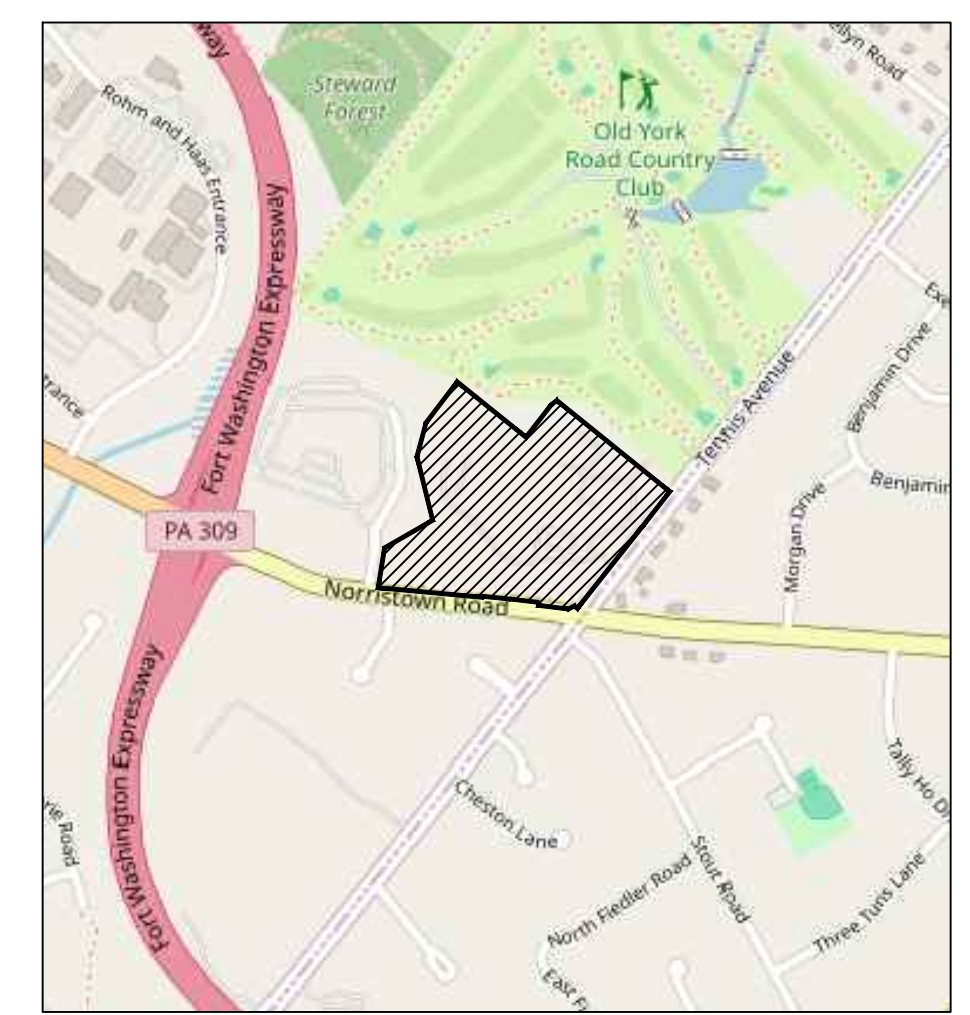
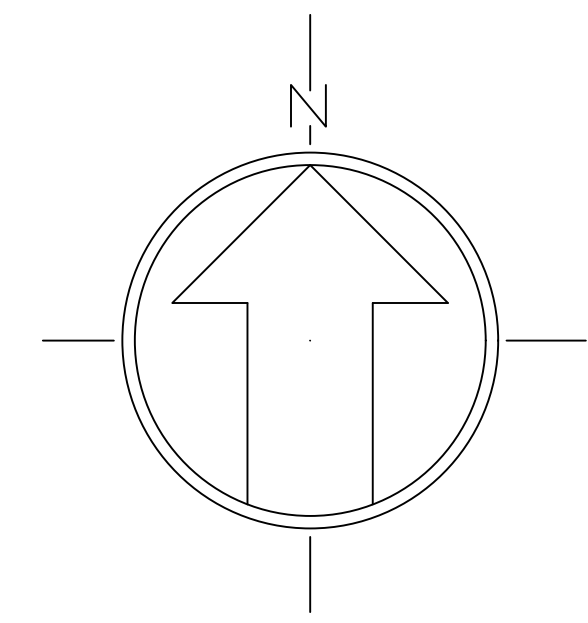
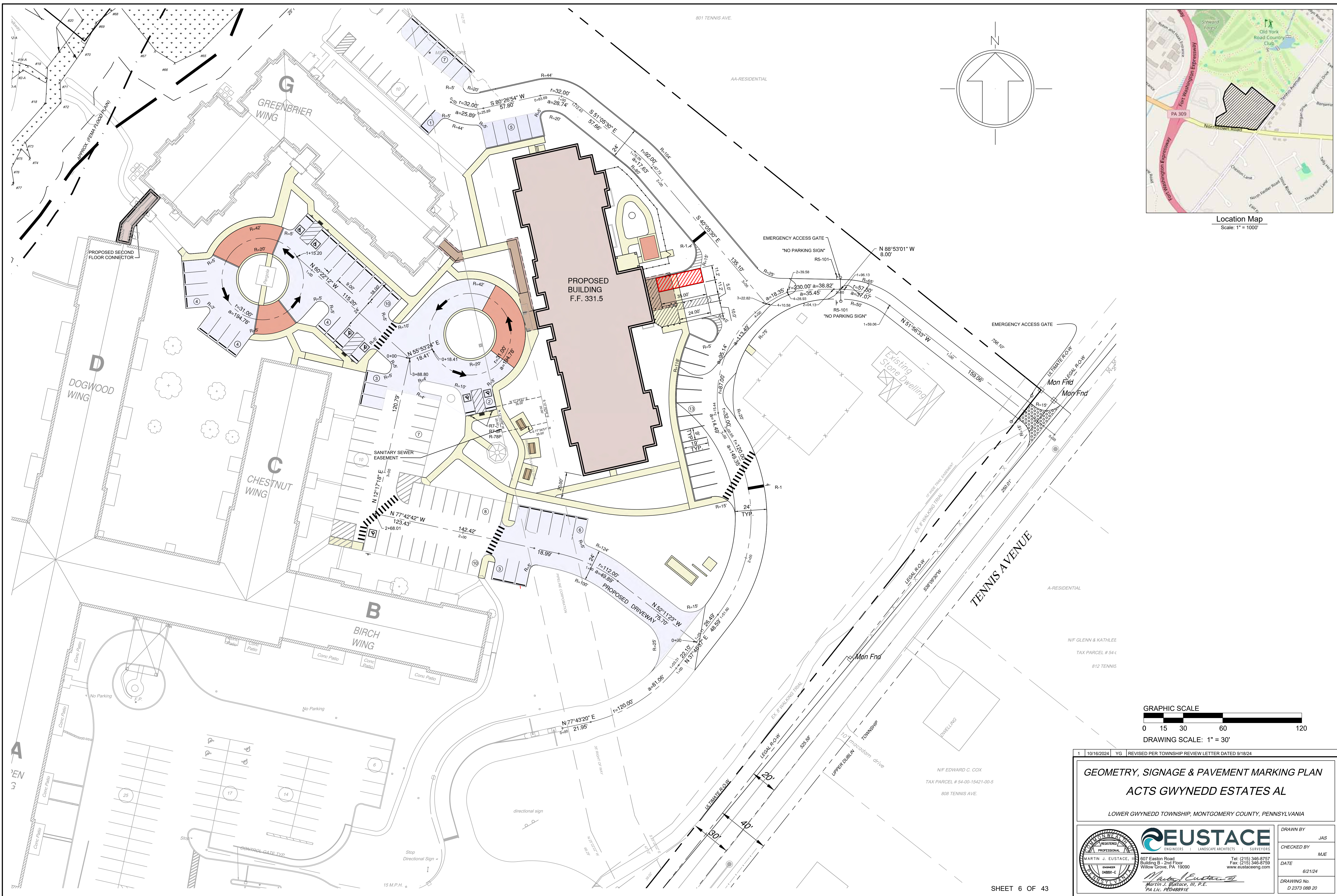
-  GRASS AREA TO BE PAVED
-  EXISTING PAVING TO BE REMOVED
-  EXISTING PAVING TO BE REPLACED

REFER TO SHEET 37 FOR TREE REMOVALS

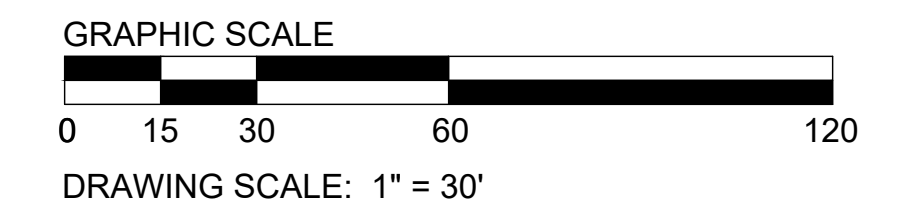


<p>1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24</p> <p>EXISTING FEATURES / DEMOLITION PLAN B</p> <p>ACTS GWYNEDD ESTATES AL</p> <p>LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA</p>	
	
<p>DRAWN BY: JAS</p> <p>CHECKED BY: MJE</p> <p>DATE: 6/21/24</p> <p>DRAWING No.: D 2373 08B 10</p>	<p>MARTIN J. EUSTACE, III 307 Easton Road Building B - 2nd Floor Willow Grove, PA 19090 Tel: (215) 346-8757 Fax: (215) 346-8759 www.eustaceeng.com</p> <p>Martin J. Eustace, III, P.E. PA Lic. PE048891E</p>

X:\PROJECTS\237308B Gwynedd Estates Assisted Living\AutoCAD\Drawings\Land Development\06-GEOMETRY.dwg June 24, 2024



Location Map
Scale: 1" = 1000'



1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

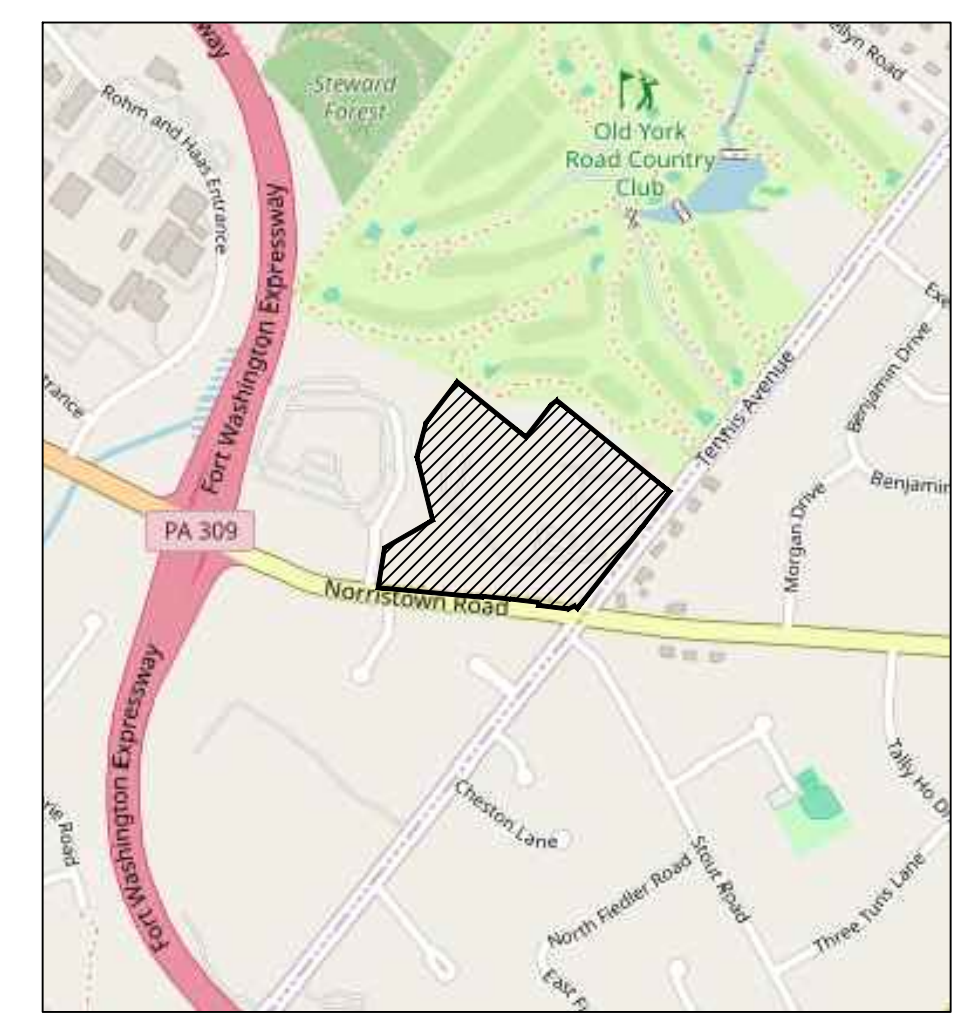
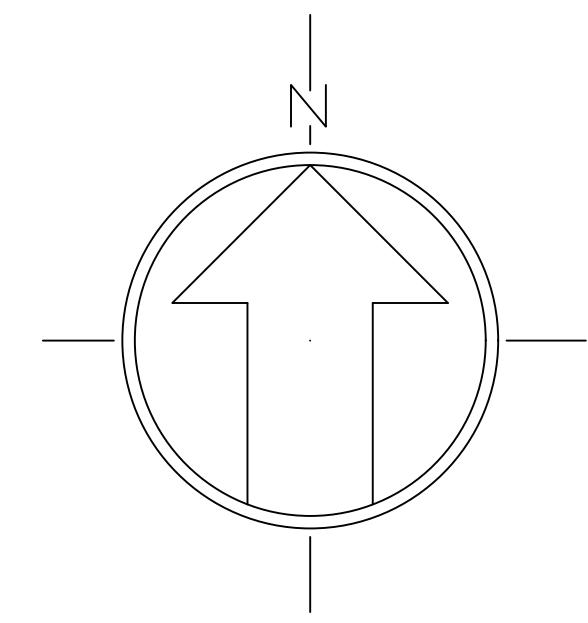
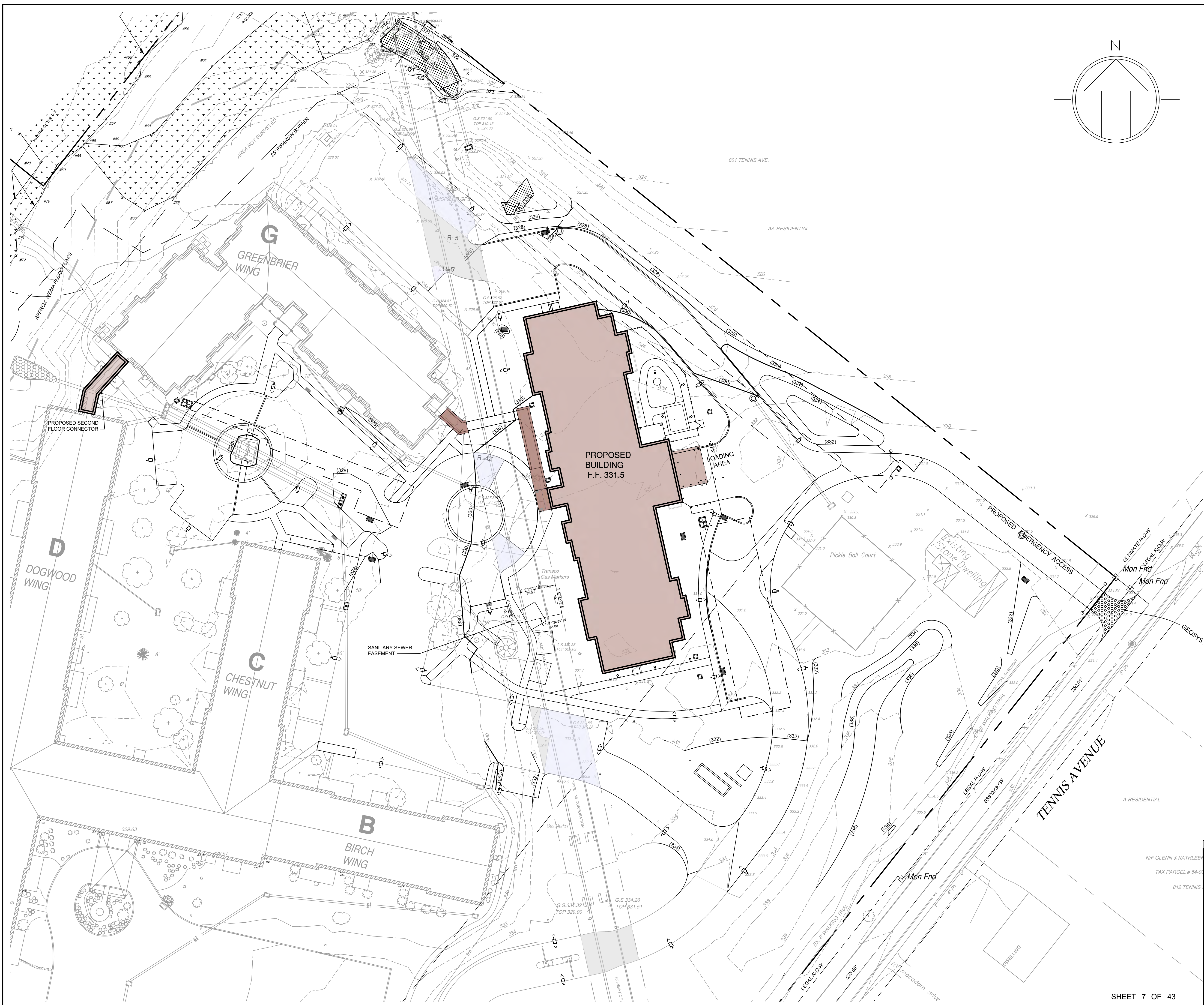
GEOMETRY, SIGNAGE & PAVEMENT MARKING PLAN
ACTS GWYNEDD ESTATES AL
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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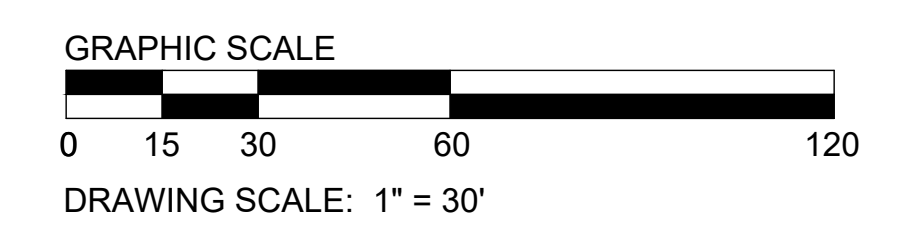
MARTIN J. EUSTACE, III
 807 Easton Road
 Willow Grove, PA 19090
 Tel: (215) 346-8757
 Fax: (215) 346-8759
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 DATE: 6/21/24
 DRAWING No.: D 2373 08B 20

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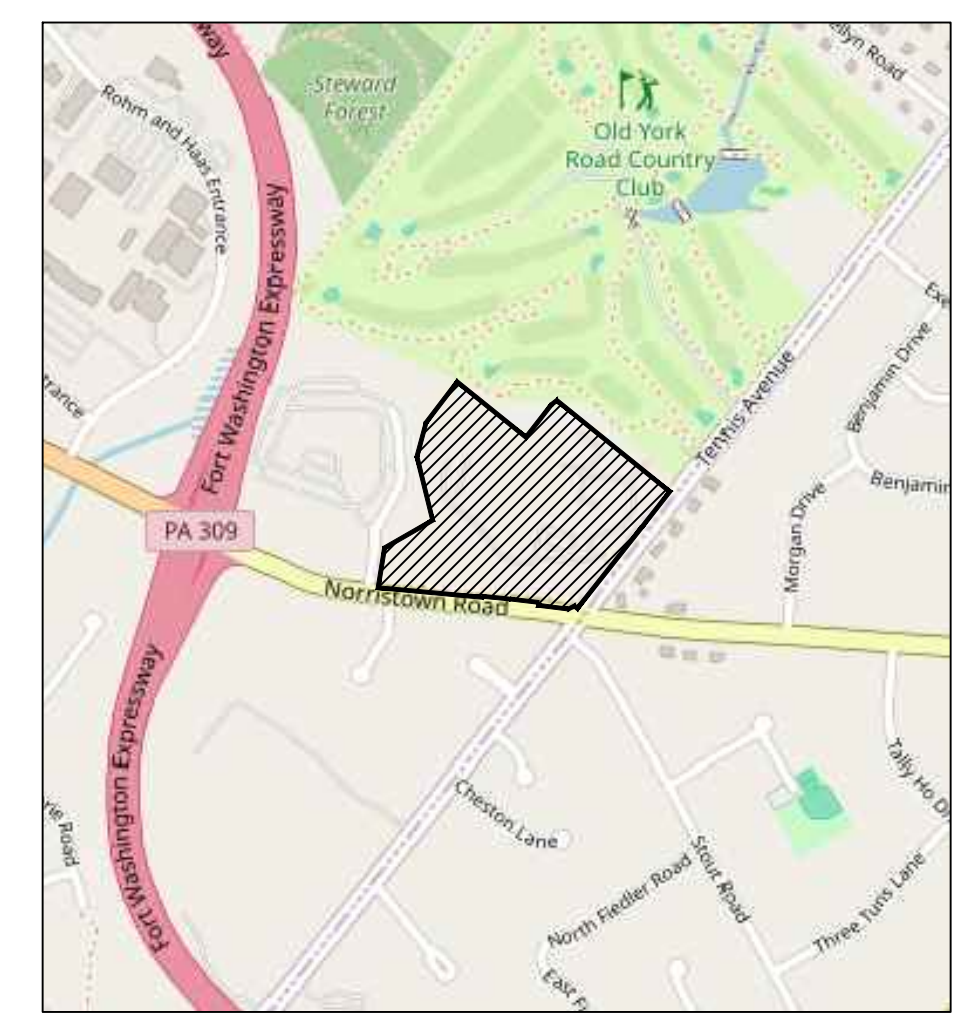
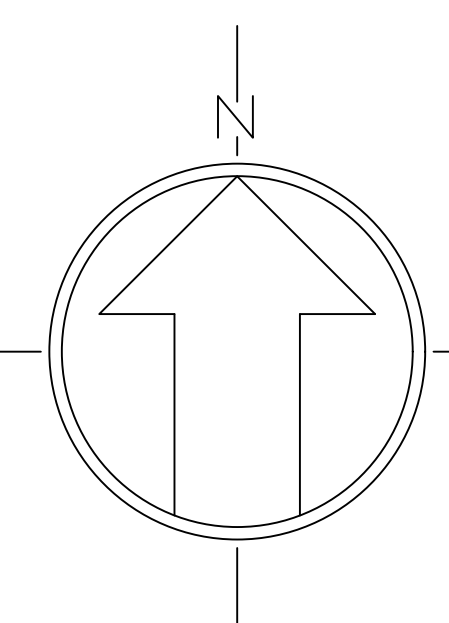
Location Map
Scale: 1" = 1000'



DRAWING SCALE: 1" = 30'

1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24	
GRADING PLAN - A	
ACTS GWYNEDD ESTATES AL	
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA	
	EUSTACE ENGINEERS LANDSCAPE ARCHITECTS SURVEYORS 807 Easton Road Willow Grove, PA 19090 Tel: (215) 346-8757 Fax: (215) 346-8759 www.eustaceeng.com
	DRAWN BY: JAS CHECKED BY: MJE DATE: 6/21/24 DRAWING No.: D 2373 08B 45

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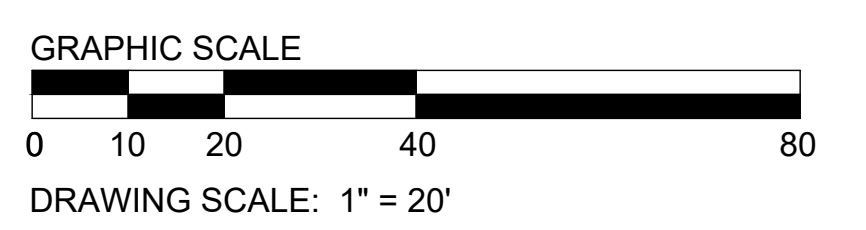


Location Map
Scale: 1" = 1000'

**Riparian Buffer and FEMA Floodplain
Cut-Fill Calculations - Contour Method**

Elevation	Fill Area (SF)	Cut Area (SF)	Fill Volume (CF)	Cut Volume (CF)	Net Volume (CF)
327	0.0	0.0	60.2	39.8	20.4
326	120.4	79.6	96.1	39.8	56.3
325	71.8	0.0	50.7	0.0	50.7
324	29.7	0.0	26.5	70.2	-43.7
323	23.4	140.5	11.7	239.6	-227.9
322	0.0	338.7	0.0	197.9	-197.9
321	0.0	57.1	0.0	1.4	-1.4
320.95	0.0	0.0			
TOTALS (CF):			245.3	588.7	-343.5
TOTALS (CY):			9.1	21.8	-12.7

*NOTES: Calculations are limited to the areas within the 25 foot Riparian Buffer and/or the FEMA Floodplain lines shown on the plan at left.



1 10/18/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

GRADING PLAN - B
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

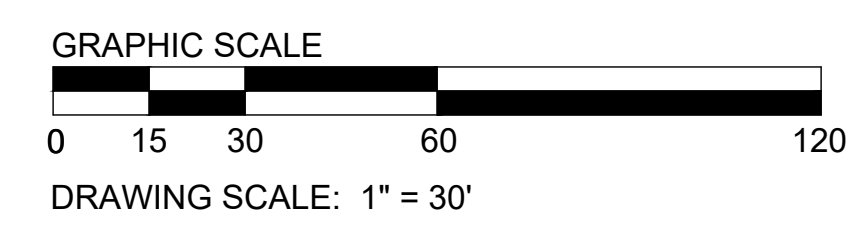
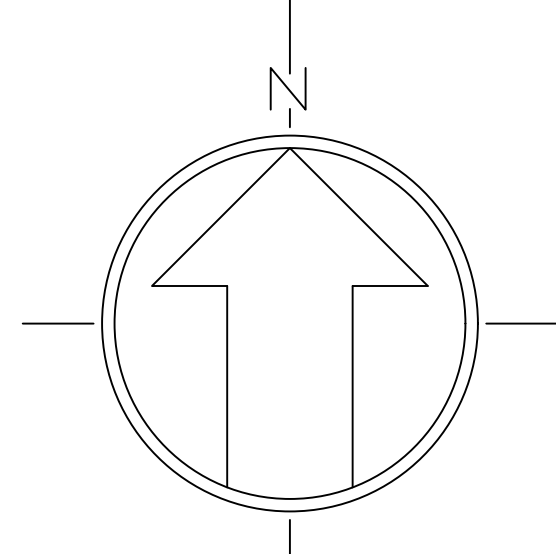
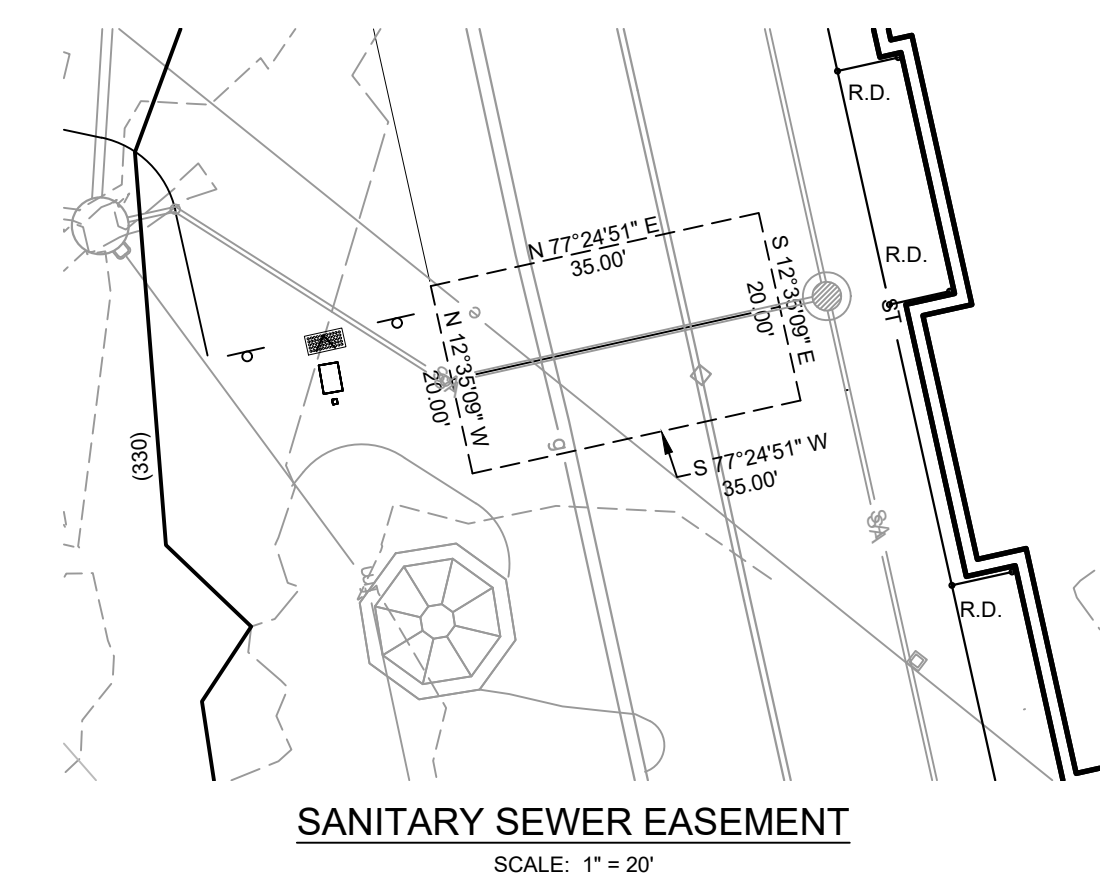
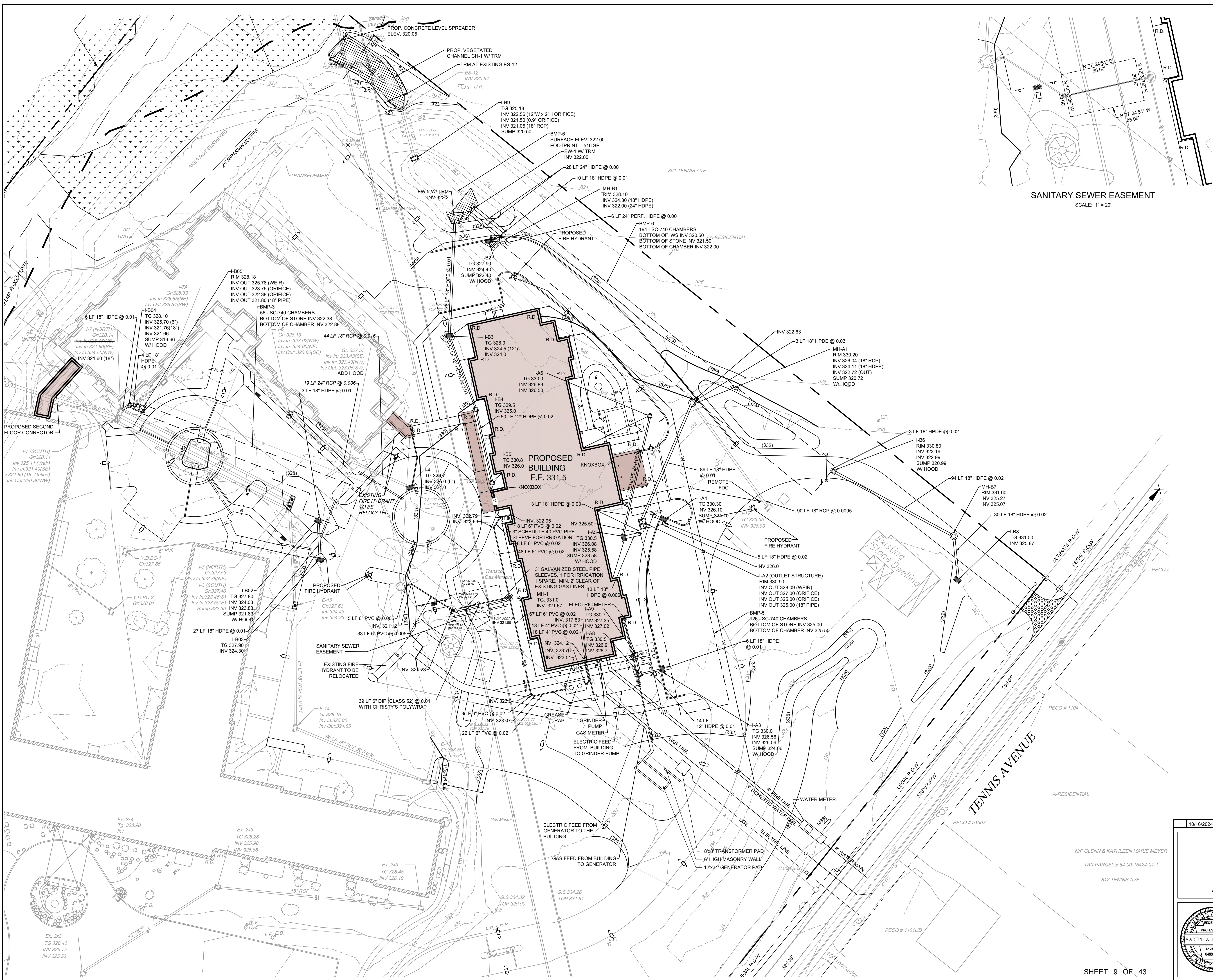
MARTIN J. EUSTACE, III
PROFESSIONAL ENGINEER
048891-E

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Building B - 2nd Floor
Willow Grove, PA 19090
Tel: (215) 346-8757
Fax: (215) 346-8759
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DATE: 6/21/24
DRAWING No.: D 2373 08B 46

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1 10/18/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

UTILITY PLAN - A
ACTS GWYNEDD ESTATES AL
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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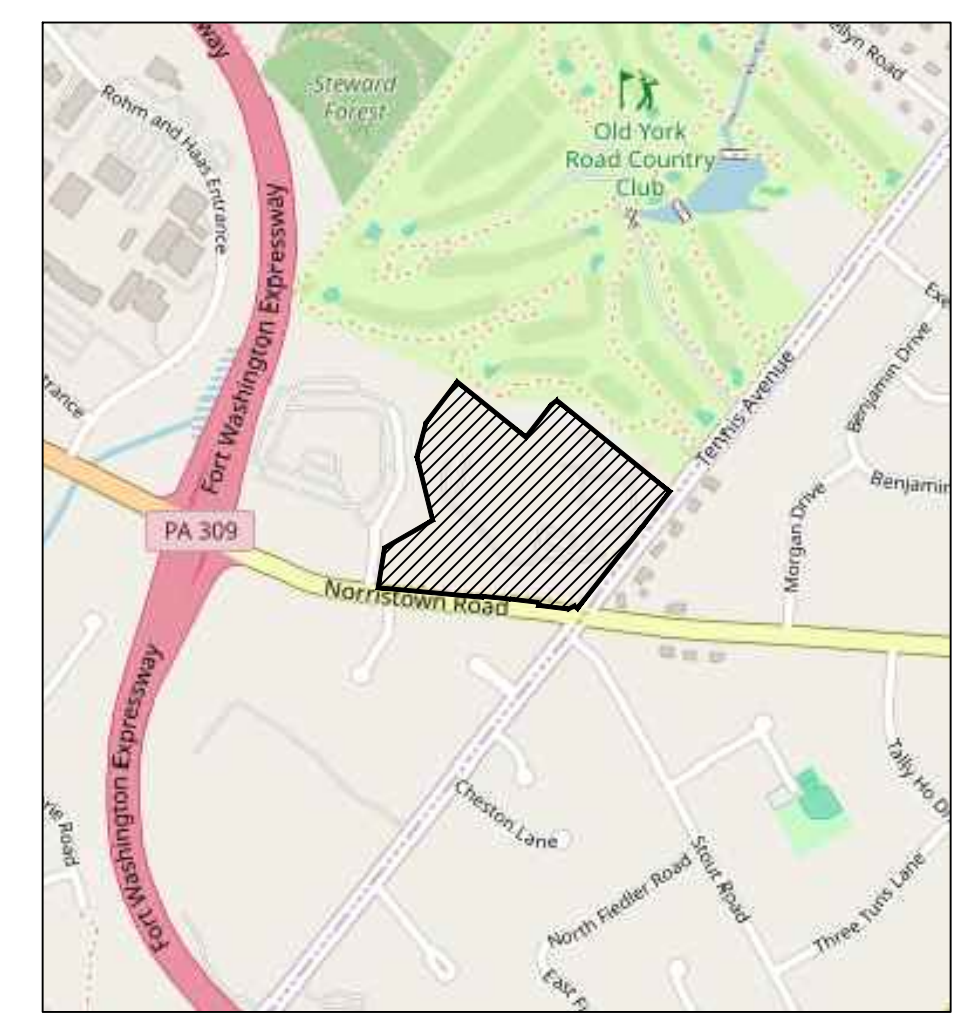
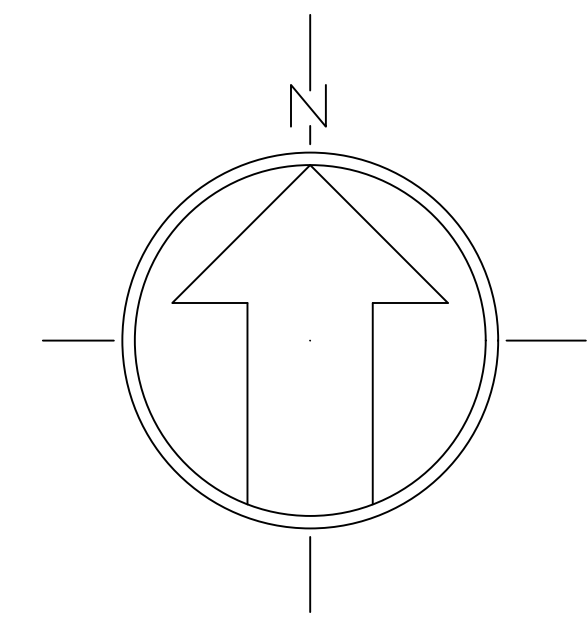
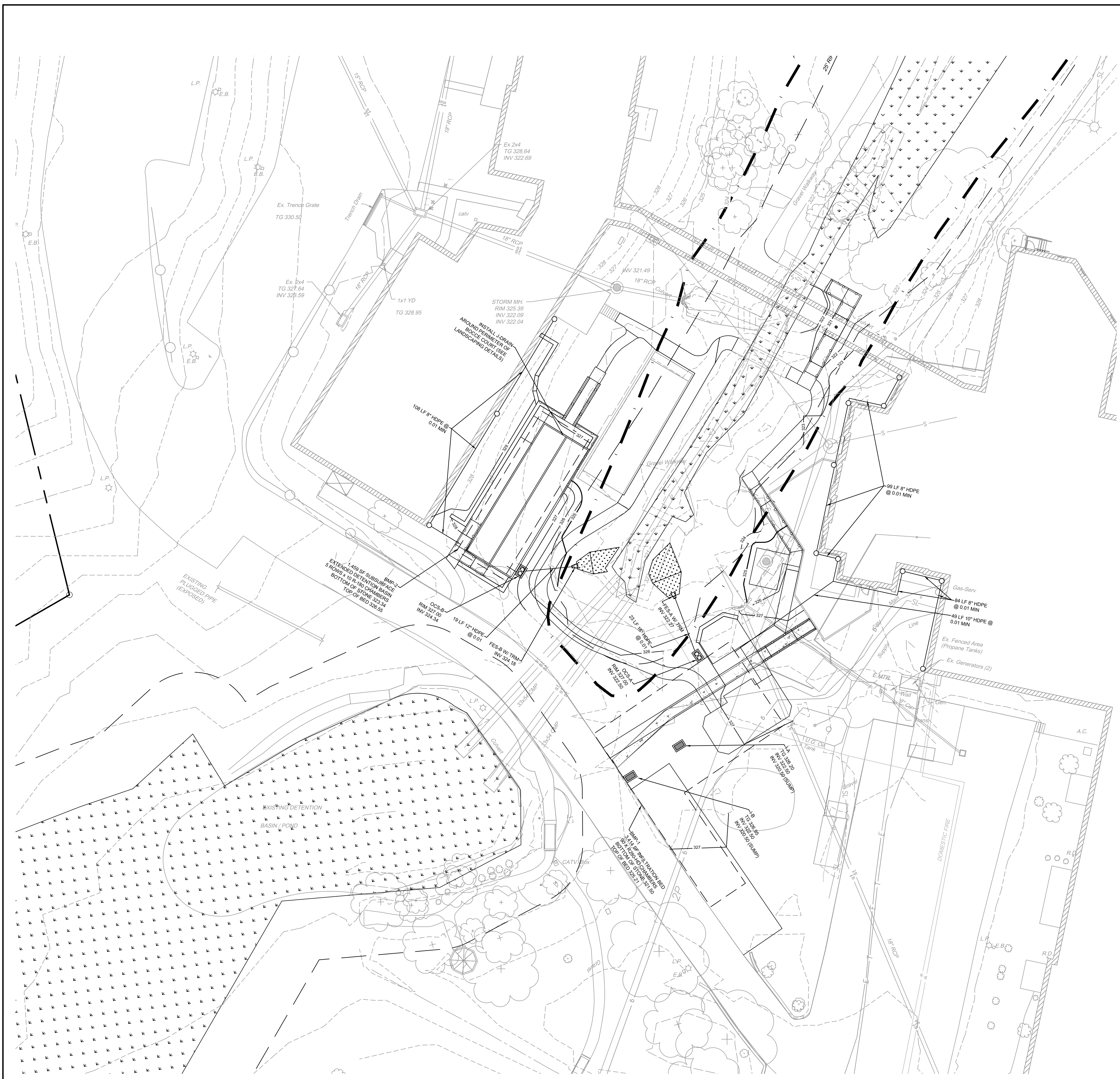
MARTIN J. EUSTACE, III
 307 Easton Road
 Building B - 2nd Floor
 Willow Grove, PA 19090
 Tel: (215) 346-8757
 Fax: (215) 346-8759
 www.eustaceeng.com

PA Lic. PE048891E

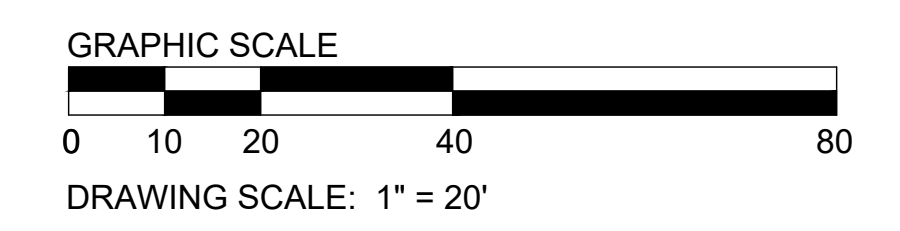
DRAWN BY: JAS
 CHECKED BY: MJE
 DATE: 6/21/24
 DRAWING No.: D 2373 08B 31

N/F GLENN & KATHLEEN MARIE MEYER
TAX PARCEL # 54-00-15424-01-1
812 TENNIS AVE.

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Location Map
Scale: 1" = 1000'



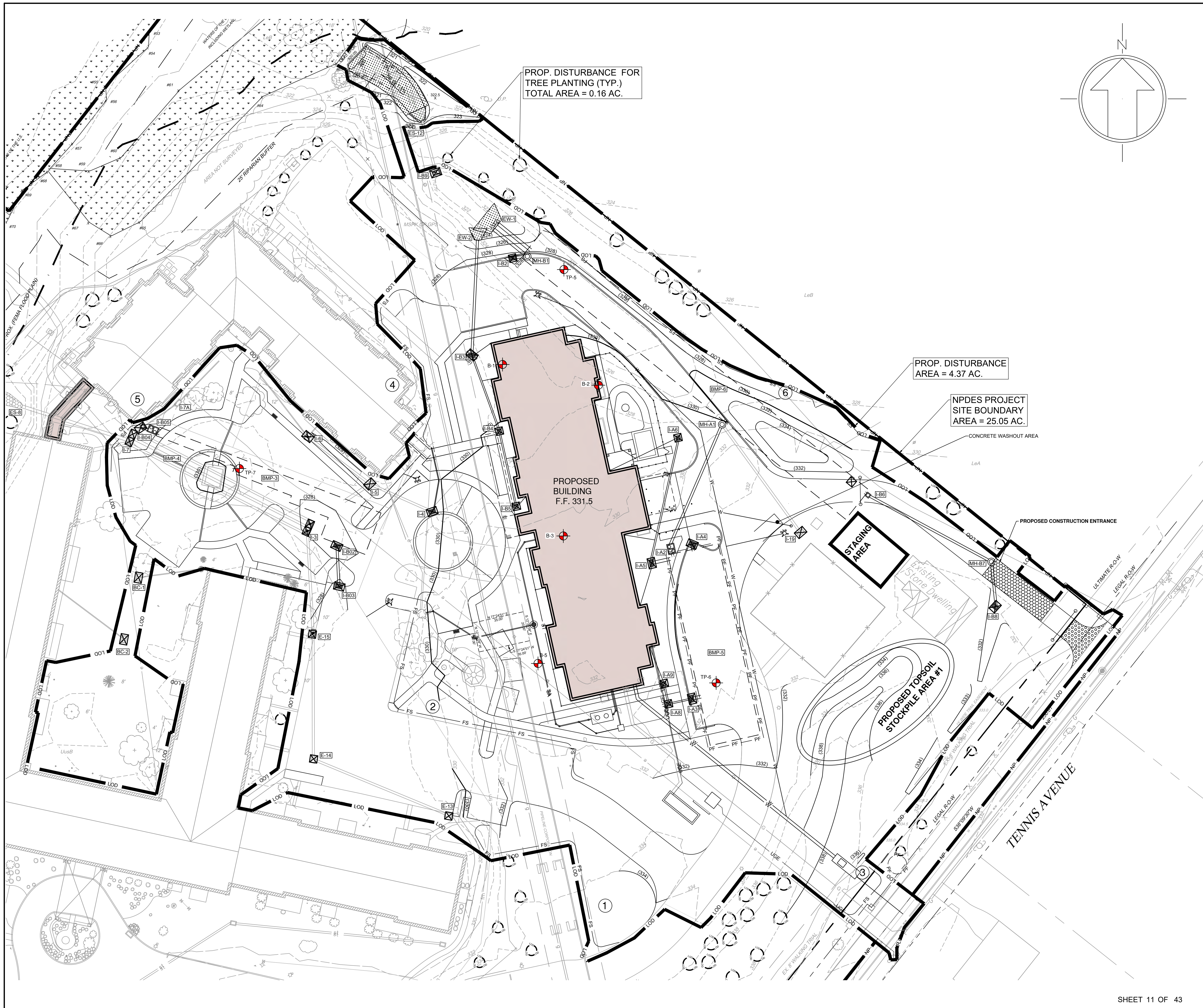
1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

UTILITY PLAN - B
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

	 807 Easton Road Building B - 2nd Floor Willow Grove, PA 19090 Tel: (215) 348-8757 Fax: (215) 348-8759 www.eustaceeng.com	DRAWN BY	JAS
		CHECKED BY	MJE
		DATE	6/21/24
		DRAWING No.	D 2373 08B 32

X:\PROJECTS\237308B Gwynedd Estates Living\AutoCAD\Drawings\Land Development\01_12 EROSION.dwg October 21, 2024



PROP. DISTURBANCE FOR TREE PLANTING (TYP.) TOTAL AREA = 0.16 AC.

PROP. DISTURBANCE AREA = 4.37 AC.

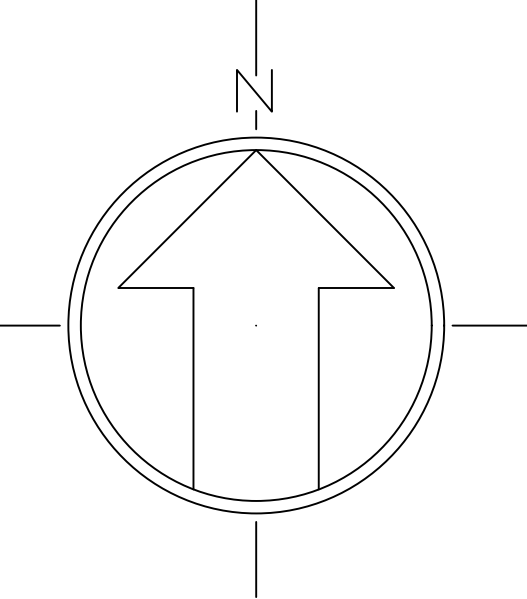
NPDES PROJECT SITE BOUNDARY AREA = 25.05 AC.

PROPOSED BUILDING F.F. 331.5

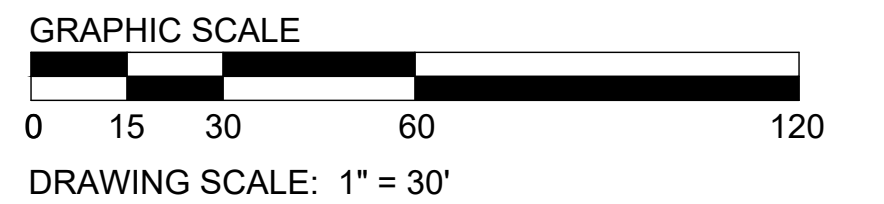
STAGING AREA

PROPOSED TOPSOIL STOCKPILE AREA #1

TENNIS AVENUE



Location Map Scale: 1" = 1000'

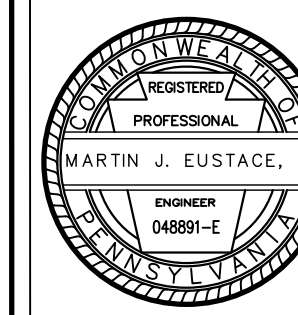


DRAWING SCALE: 1" = 30'

1 10/18/2024 YG MCCC SUBMISSION SET & REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

EROSION & SEDIMENTATION CONTROL PLAN - A ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA



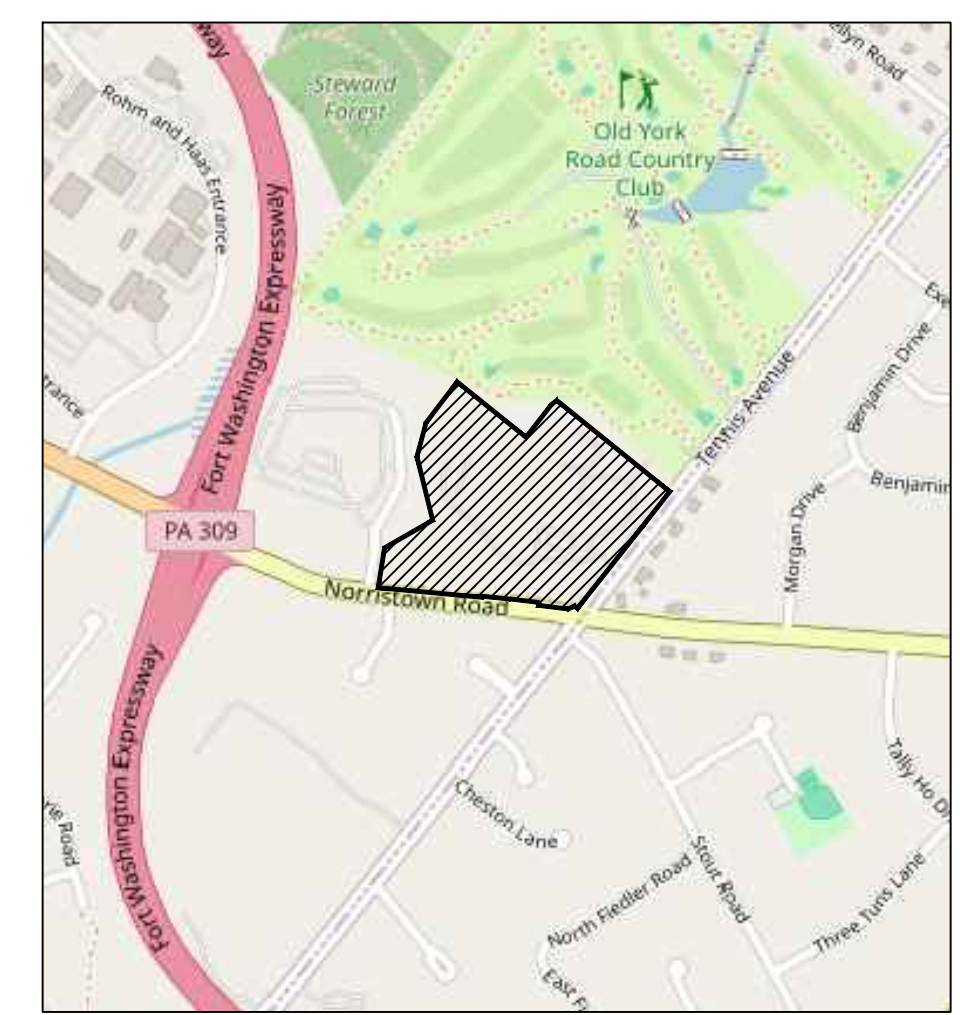
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Fax: (215) 348-8759
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Martin J. Eustace, III, P.E.
PA Lic. PE048891E

DRAWN BY JAS
CHECKED BY MJE
DATE 6/21/24
DRAWING No. D 2373 08B 16

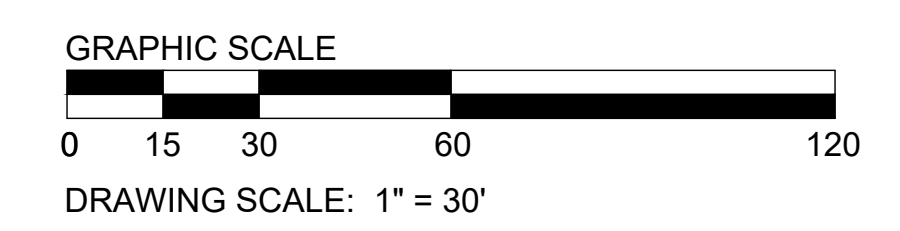
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Location Map
Scale: 1" = 1000'

PROP. DISTURBANCE
AREA = 0.60 AC.

PROP. DISTURBANCE FOR
TREE PLANTING (TYP.)
TOTAL AREA = 0.16 AC.



1 10/18/2024 YG MCCD SUBMISSION SET & REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

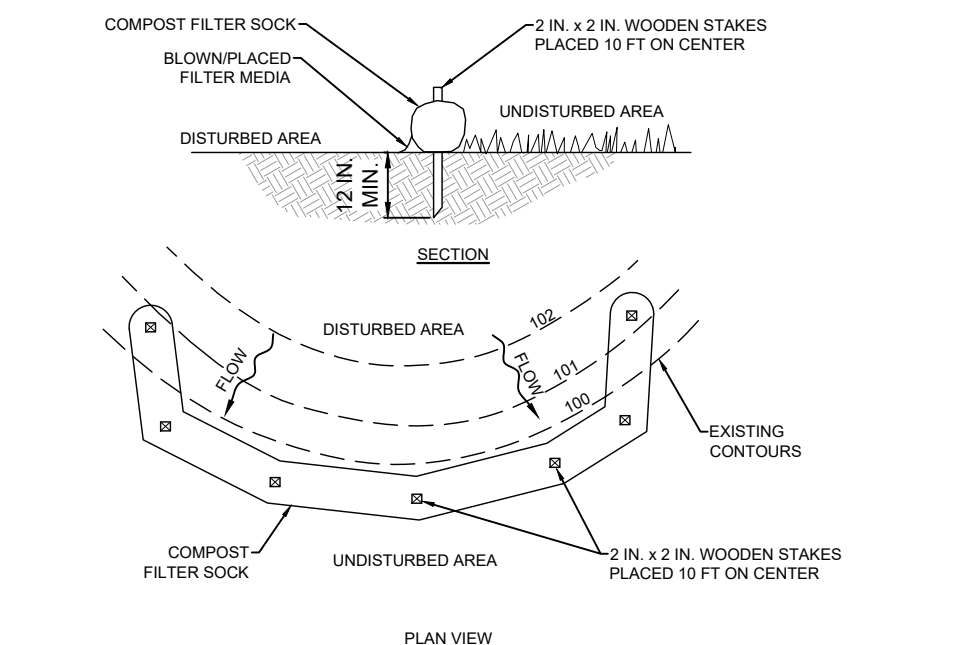
EROSION & SEDIMENTATION CONTROL PLAN - B
ACTS GWYNEDD ESTATES AL
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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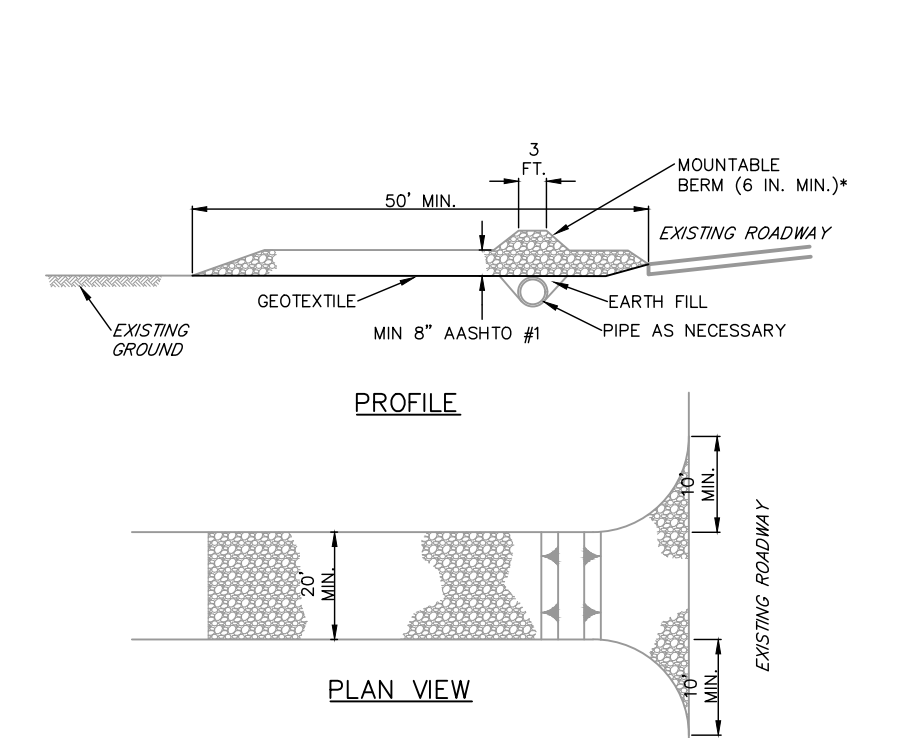
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 CHECKED BY: MJE
 DATE: 6/21/24
 DRAWING No.: D 2373 08B 17



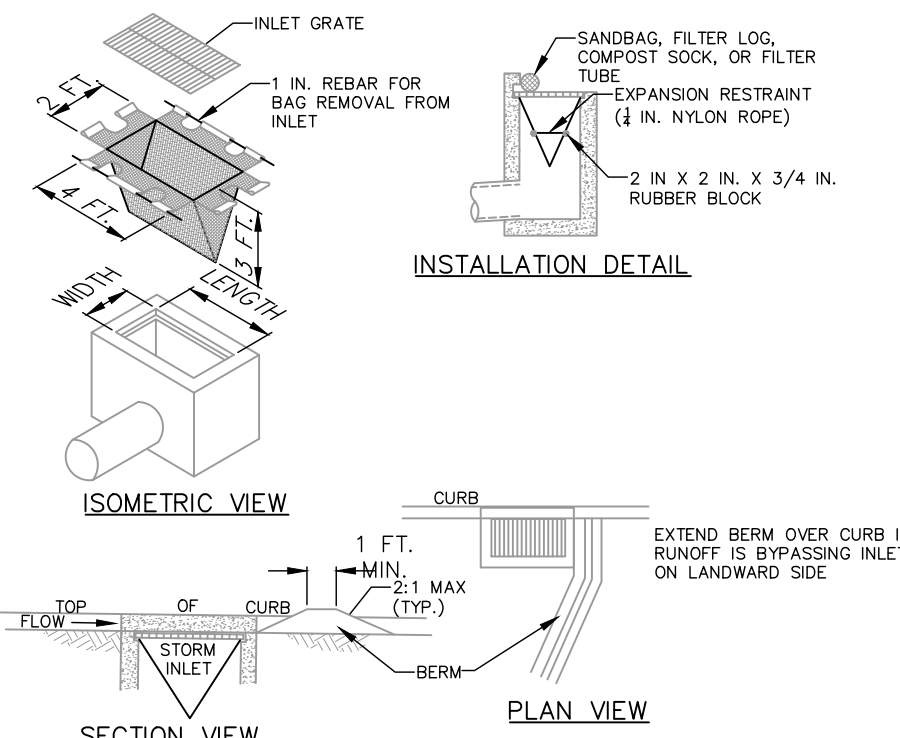
NOTES:
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH BETWEEN ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 BIOGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTOGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1
 COMPOST FILTER SOCK**
 NOT TO SCALE

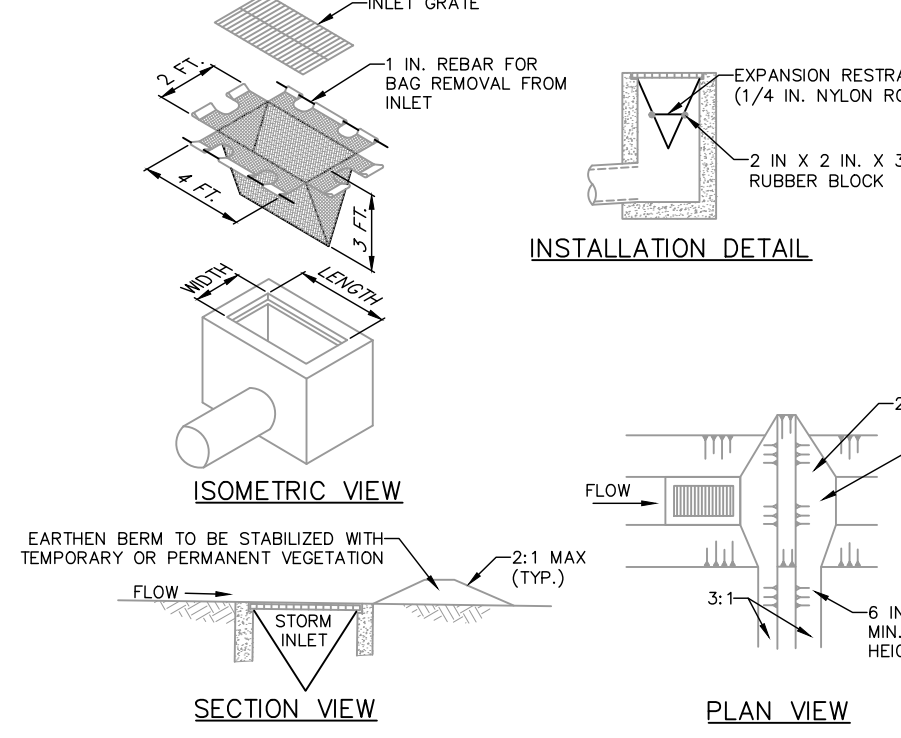
LOCATION	SOCK ID #	DIAMETER (IN")
SOUTH OF PROPOSED DRIVE CONNECTION	1	12
SOUTH OF PROPOSED BUILDING	2	12
ALONG TENNIS/AVE NEAR CABLEBOX	3	12
NORTH OF PROPOSED LOOP DRIVE	4	12
WEST OF PROPOSED LOOP DRIVE	5	12
ALONG NORTHERN PROPERTY LINE	6	12
RECREATION AREA	7	12



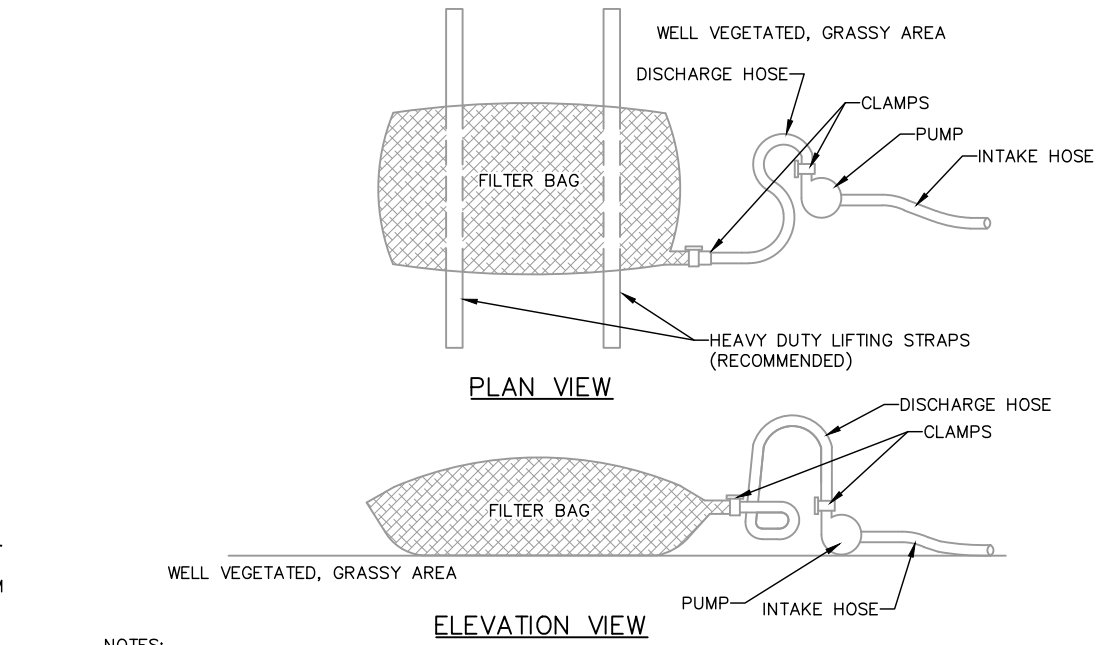
**STANDARD CONSTRUCTION DETAIL #3-1
 ROCK CONSTRUCTION ENTRANCE**
 NOT TO SCALE



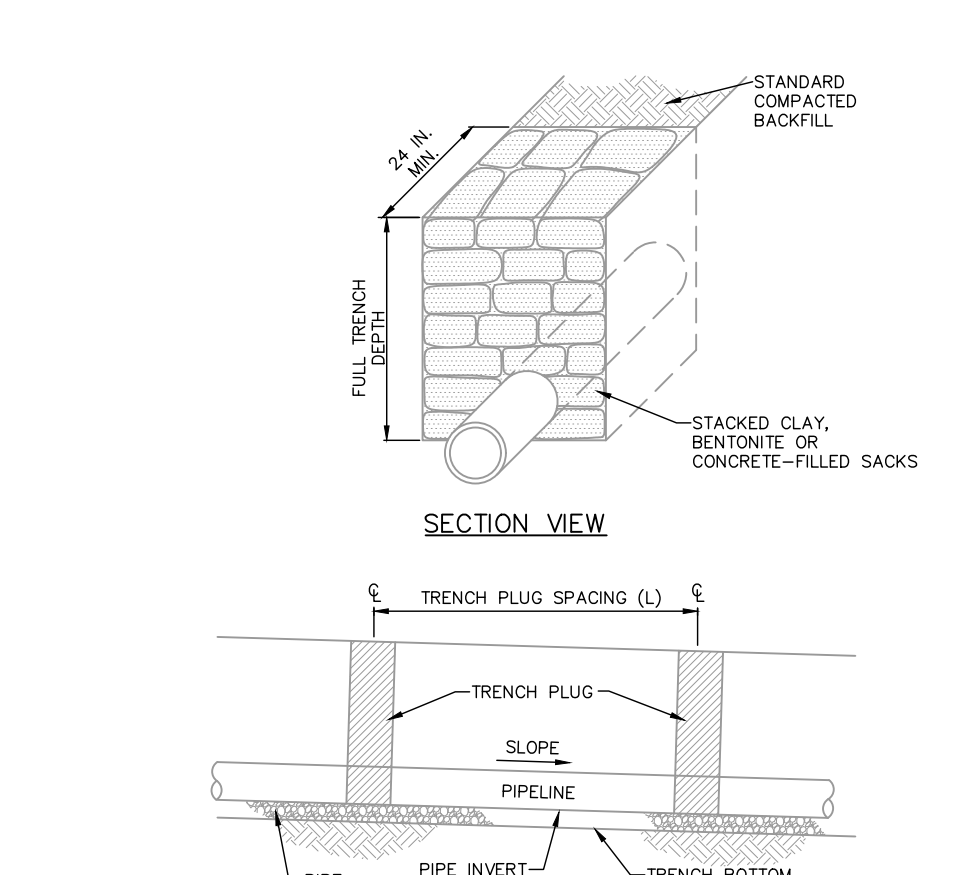
**STANDARD CONSTRUCTION DETAIL #4-15
 FILTER BAG INLET PROTECTION - TYPE C INLET**
 NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #4-16
 FILTER BAG INLET PROTECTION - TYPE M INLET**
 NOT TO SCALE

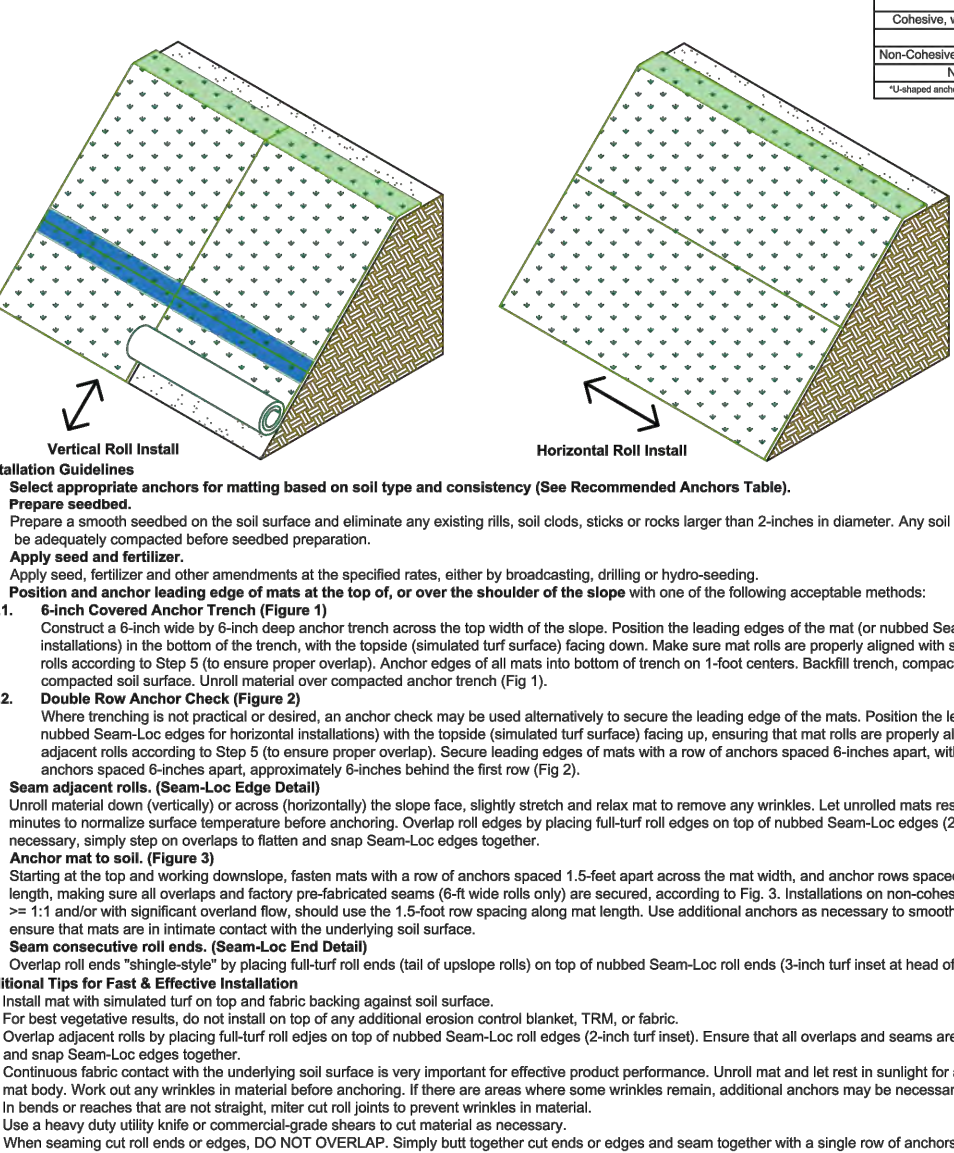


**STANDARD CONSTRUCTION DETAIL #3-16
 PUMPED WATER FILTER BAG**
 NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #3-4
 TRENCH PLUG INSTALLATION**
 NOT TO SCALE

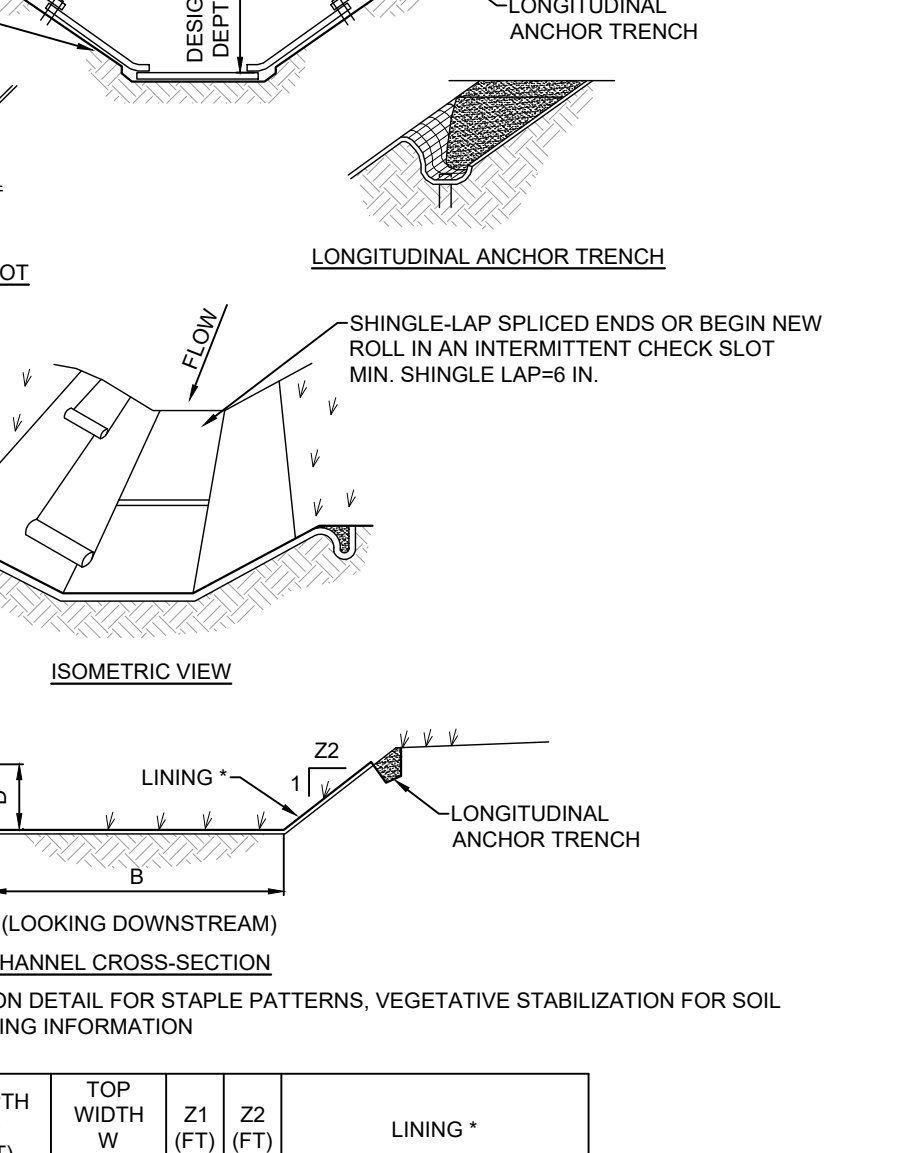
ShearForce10 Hybrid Turf Instant Armor Mat Installation Guide for Slopes



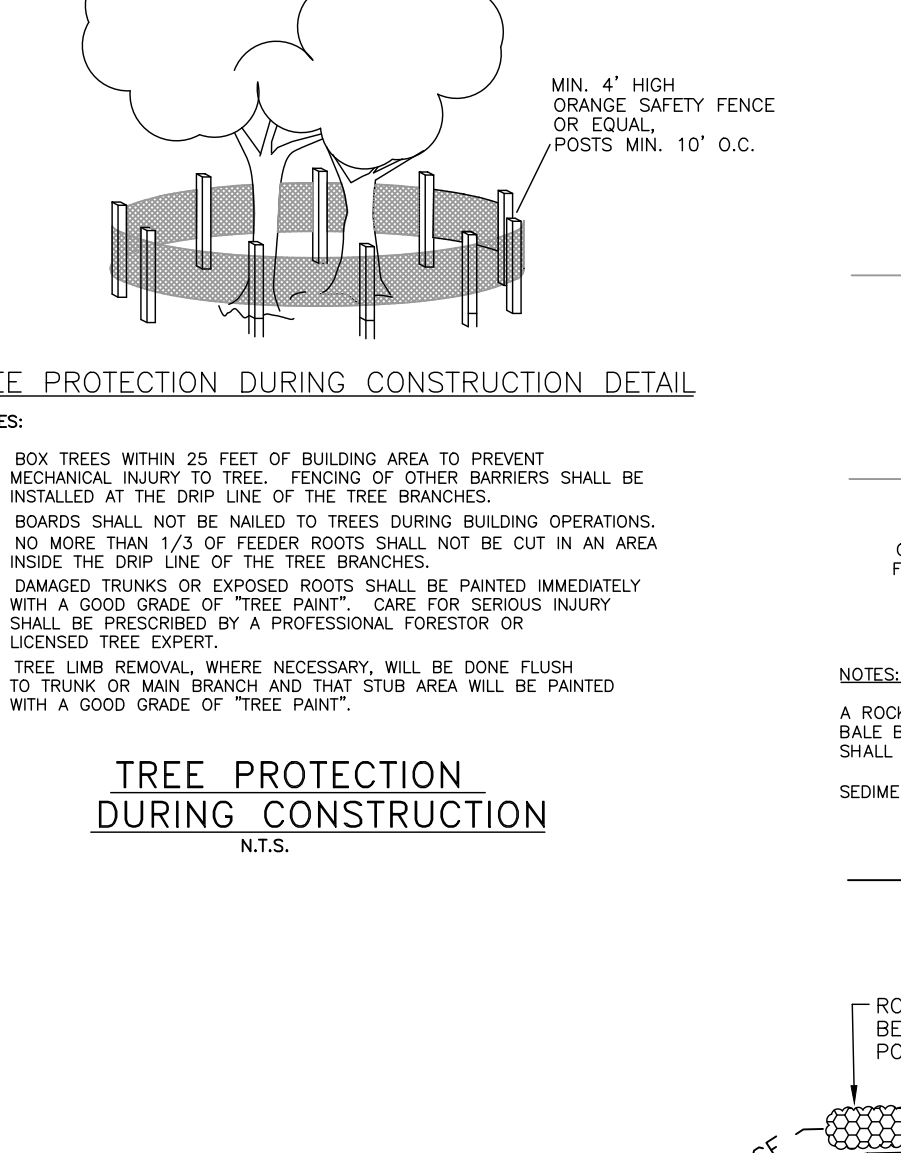
**STANDARD CONSTRUCTION DETAIL #6-1
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE

OUTLET NO.	PIPE DIA (IN)	RIPRAP * R _z	THICK RT (IN)	LENGTH AI (FT)	INITIAL WIDTH Aw (FT)	TERMINAL WIDTH At (FT)
FES-A	18	4	18	8	4.5	12.5
FES-B	12	3	9	6	3	9
EW-1	24	4	18	11	6	17
EW-2	18	4	18	8	4.5	12.5
ES-12	18	4	18	8	4.5	12.5

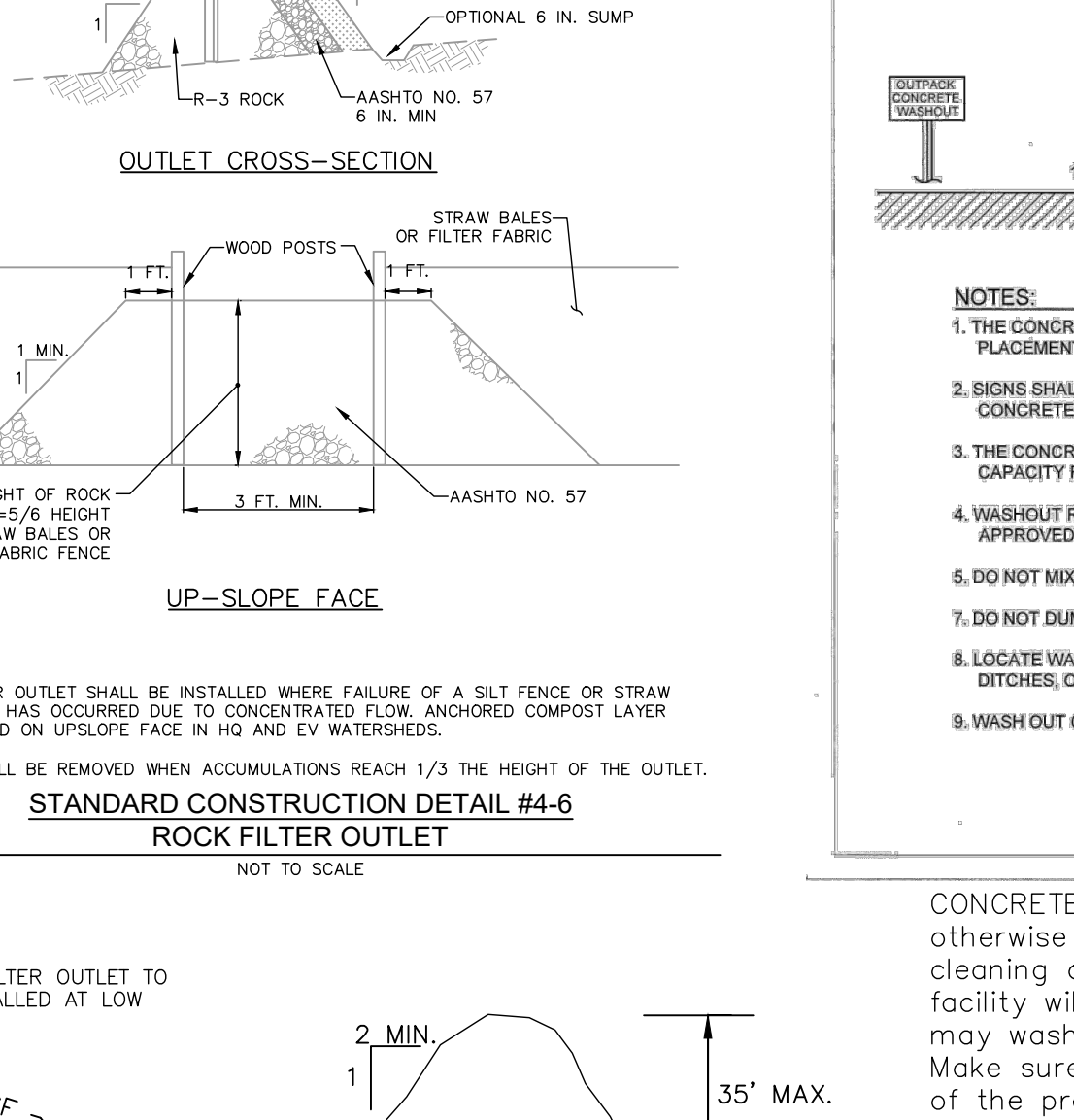
**STANDARD CONSTRUCTION DETAIL #6-1
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE



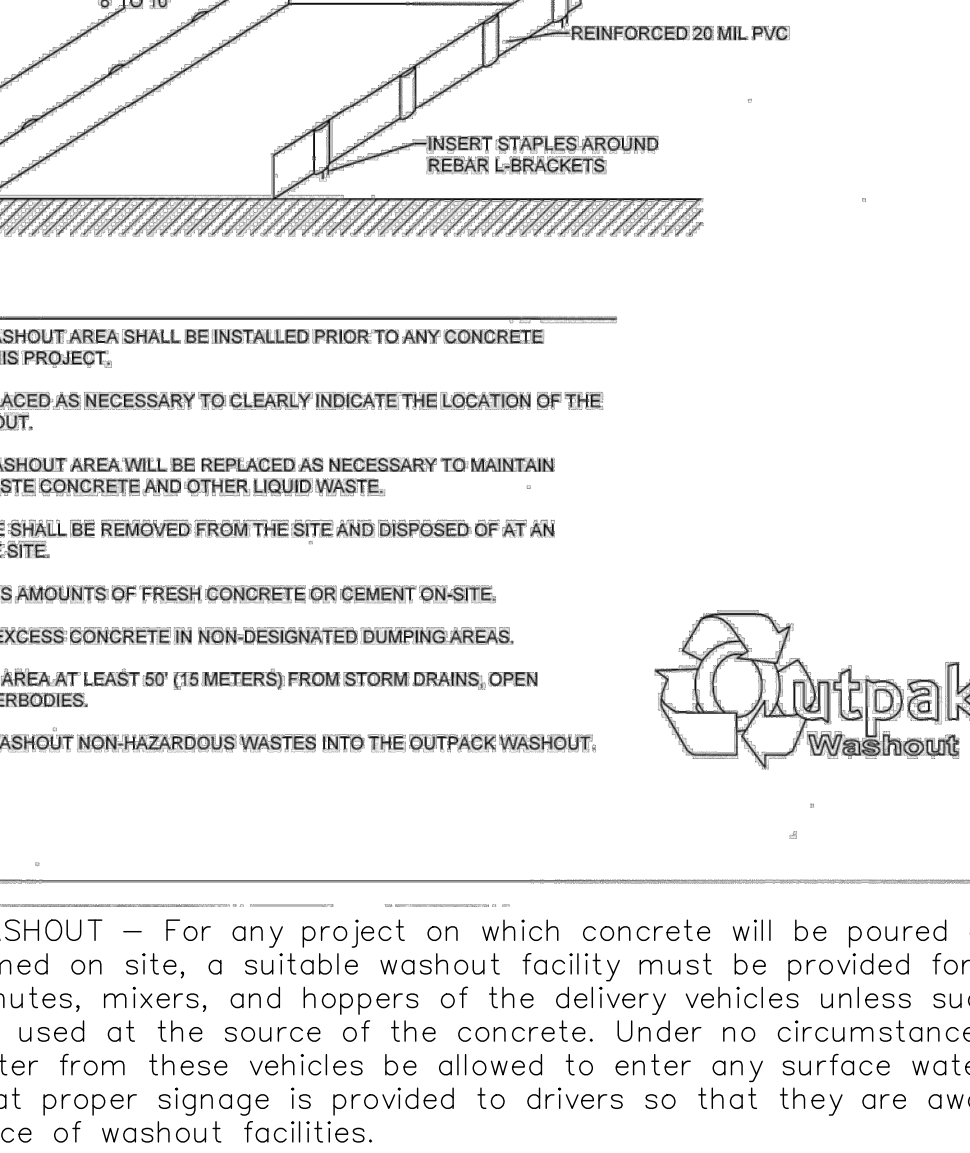
**STANDARD CONSTRUCTION DETAIL #6-6
 ROCK FILTER OUTLET**
 NOT TO SCALE



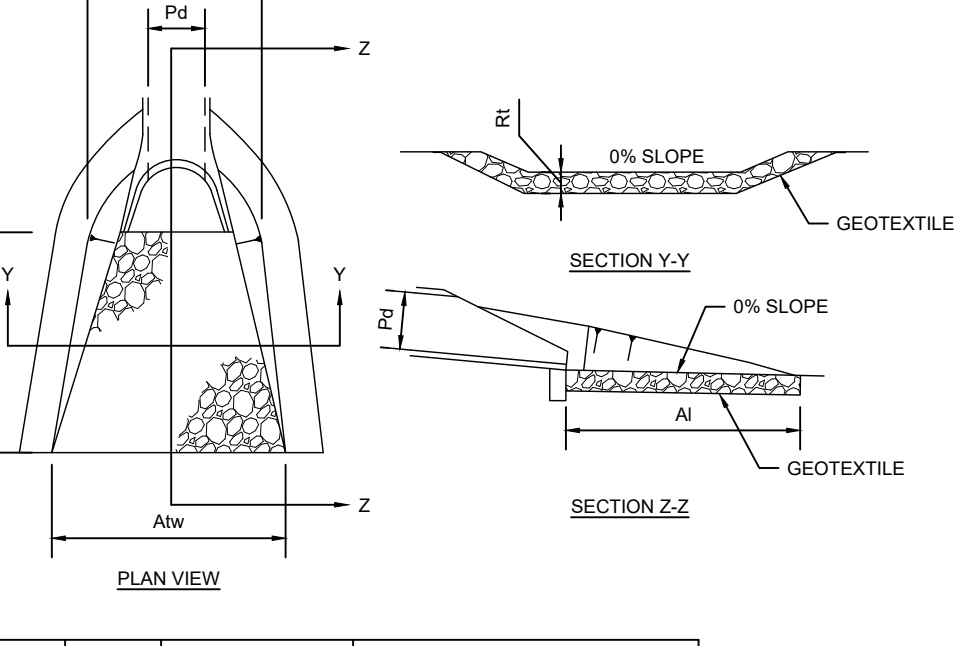
**STANDARD CONSTRUCTION DETAIL #6-6
 ROCK FILTER OUTLET**
 NOT TO SCALE



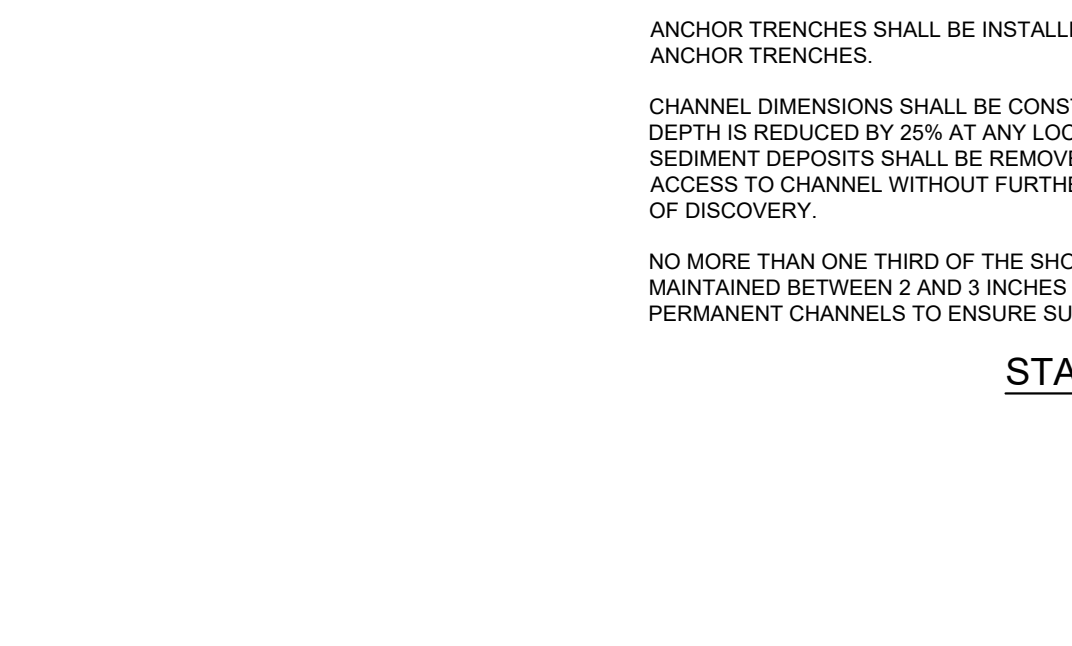
**STANDARD CONSTRUCTION DETAIL #6-6
 ROCK FILTER OUTLET**
 NOT TO SCALE



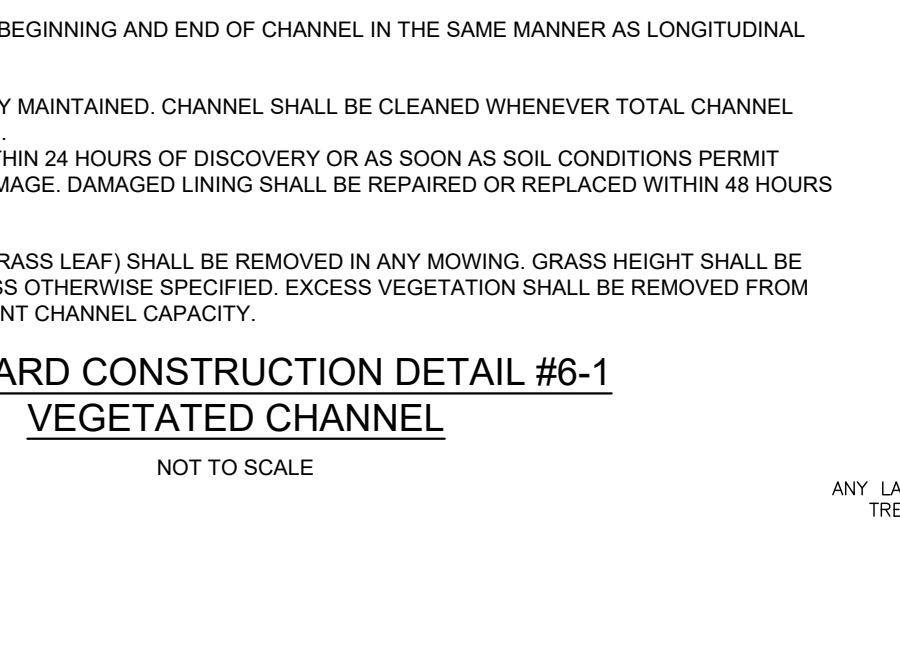
**STANDARD CONSTRUCTION DETAIL #9-1
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 NOT TO SCALE



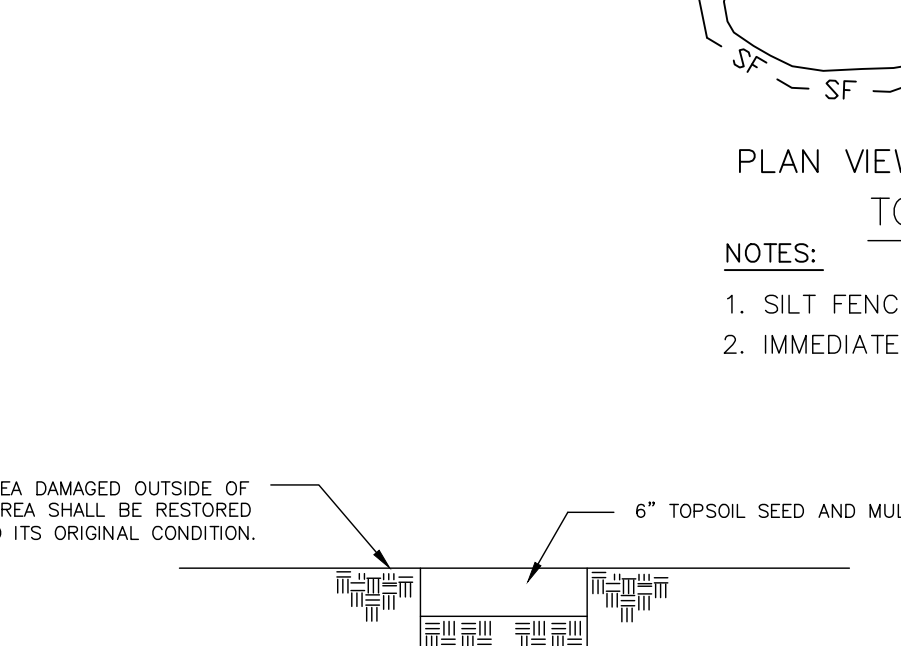
**STANDARD CONSTRUCTION DETAIL #9-1
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE



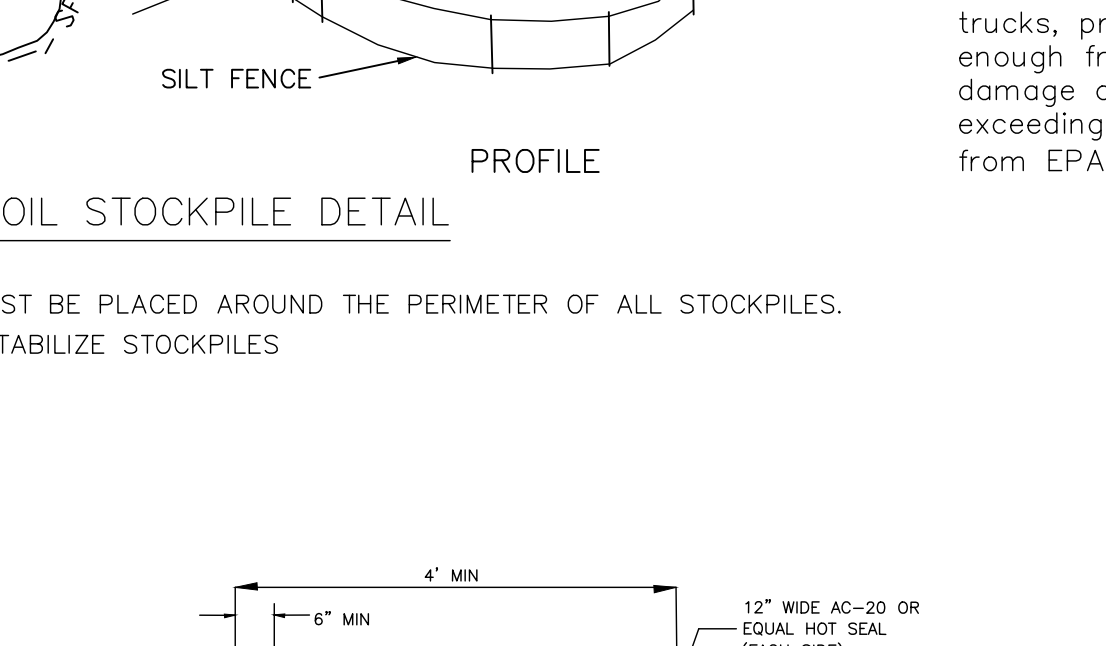
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 NOT TO SCALE



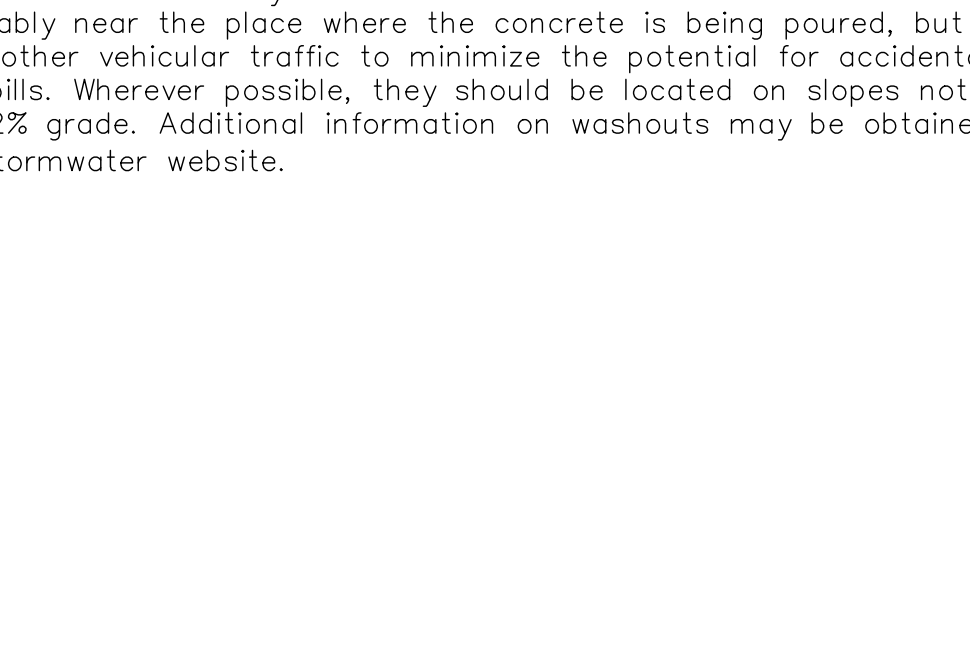
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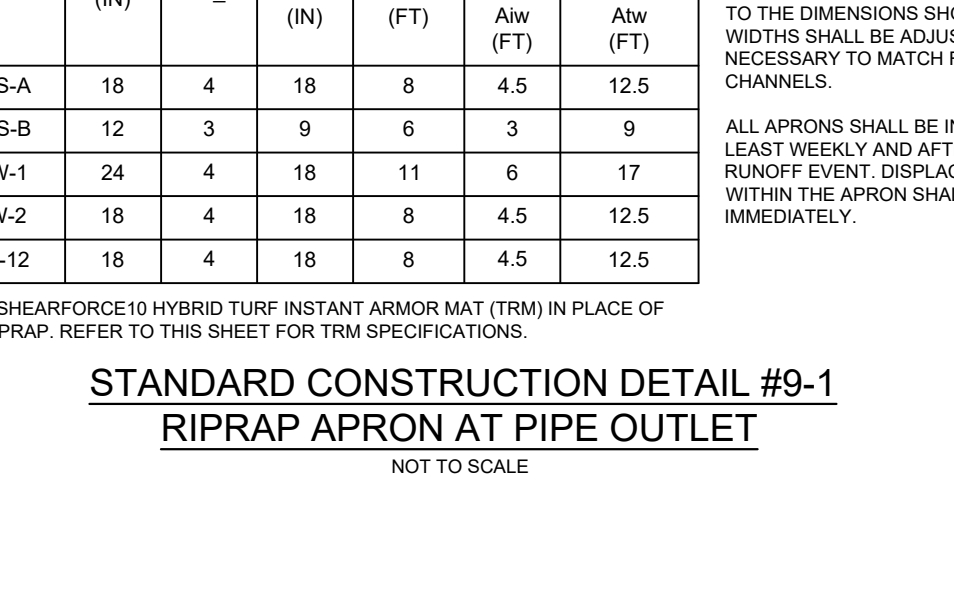
**STANDARD CONSTRUCTION DETAIL #9-1
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #9-1
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #9-1
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE



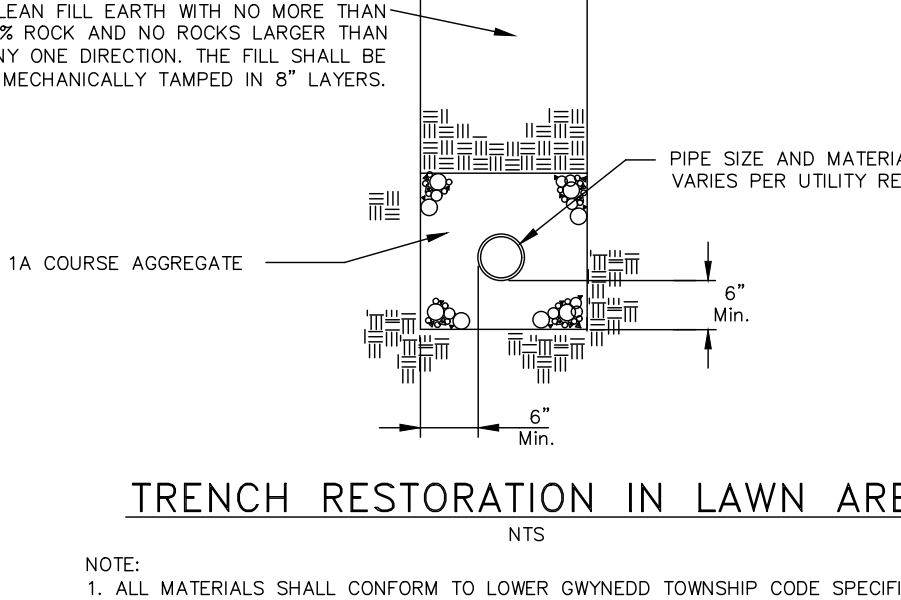
**STANDARD CONSTRUCTION DETAIL #9-1
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE



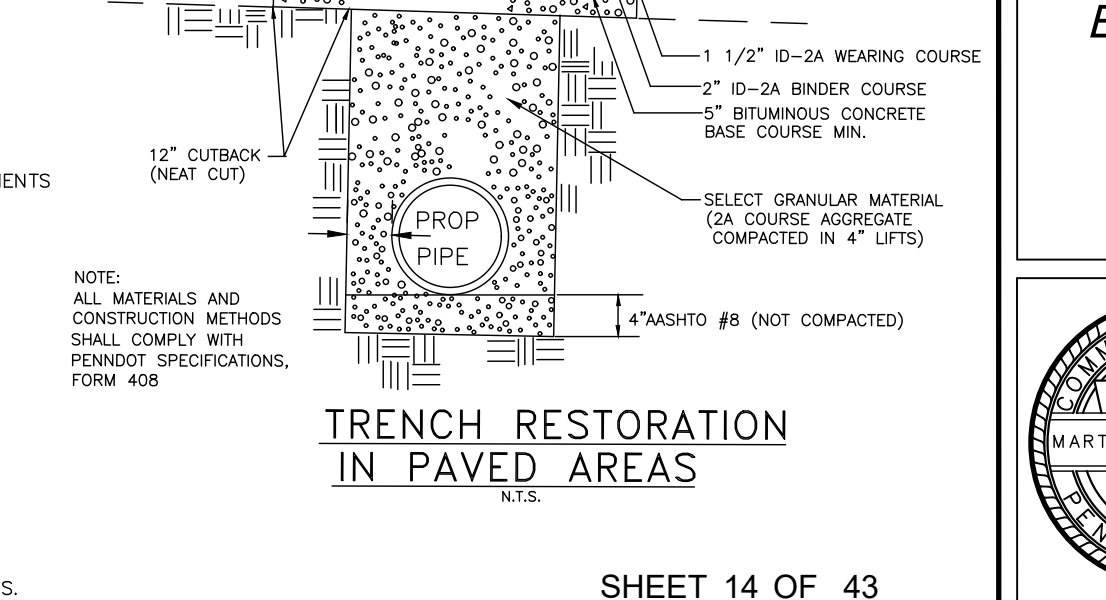
**STANDARD CONSTRUCTION DETAIL #9-1
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE



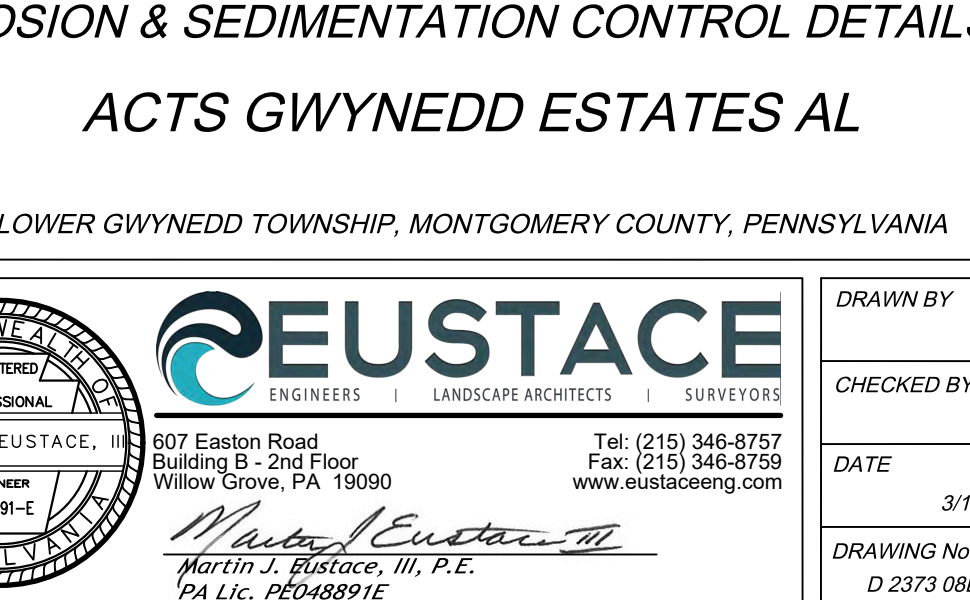
**STANDARD CONSTRUCTION DETAIL #9-1
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #9-1
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #9-1
 RIPRAP APRON AT PIPE OUTLET**
 NOT TO SCALE



EROSION & SEDIMENTATION CONTROL DETAILS
ACTS GWYNEDD ESTATES AL
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

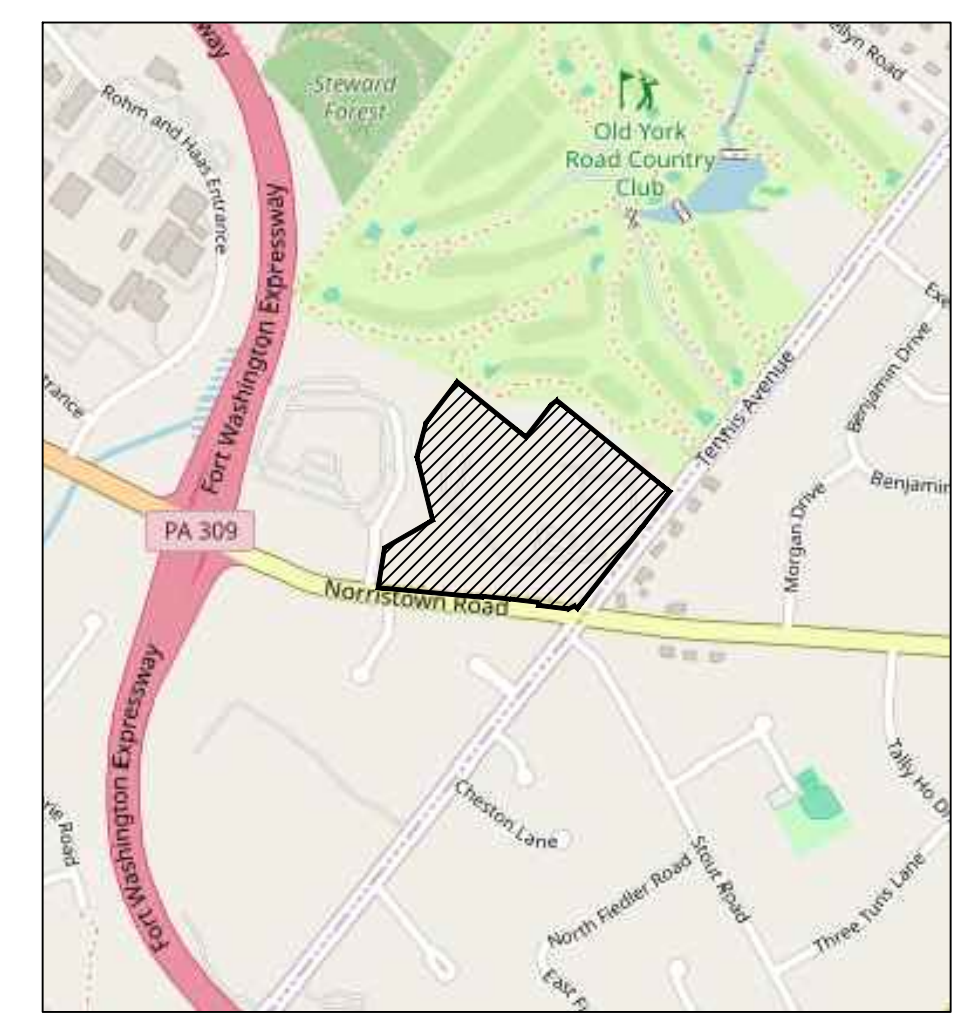
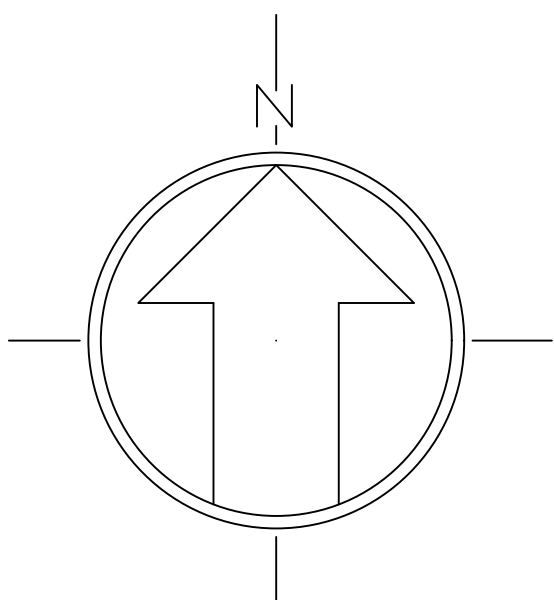
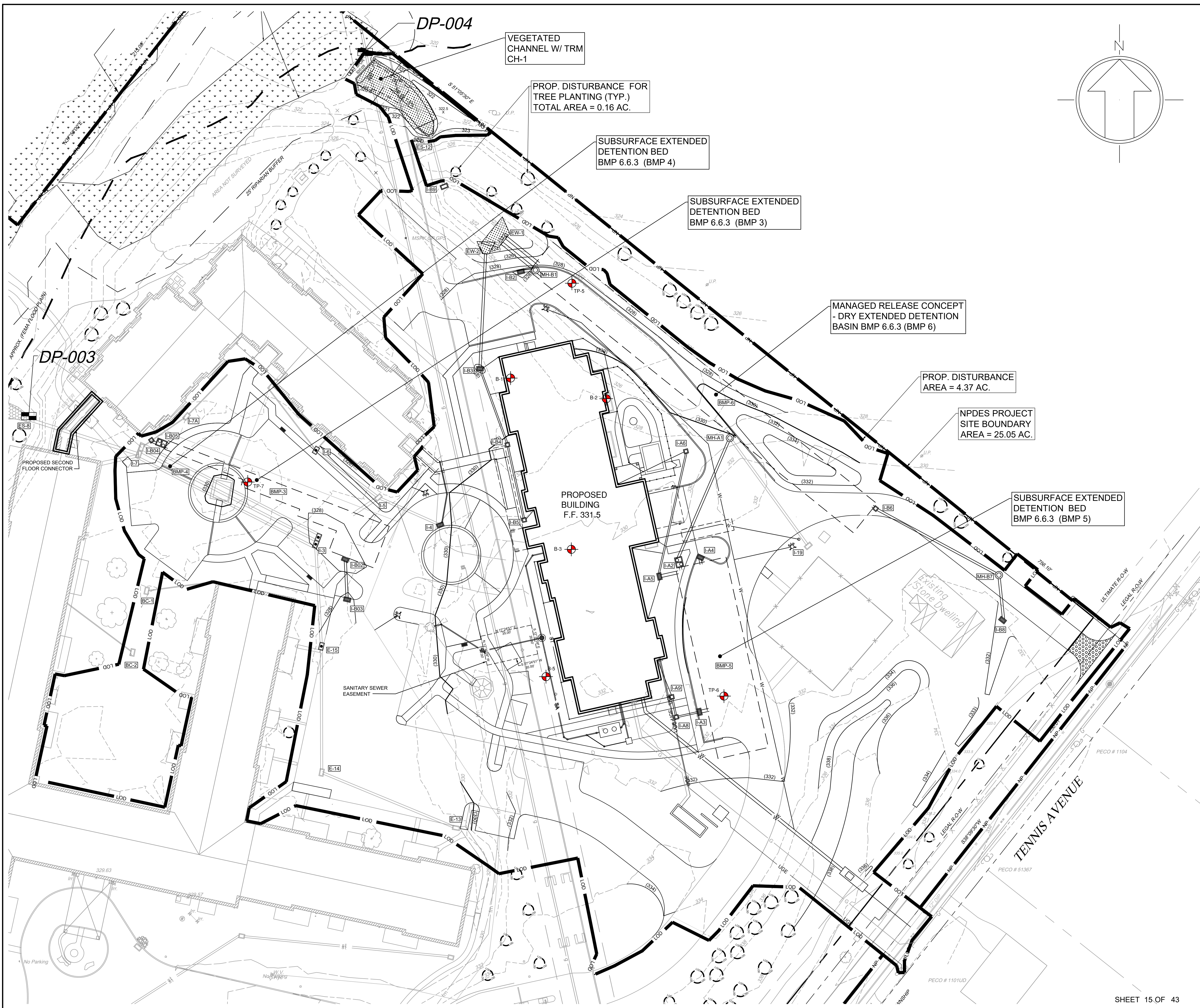
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 Willow Grove, PA 19090

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 CHECKED BY: MAE
 DATE: 3/13/24
 DRAWING No: D 2373 08B 14

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Location Map
Scale: 1" = 1000'

POST CONSTRUCTION STORMWATER MANAGEMENT DESIGN NOTES

1. The applicant has kept the proposed parking courts to the minimum anticipated for the use and located the improvements away from the existing riparian areas in an effort to minimize the overall impervious foot print.
2. The contractor shall install tree protection fencing as depicted on the Erosion and Sediment Control Plans to protect existing vegetation during construction.
3. The proposed stormwater management facilities were located in such manner to minimize changes to the existing drainage patterns, thereby protecting existing drainage features. Additionally, post developed flow rates shall be reduced to less than pre developed.
4. The proposed improvements were located in such a manner to minimize disturbance to the existing sensitive areas, minimize land clearing and minimize grading.
5. The applicant is incorporating minimized disturbance areas as nonstructural BMPs to minimize and prevent changes in stormwater runoff.
6. Project wastes from PCSM BMPs including accumulated sediment should be disposed of properly on-site. Debris and trash from PCSM BMPs shall be disposed of in the dumpsters for the building.
7. No geologic or soil conditions that have the potential to cause pollution are anticipated. The contractor shall coordinate with the geotechnical engineer should any geologic or soil conditions that have the potential to cause pollution are encountered.
8. The presence of materials which could cause pollution is not anticipated. The contractor shall handle and dispose of any such materials according to all applicable local, state and federal regulations.
9. Soils location and information per the USDA Web Soil Survey.
10. Access to the existing surface basin for construction shall be limited to lighter construction vehicles only. The loading of dump trucks shall be performed outside the limits of the basin.

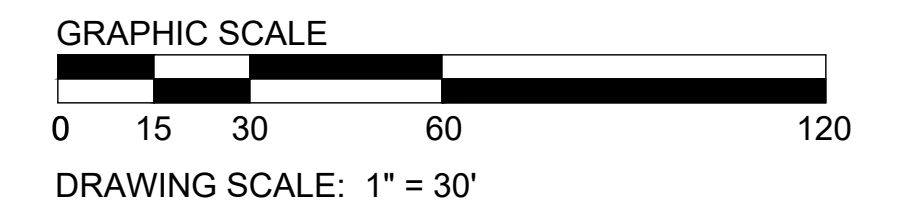
General Notes:

Refer to PCSM Landscape Plan (Sheet 42 of 43) for existing and proposed trees.

CERTIFICATION

I, SEAN FLETCHER KNOWLEDGE THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE TOWNSHIP, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE TOWNSHIP AND MONTGOMERY COUNTY CONSERVATION DISTRICT FOR APPROVAL, IF APPLICABLE.

SEAN FLETCHER
SENIOR VICE PRESIDENT - REAL ESTATE SERVICES

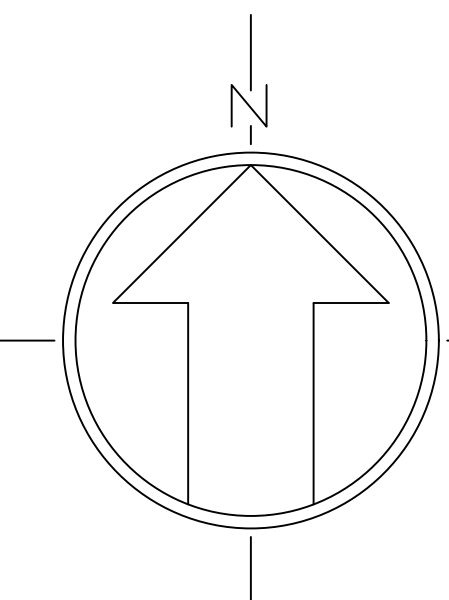
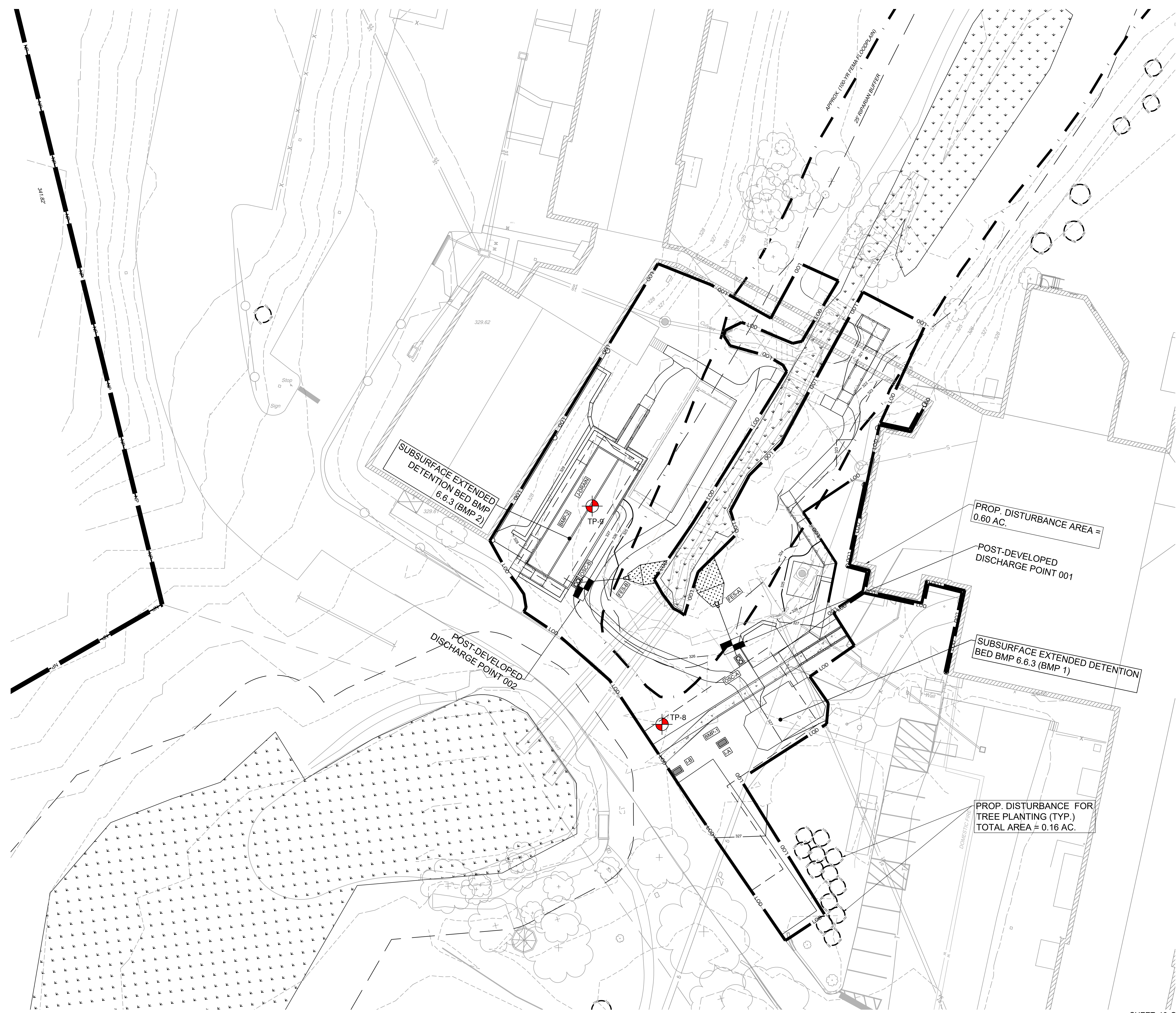


1 | 10/18/2024 | YG | MCCD SUBMISSION SET & REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN A
ACTS GWYNEDD ESTATES AL
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

		DRAWN BY	JAS
		CHECKED BY	MJE
307 Easton Road Building B - 2nd Floor Willow Grove, PA 19090 Tel: (215) 346-8757 Fax: (215) 346-8759 www.eustaceeng.com		DATE	6/21/24
Martin J. Eustace, III, P.E. PA Lic. PE048891E		DRAWING No.	D 2373 08B 25

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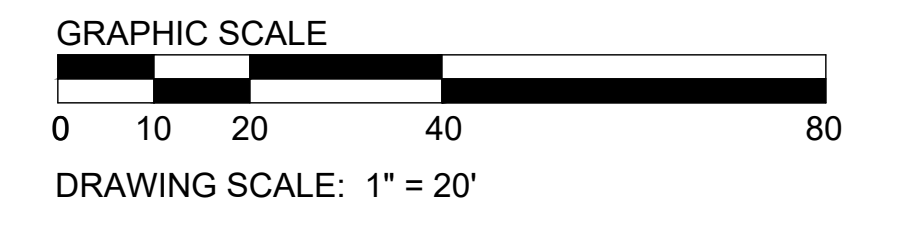


Location Map
Scale: 1" = 1000'

General Notes:
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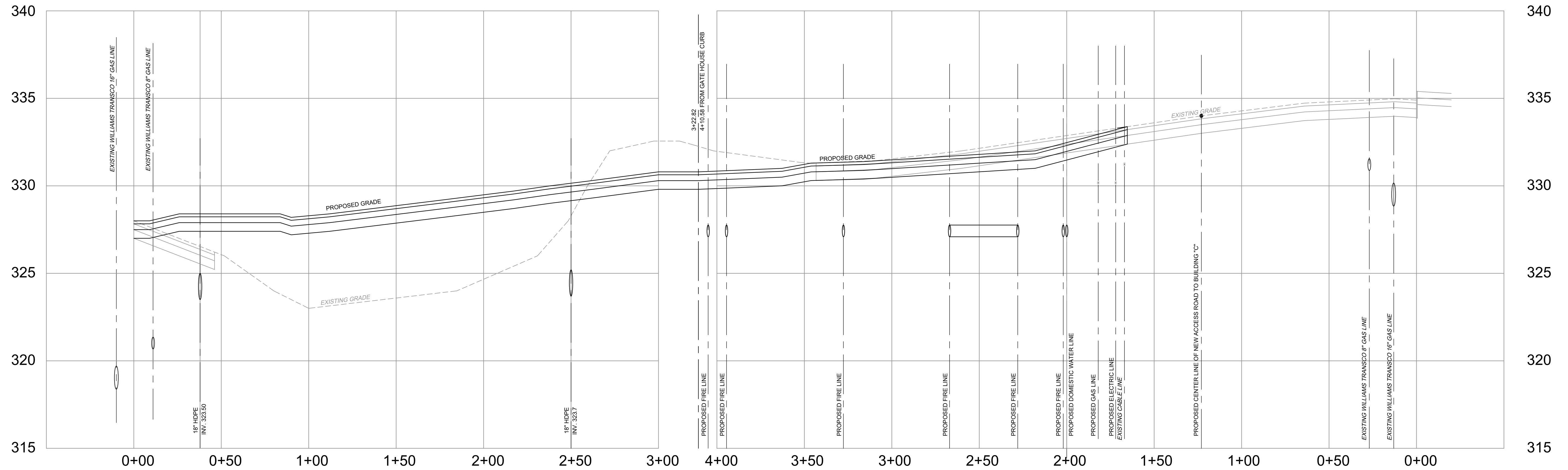


1 | 10/16/2024 | YG | MCCD SUBMISSION SET & REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN B
ACTS GWYNEDD ESTATES AL
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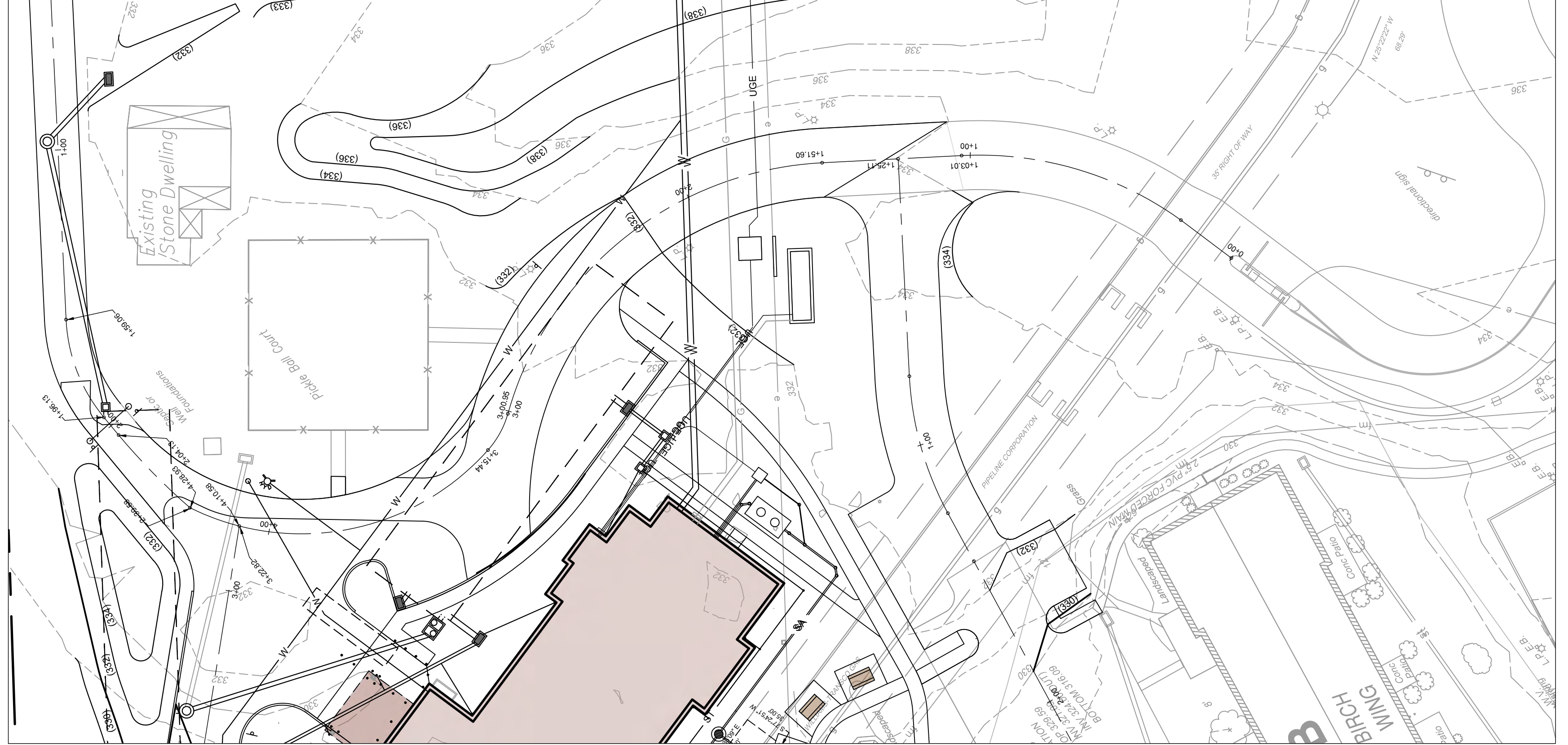
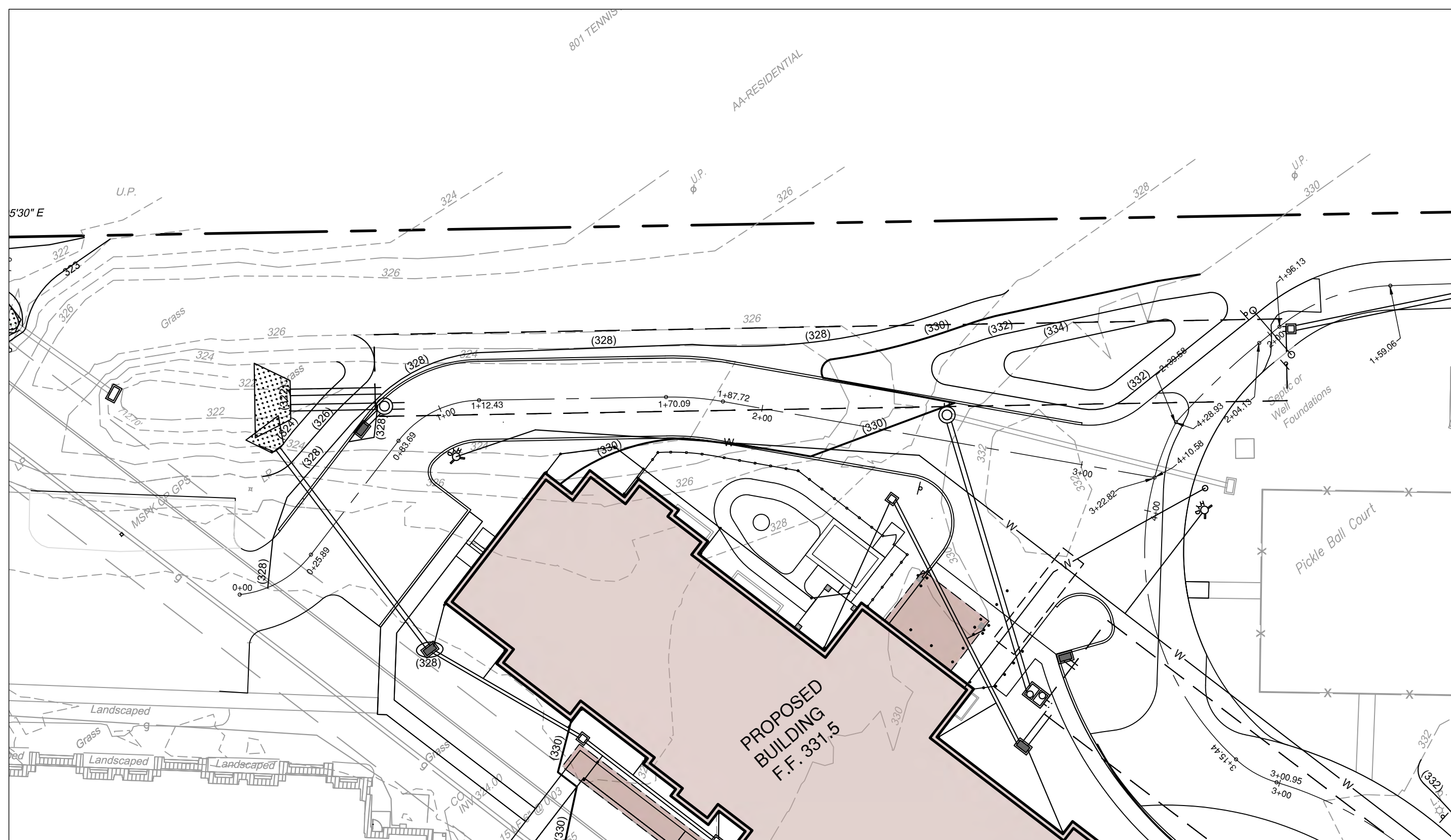
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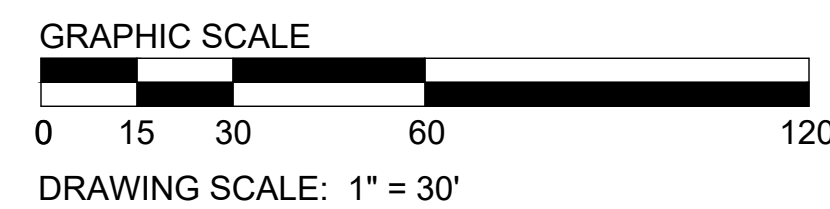


ROADWAY PROFILE
(LOOP ROAD IN REAR OF PROPOSED BUILDING)

ROADWAY PROFILE
(LOOP ROAD FROM GATE TO PROPOSED BUILDING)



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1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

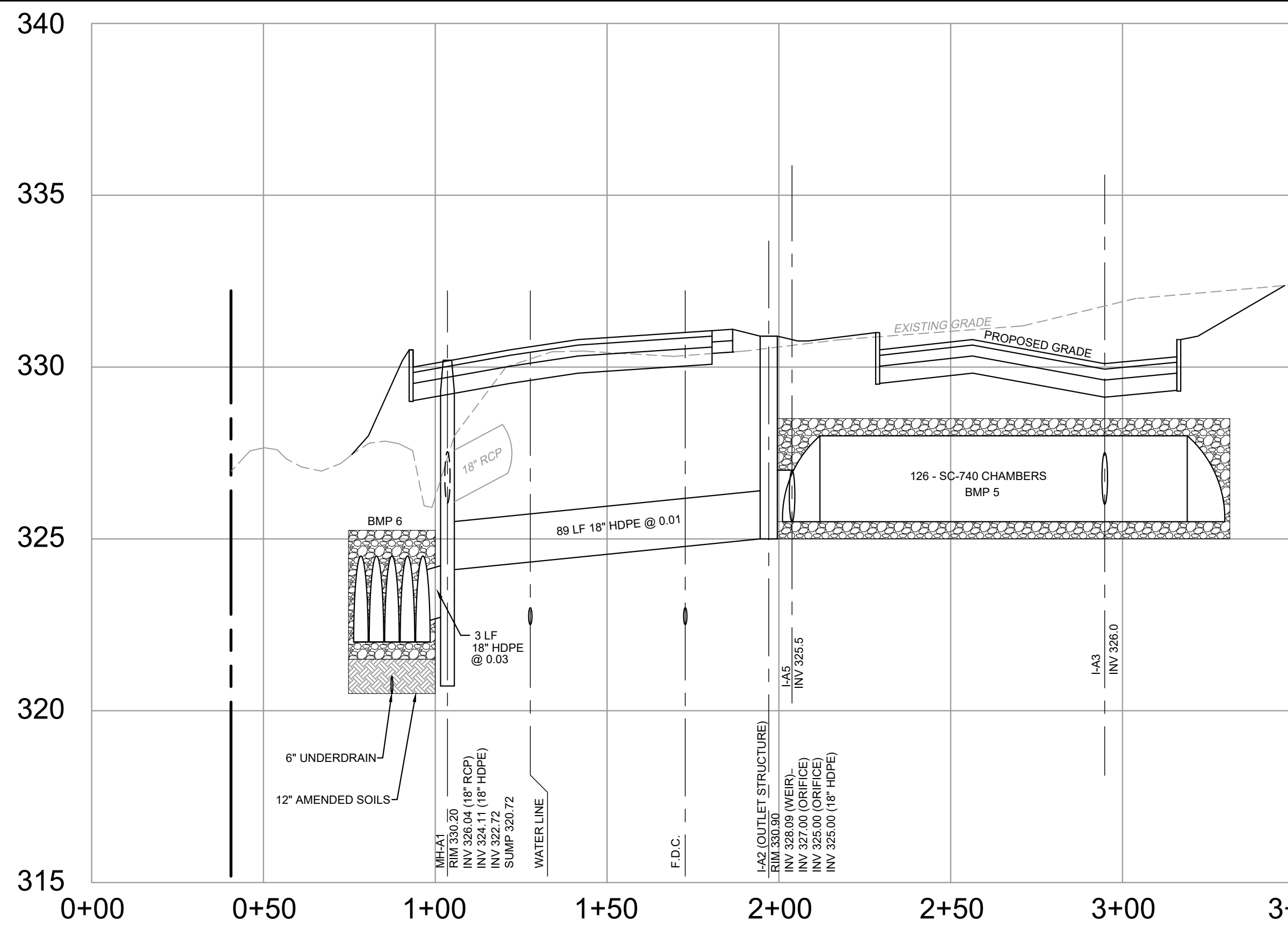
ROADWAY PROFILE
ACTS GWYNEDD ESTATES AL
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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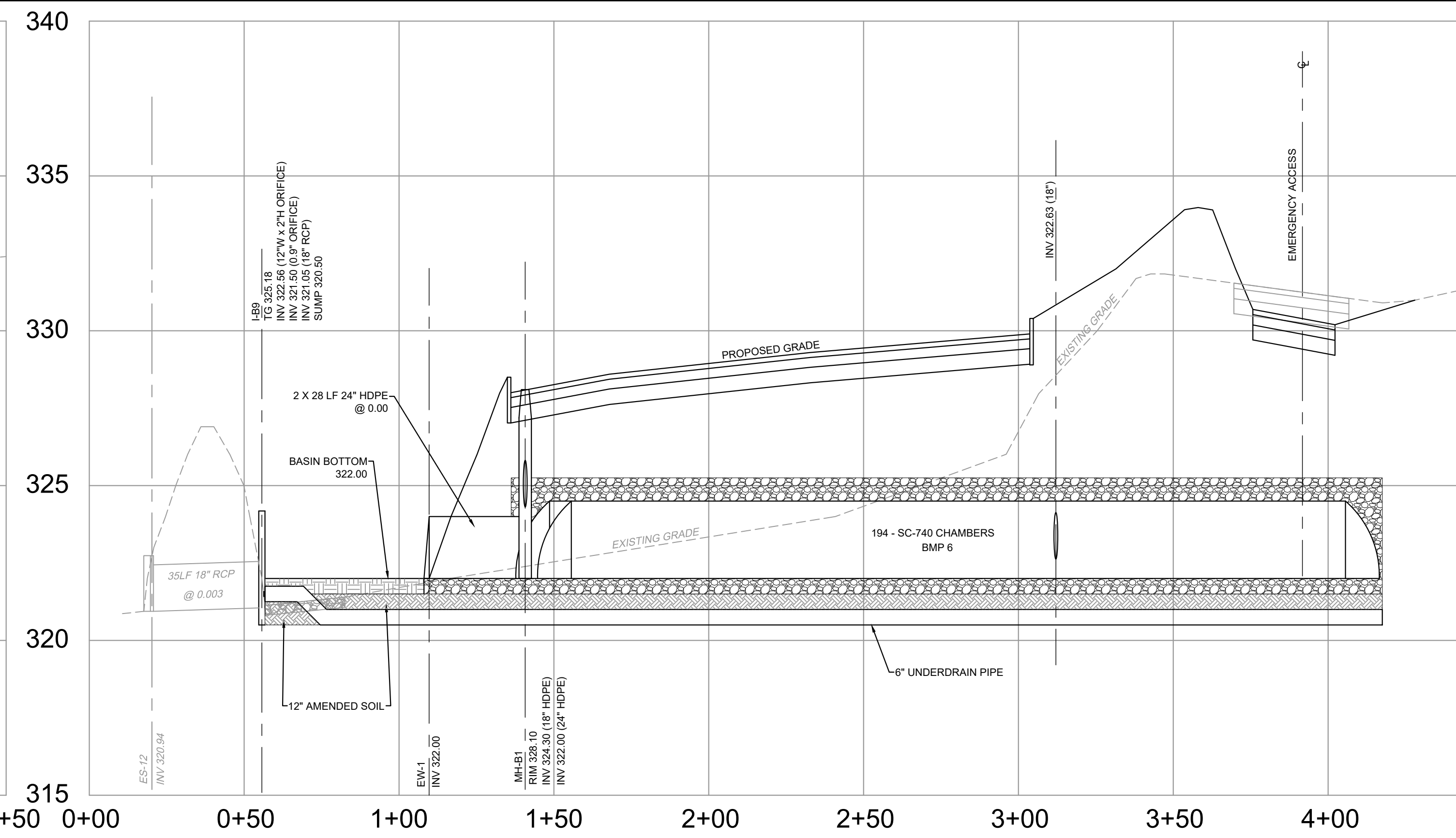
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Building B - 2nd Floor
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Tel: (215) 348-8757
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PA Lic. PE048891E

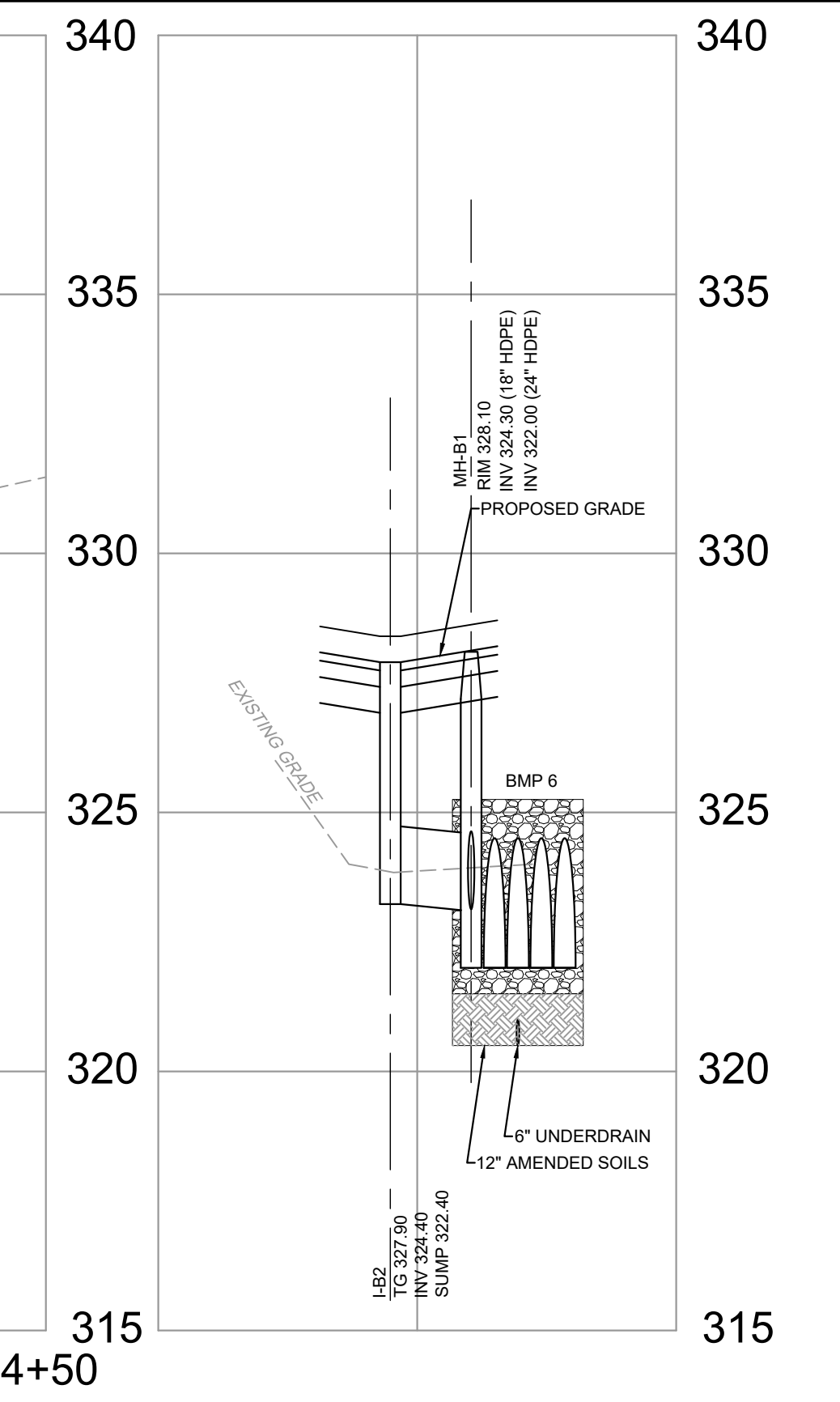
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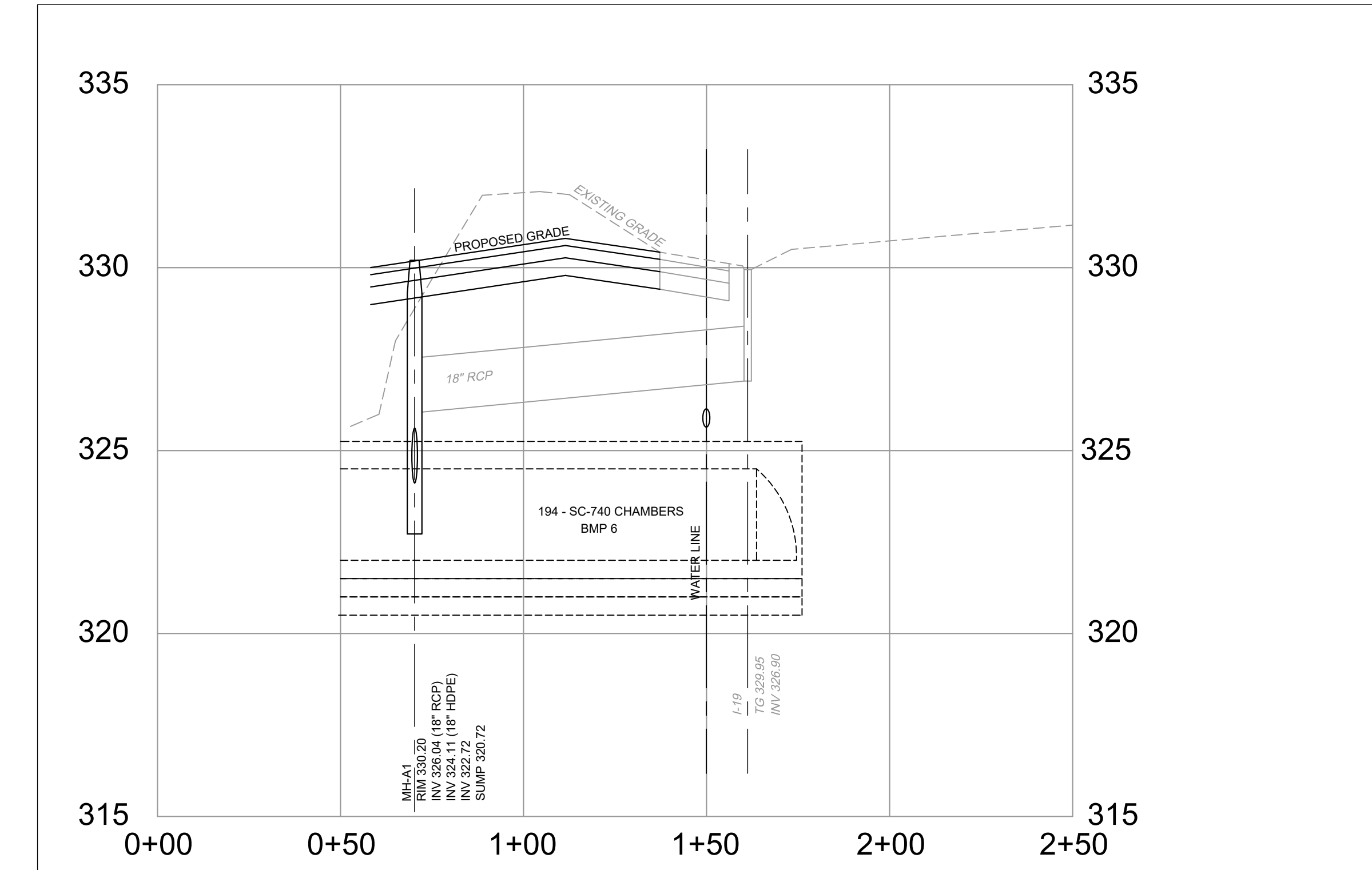
STORM SEWER PROFILE
(BMP 5 TO BMP 6)



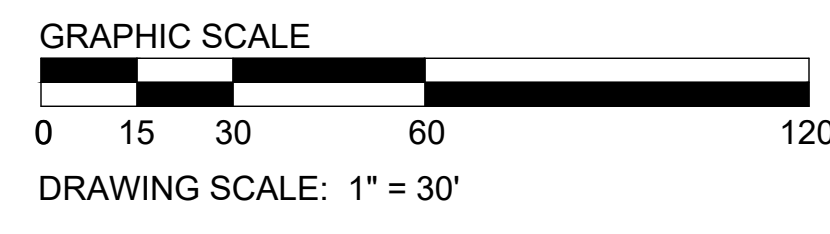
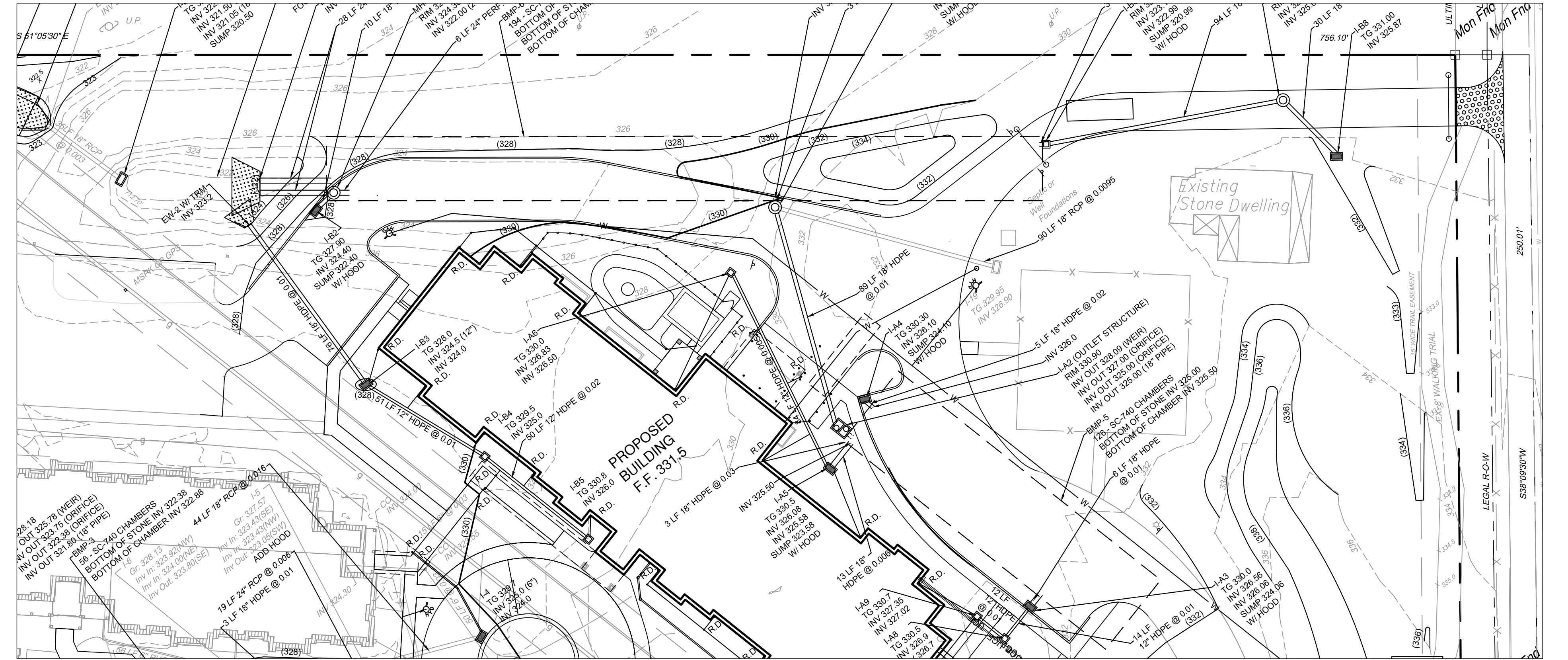
STORM SEWER PROFILE
(BMP 6)



STORM SEWER PROFILE
(I-B2 TO BMP 6)



STORM SEWER PROFILES
(MH-A1 TO I-19 TO BMP 6)



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STORM SEWER PROFILE C
ACTS GWYNEDD ESTATES AL

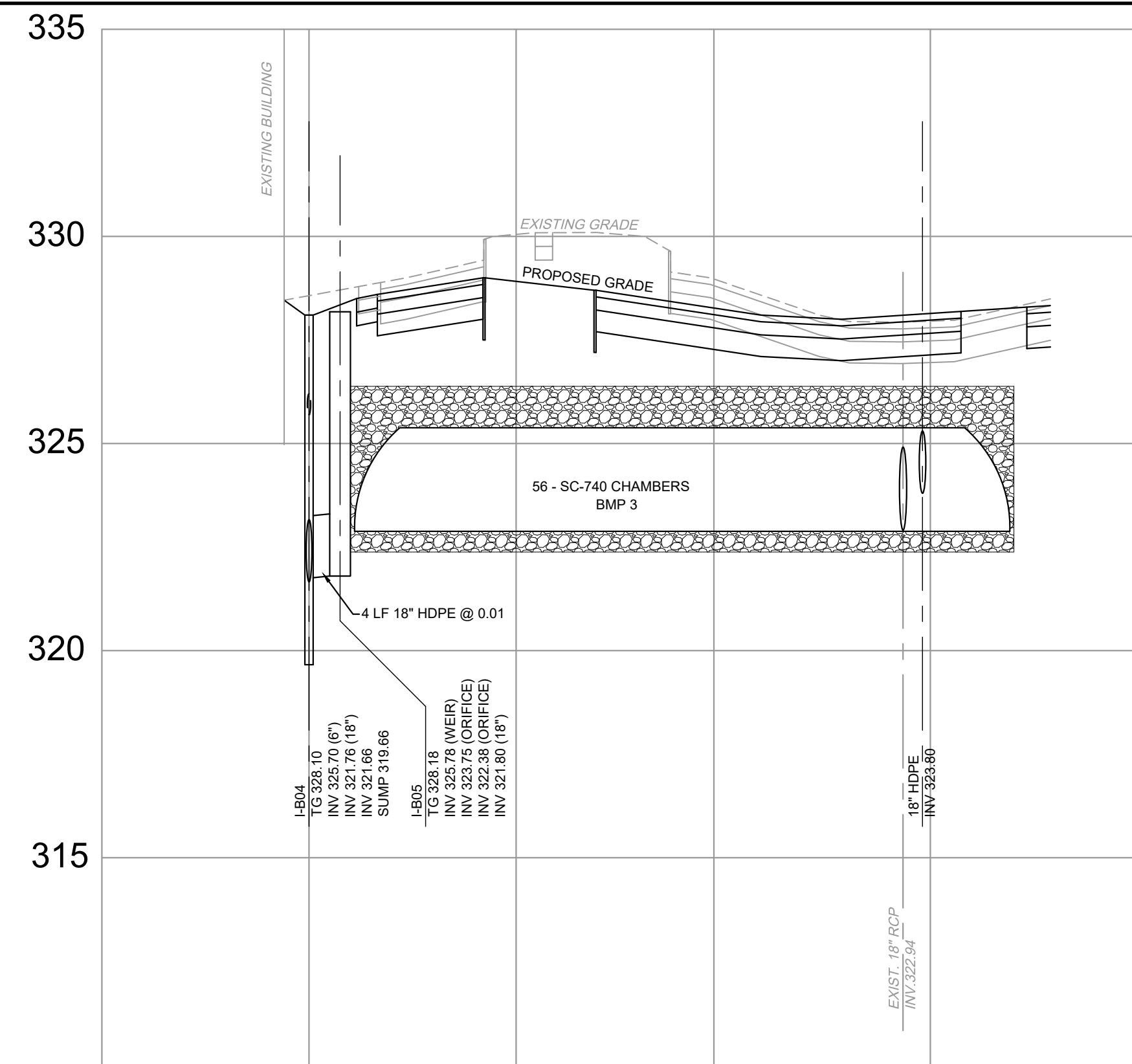
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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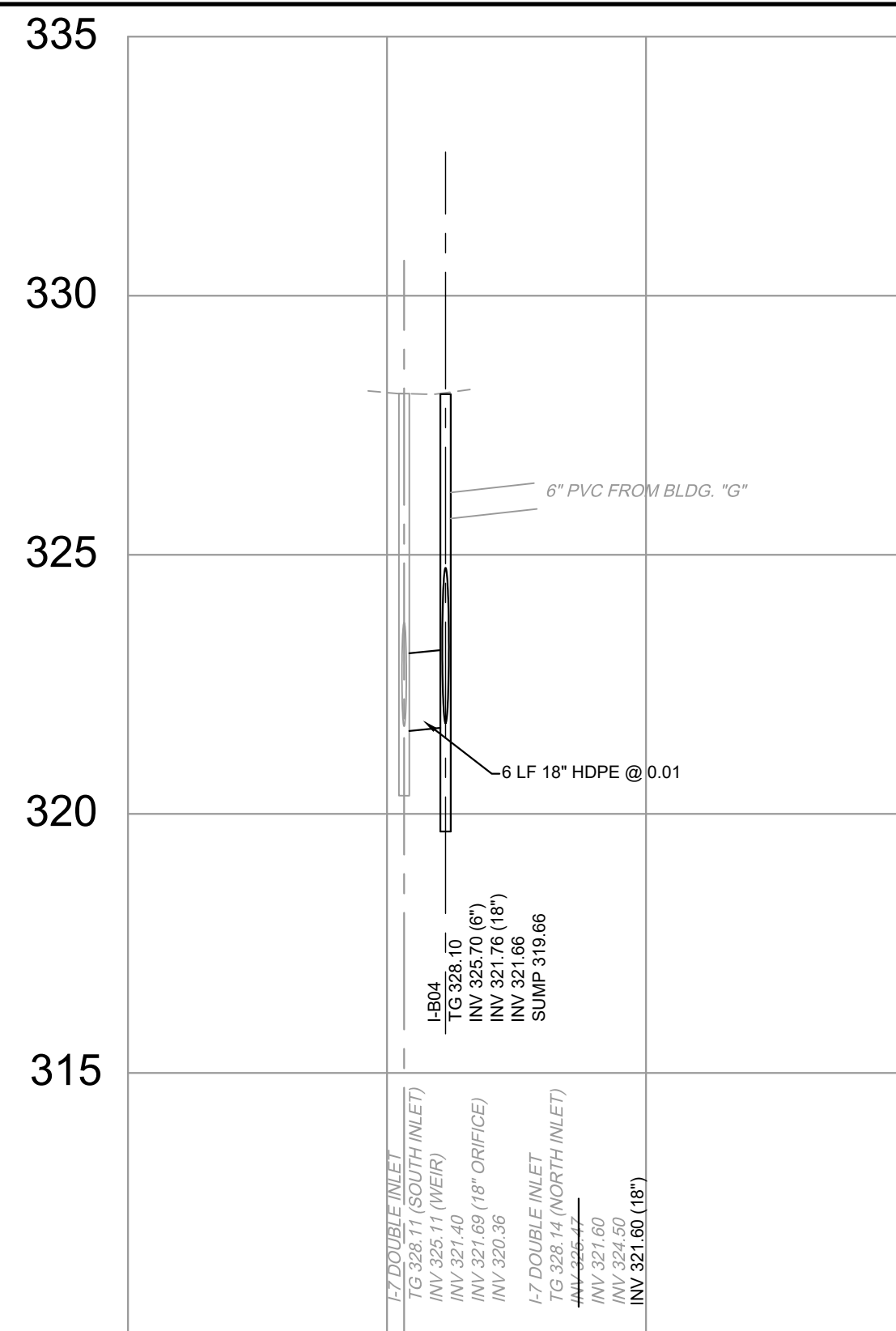
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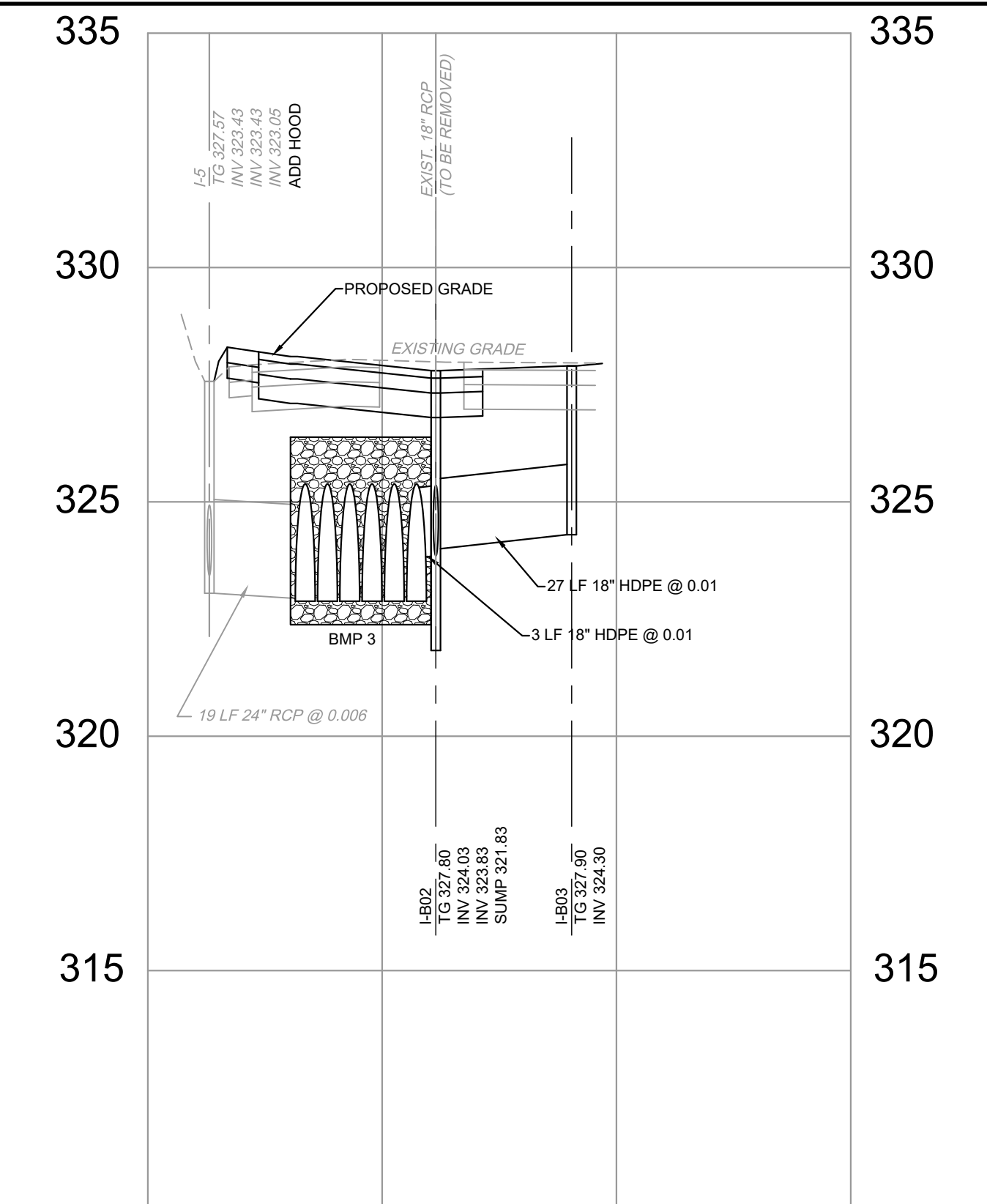
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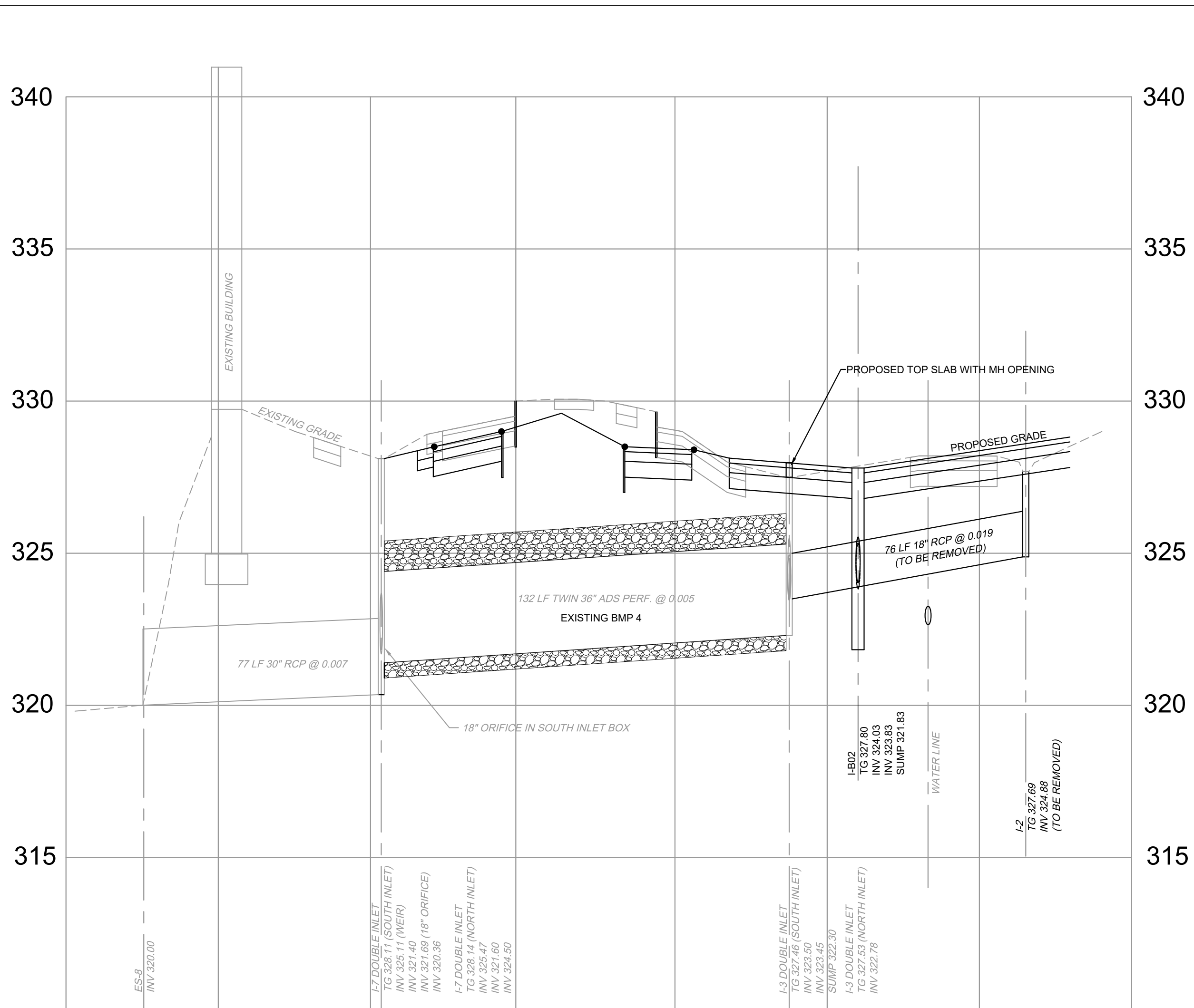
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(BMP 3)



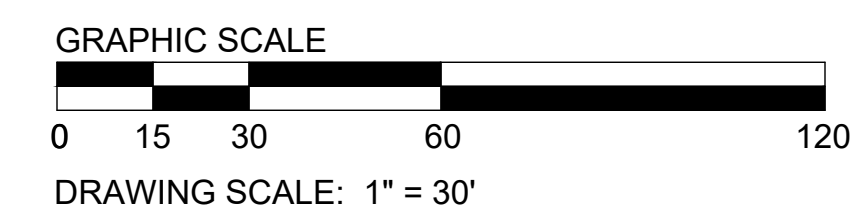
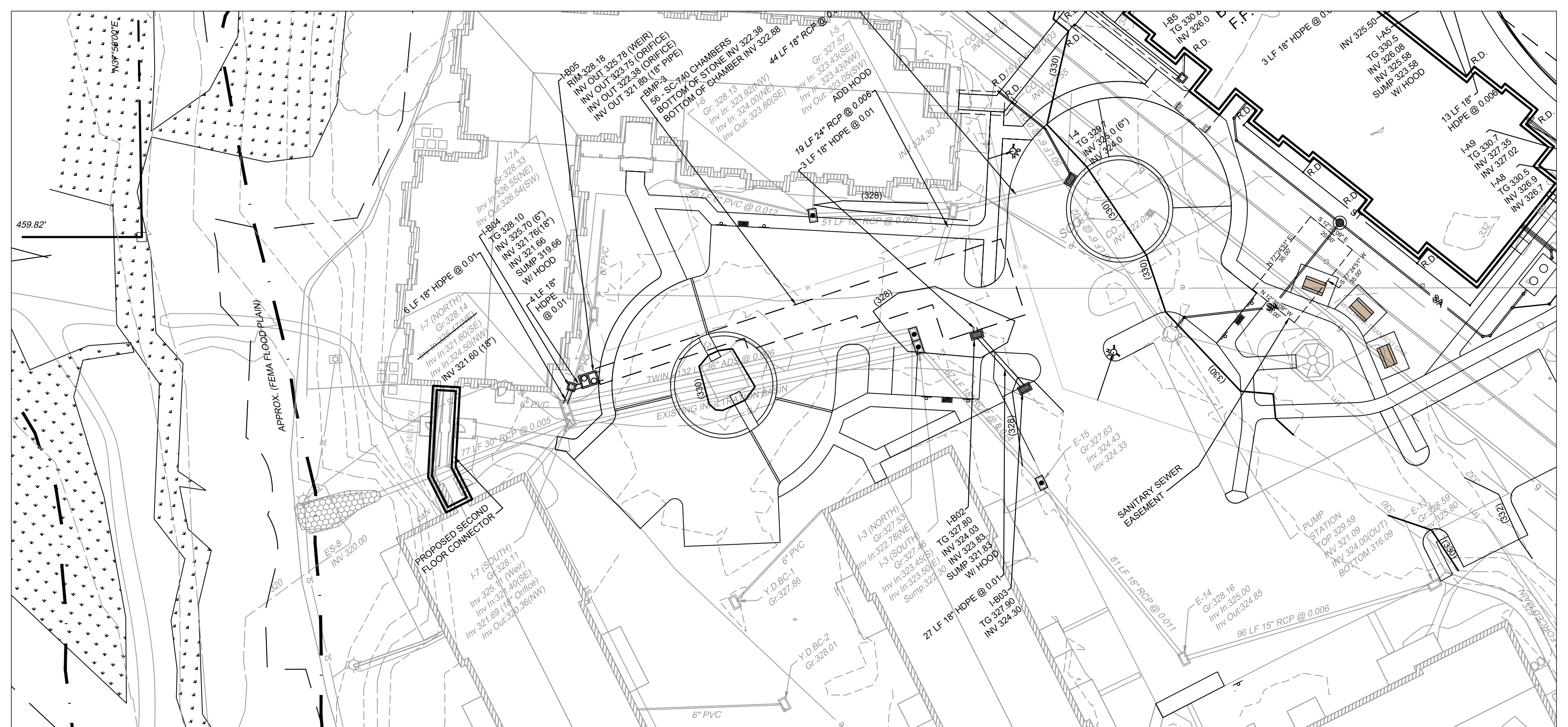
STORM SEWER PROFILE
(CONNECTION FROM EXISTING TO BMP 3)



STORM SEWER PROFILE
(I-5 TO I-B03)



STORM SEWER PROFILE
(ES-8 TO EX. I-2)



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STORM SEWER PROFILE A
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

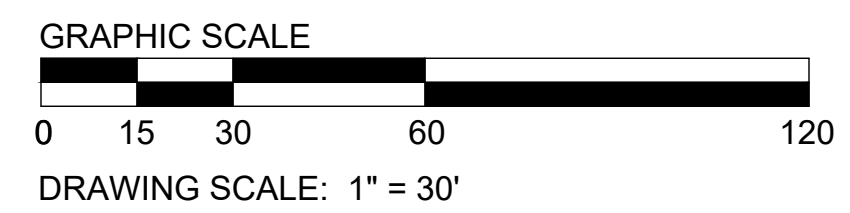
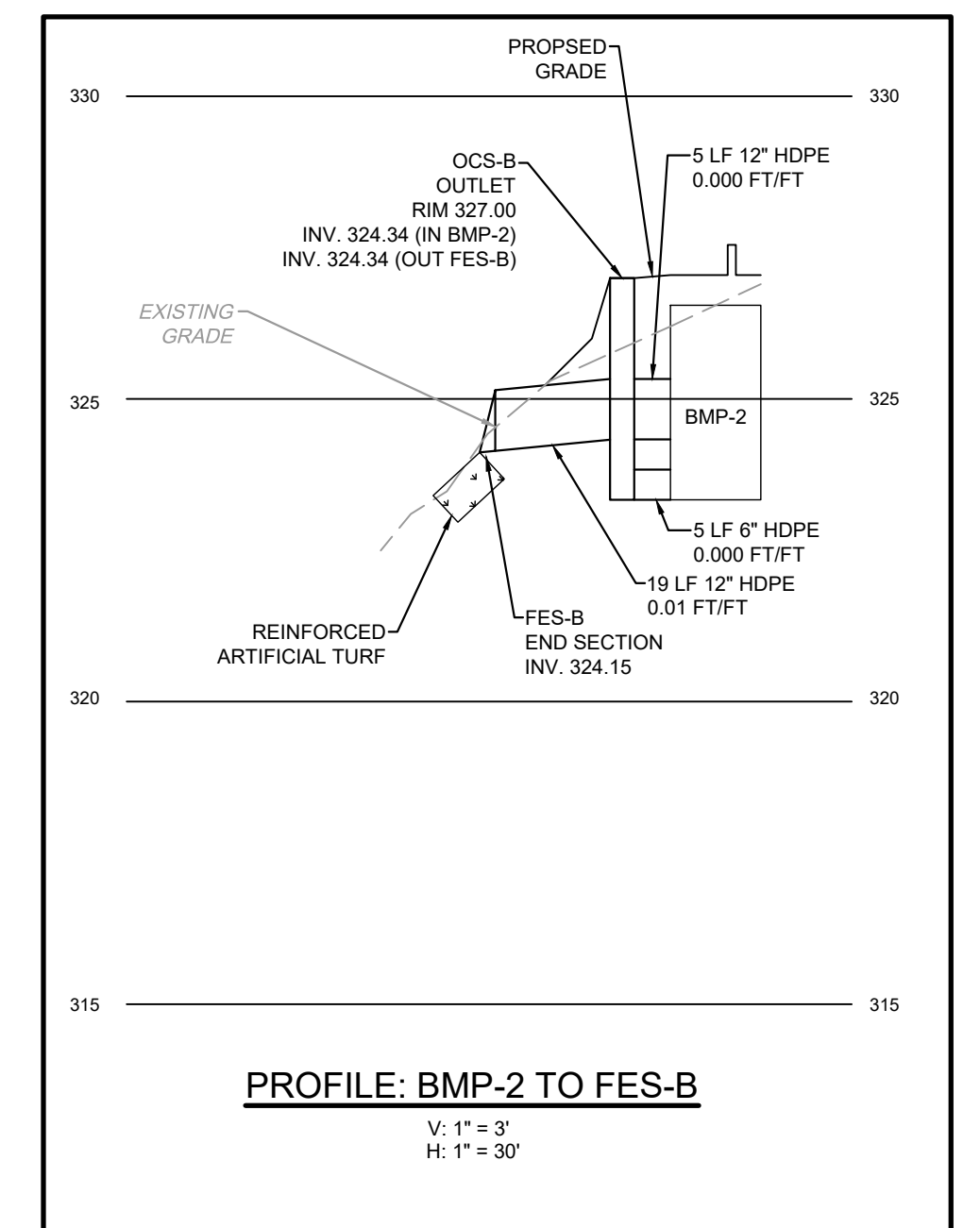
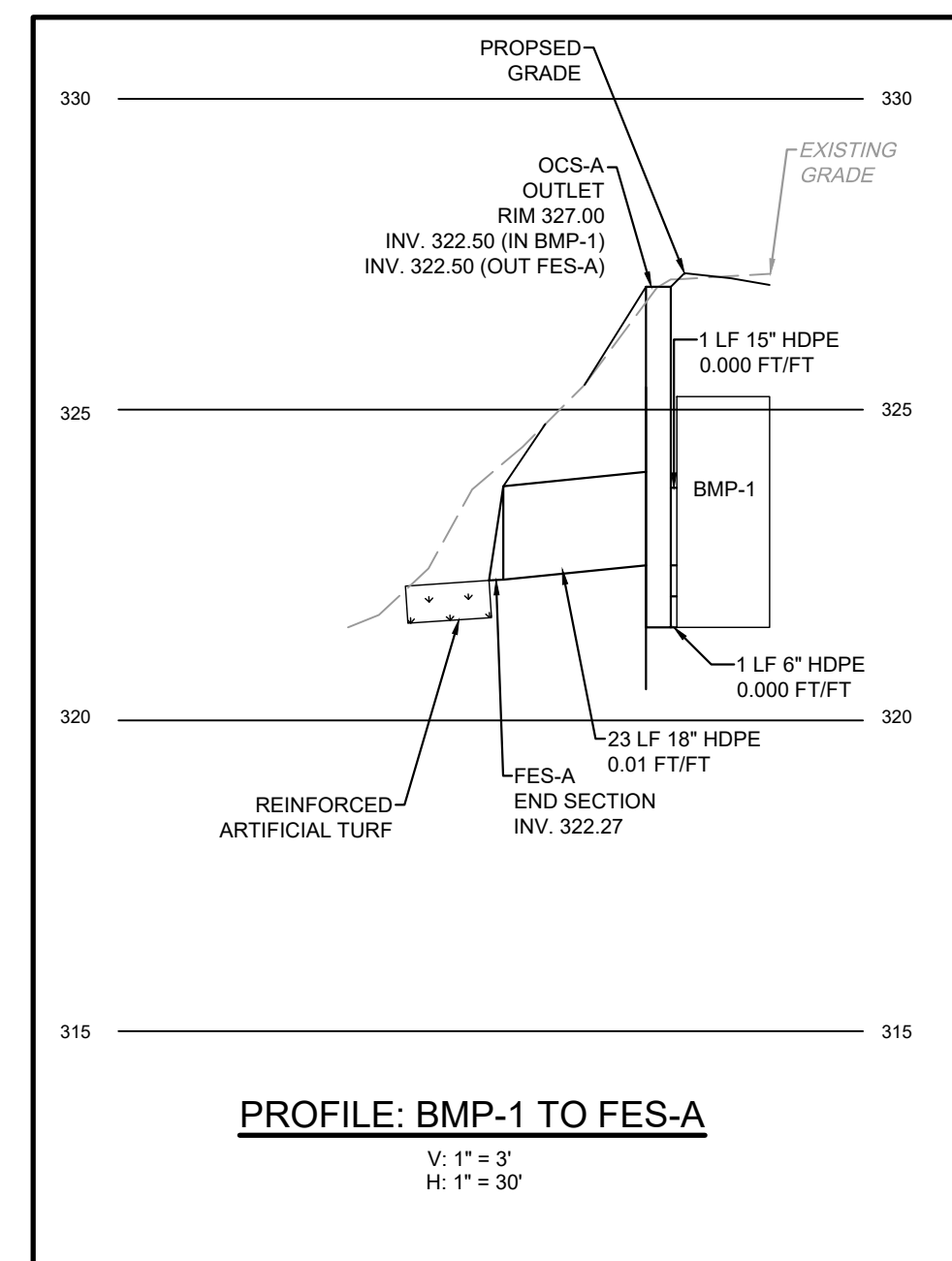
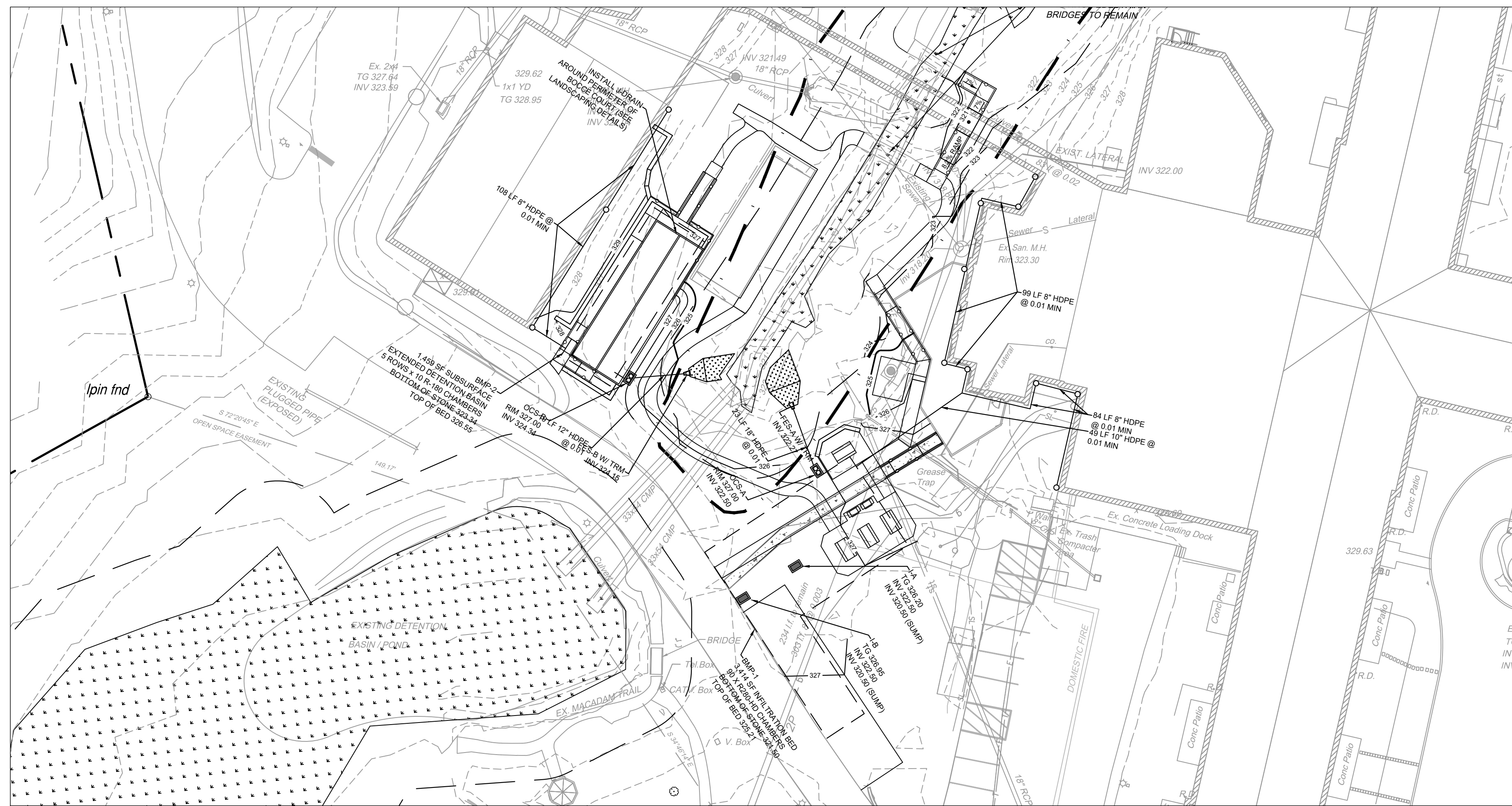
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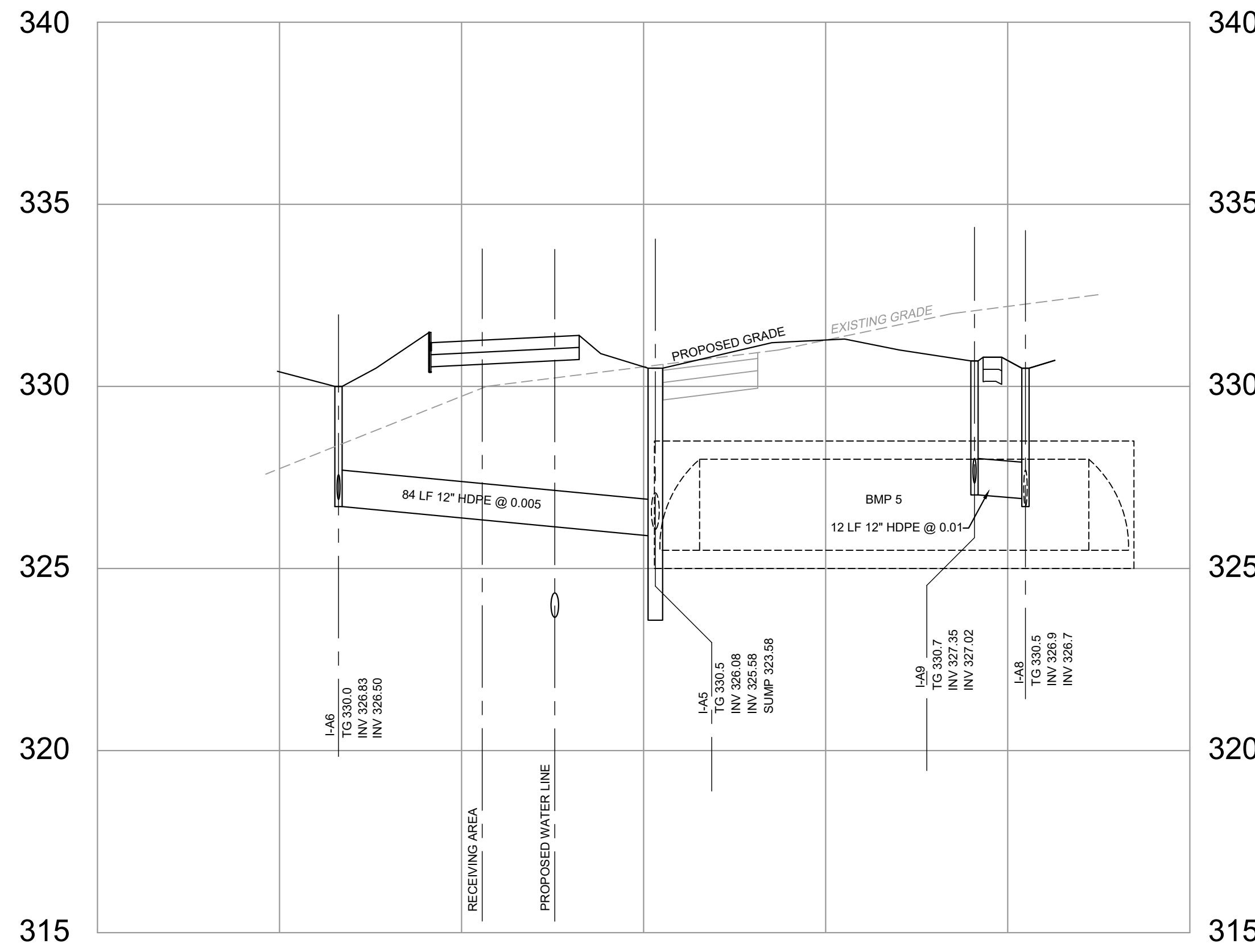


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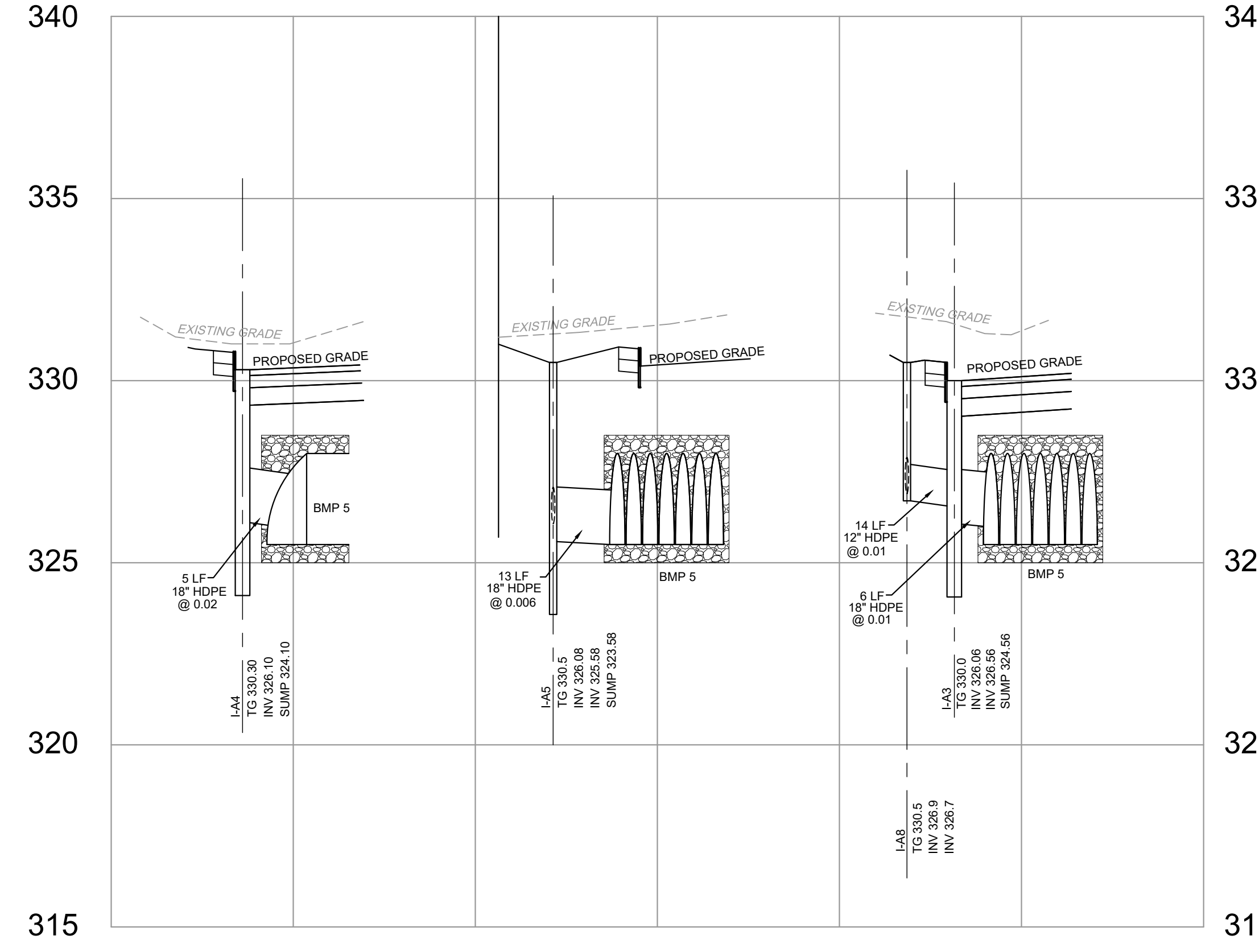
STORM SEWER PROFILE B
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

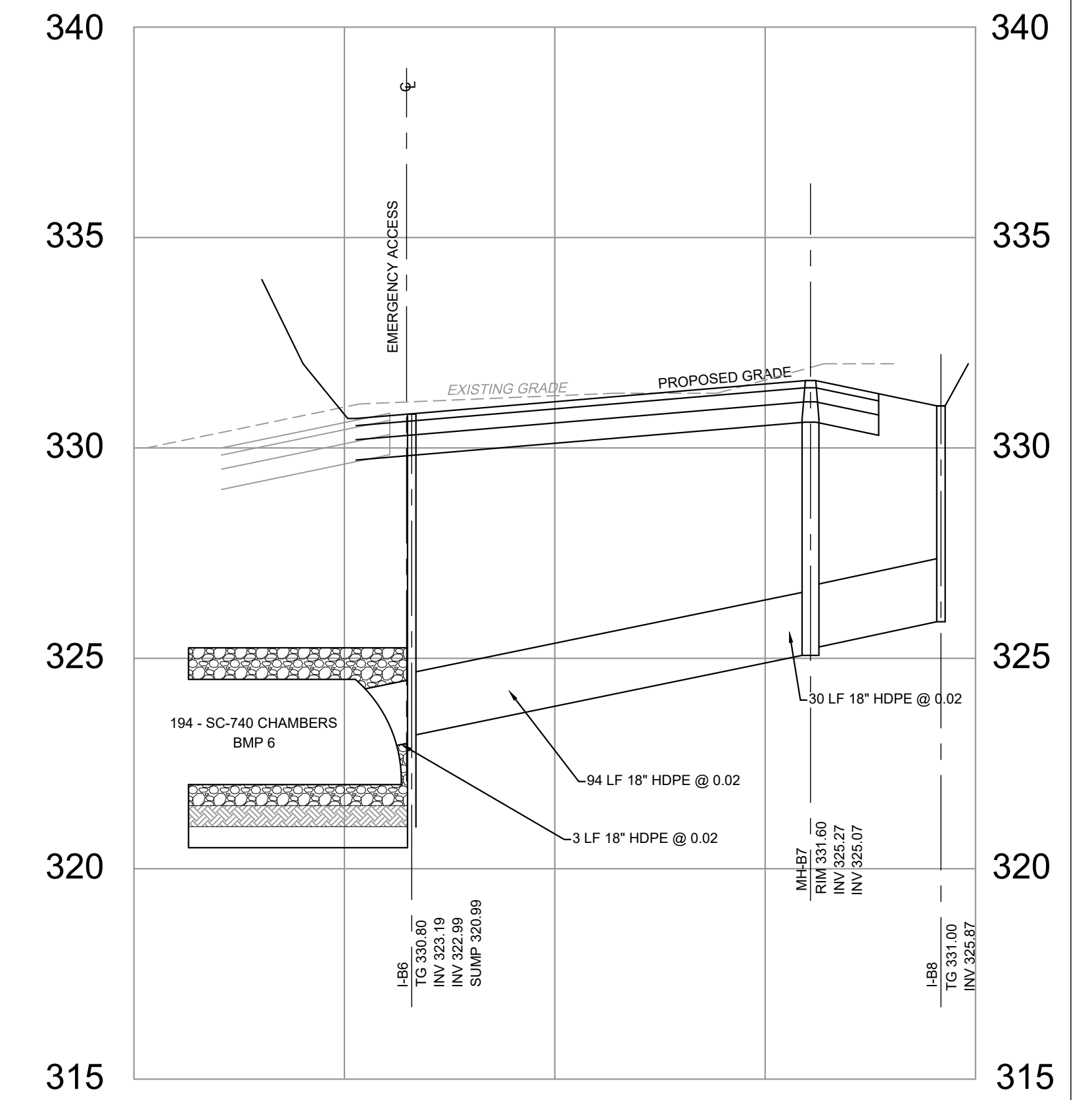
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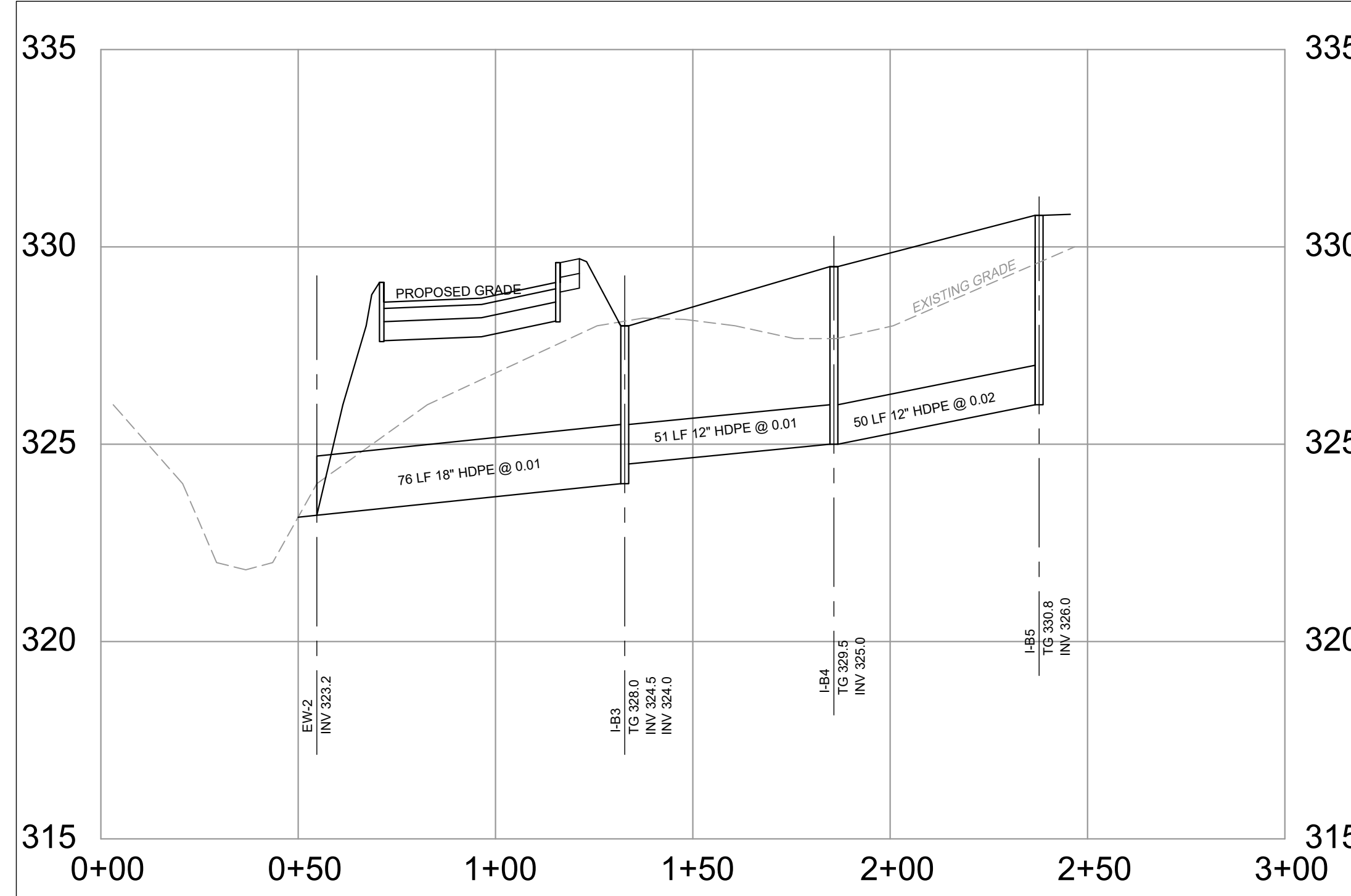
YARD DRAIN PROFILE
(ALONG REAR OF PROPOSED BUILDING)



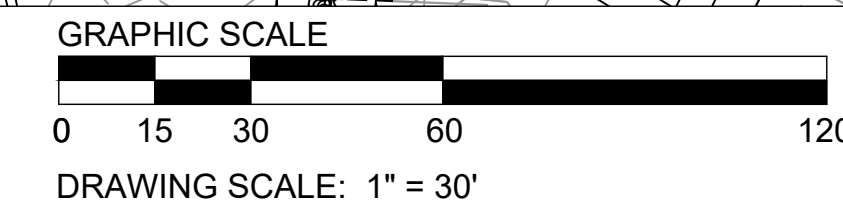
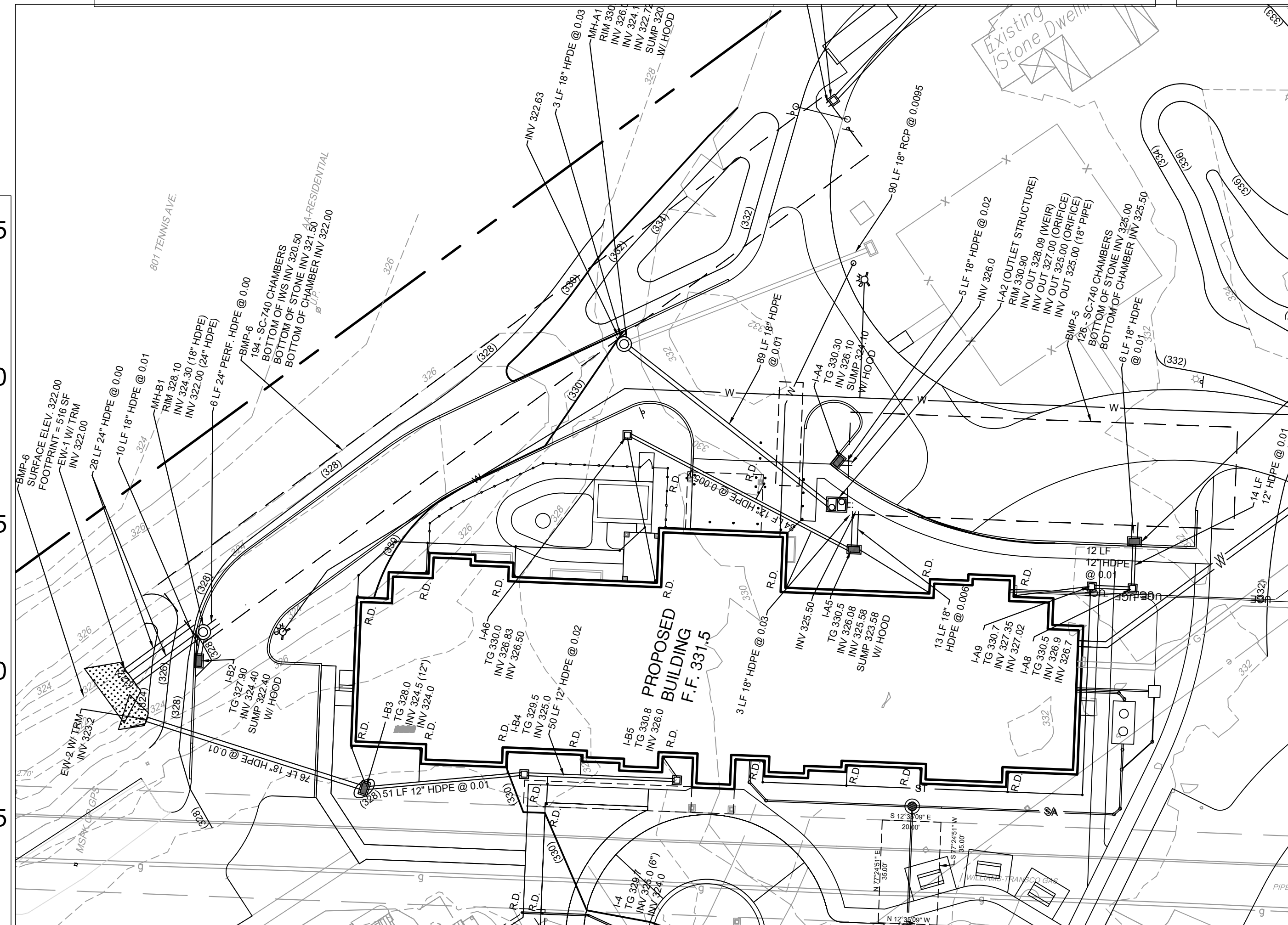
YARD DRAIN PROFILE
(ALONG REAR OF PROPOSED BUILDING)



STORM SEWER PROFILE
(I-B8 TO BMP 6)



YARD DRAIN PROFILE
(ALONG FRONT OF PROPOSED BUILDING)



SHEET 24 OF 43

1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

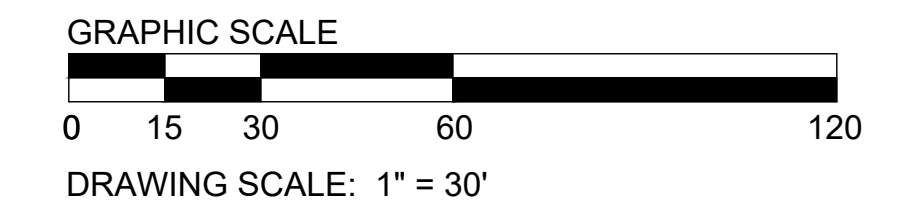
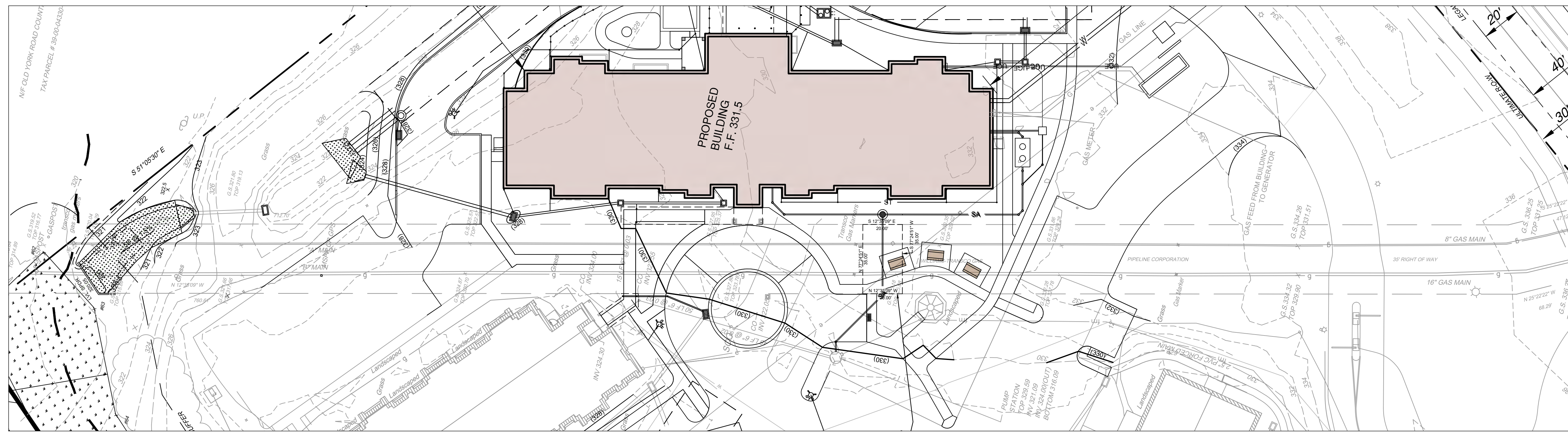
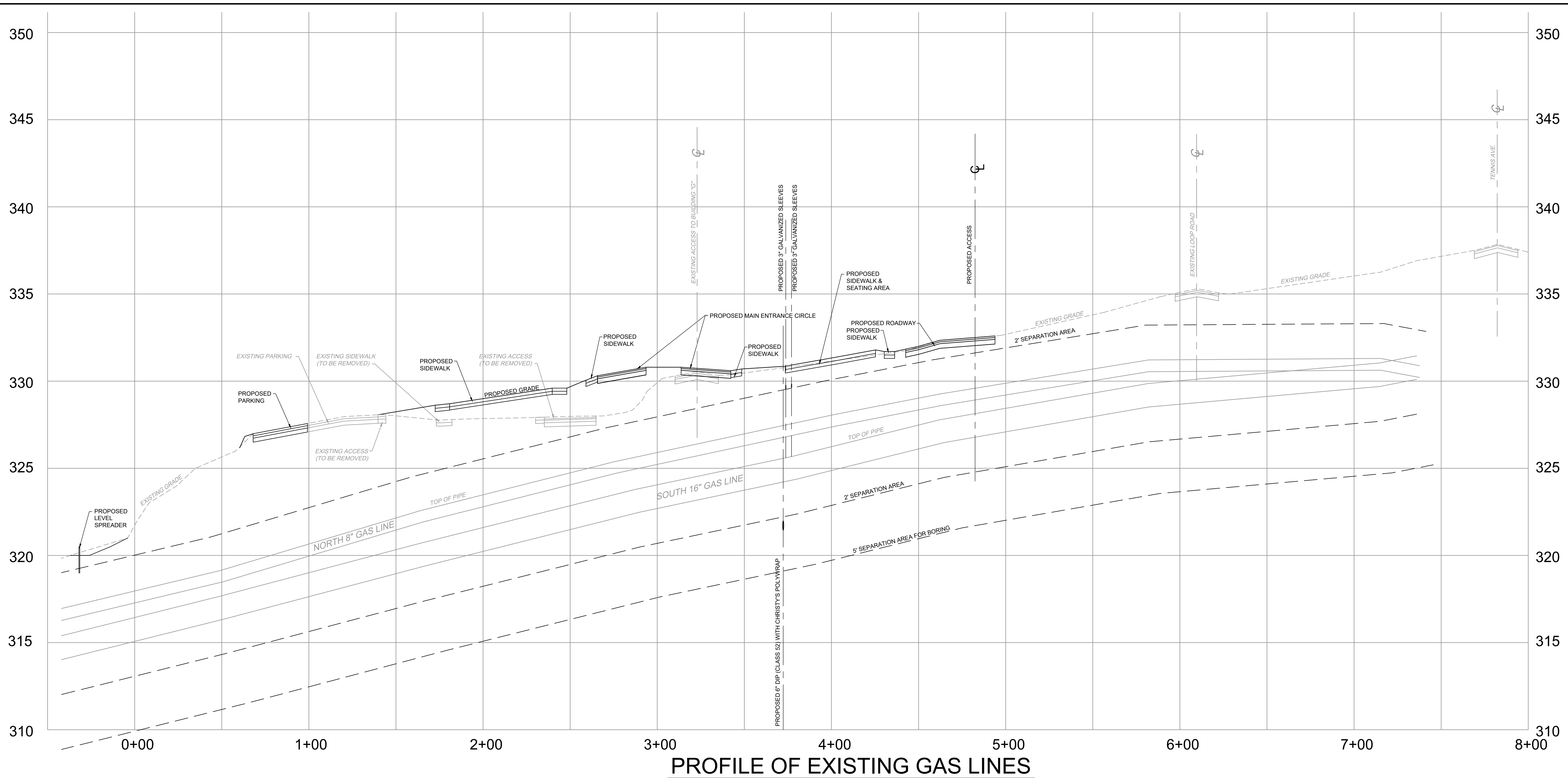
YARD DRAIN PROFILE
ACTS GWYNEDD ESTATES AL
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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WILLIAMS-TRANSCO GAS PIPELINE - PLAN & PROFILE
ACTS GWYNEDD ESTATES AL

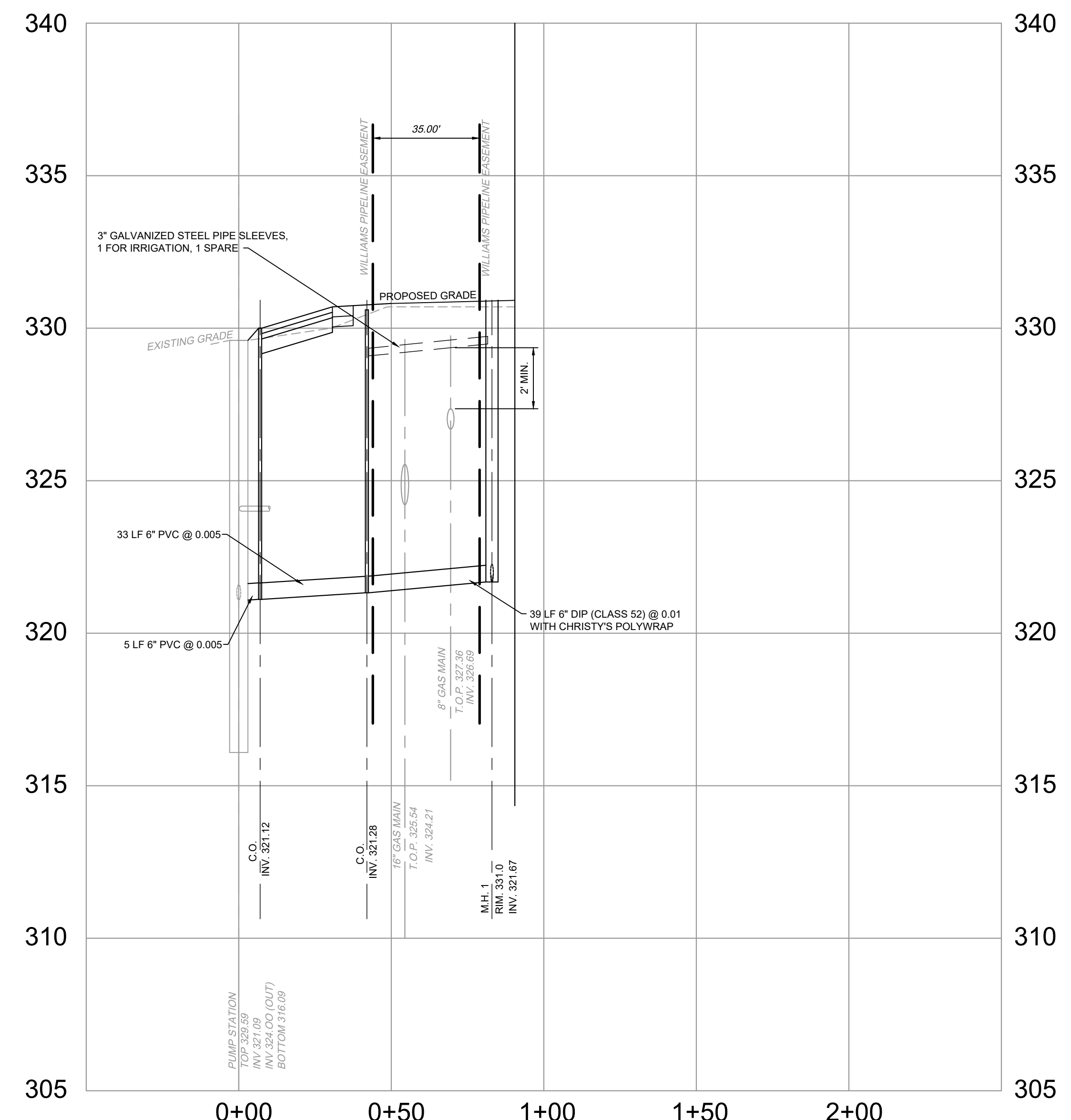
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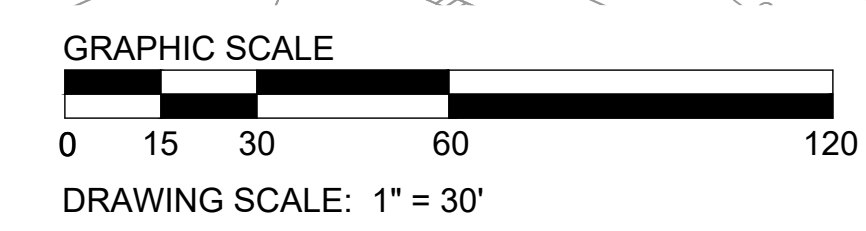
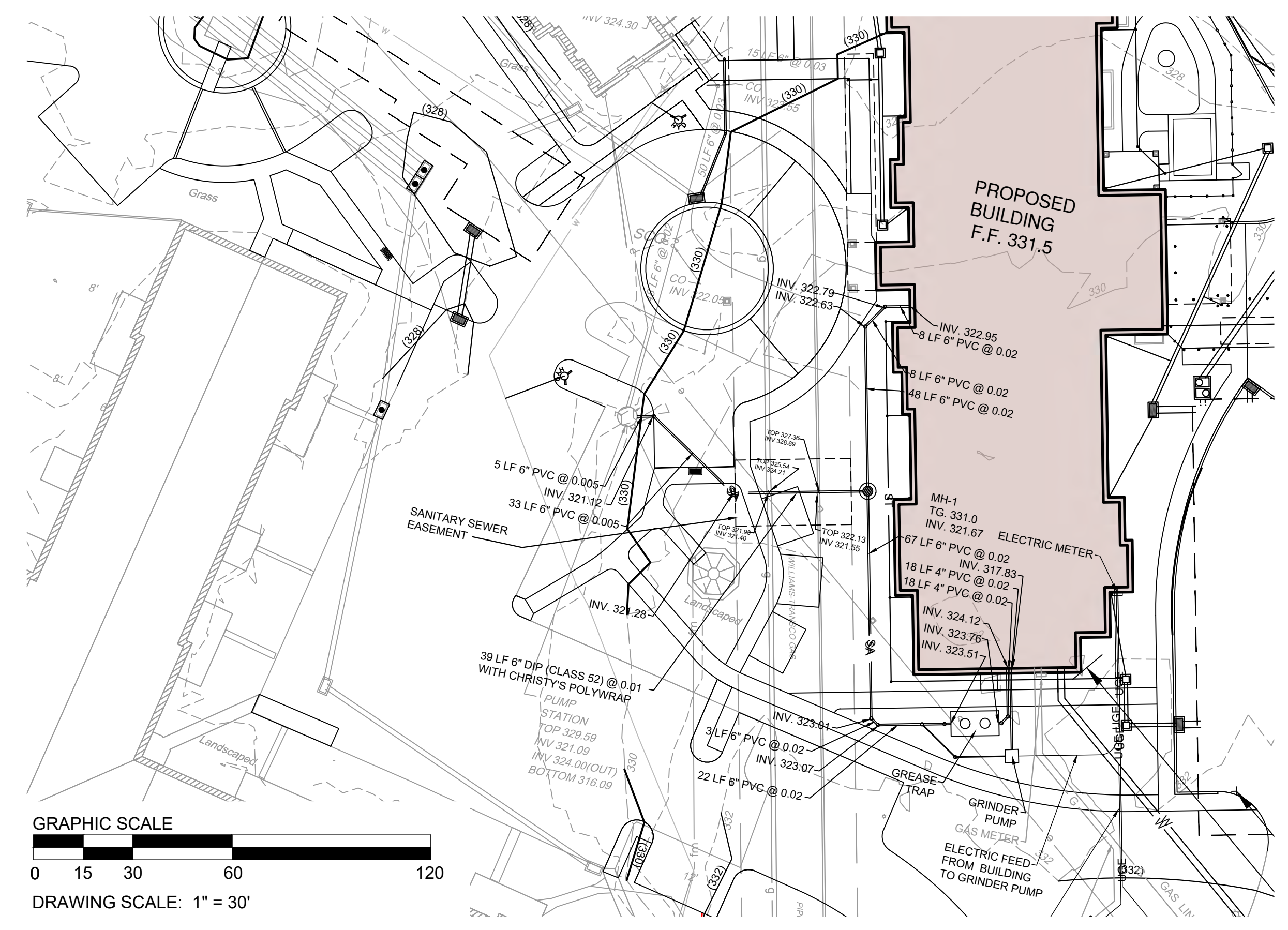
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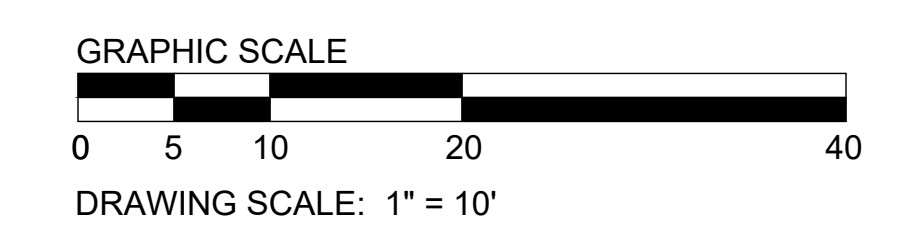
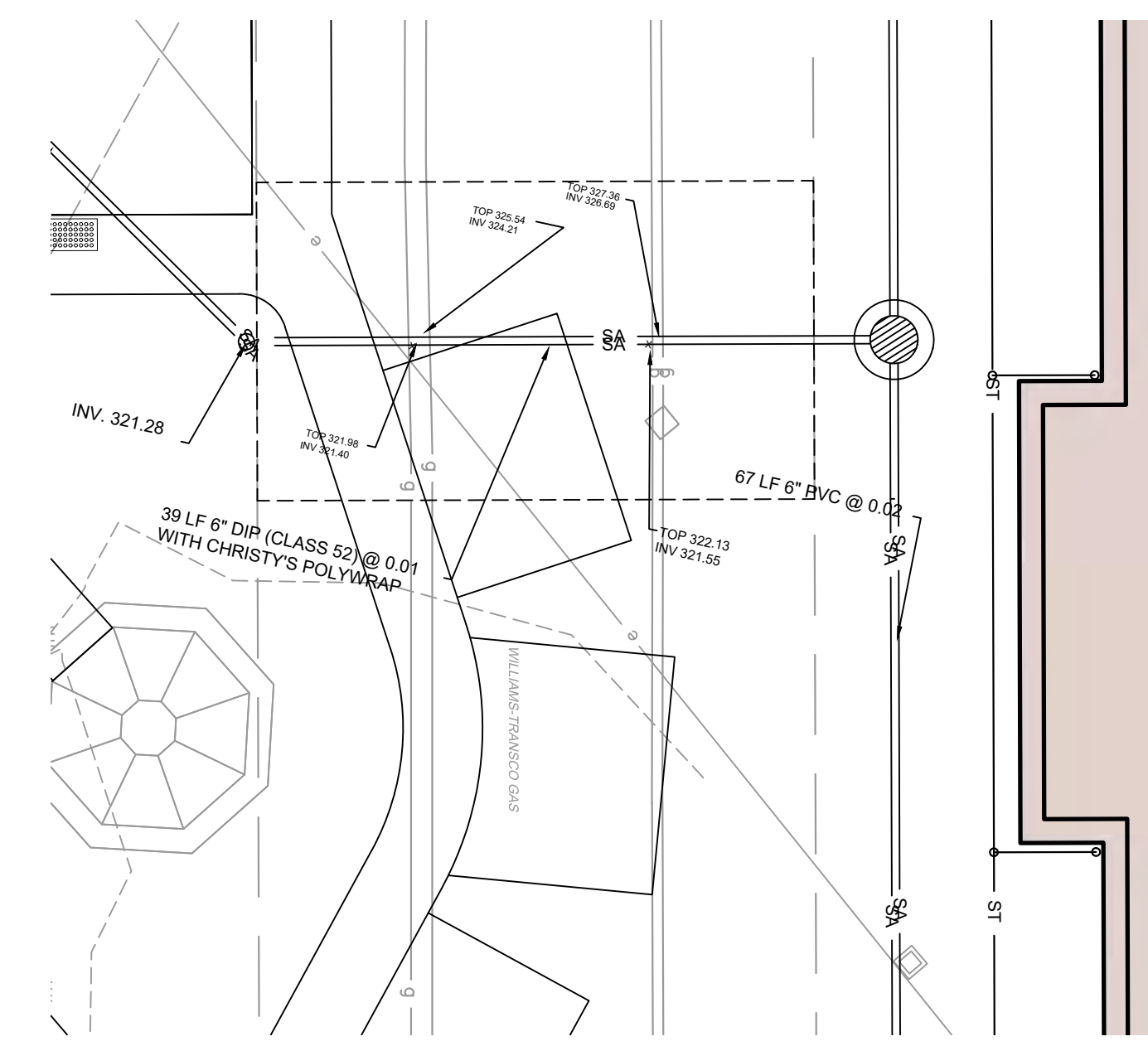
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SANITARY SEWER PROFILE



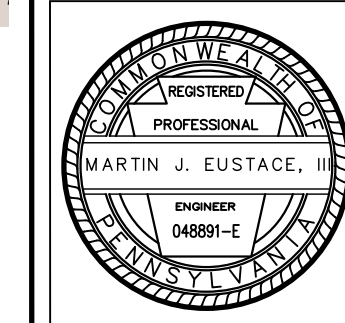
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SCALE: 1"=10'



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SANITARY SEWER PLAN & PROFILE
ACTS GWYNEDD ESTATES AL

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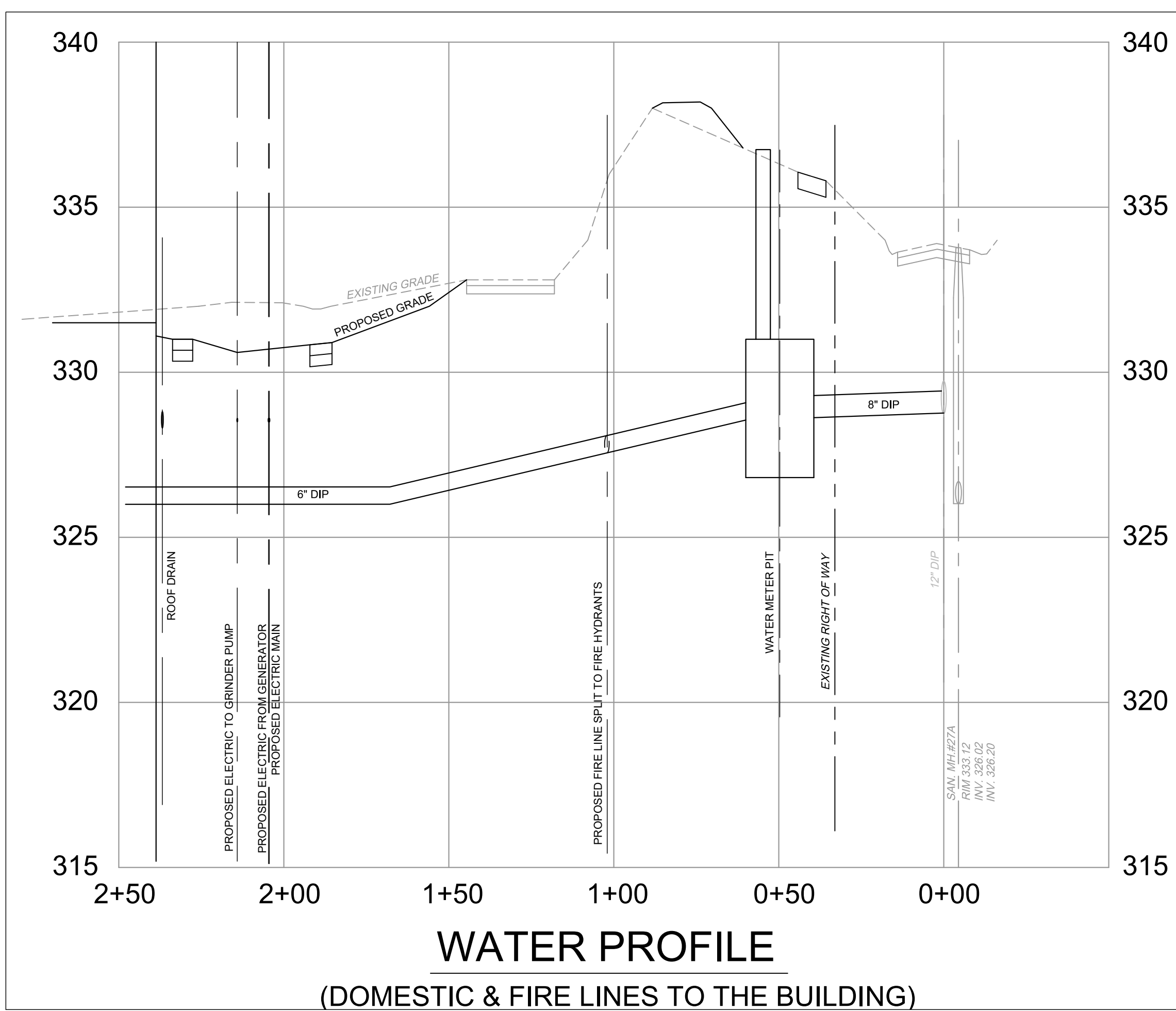


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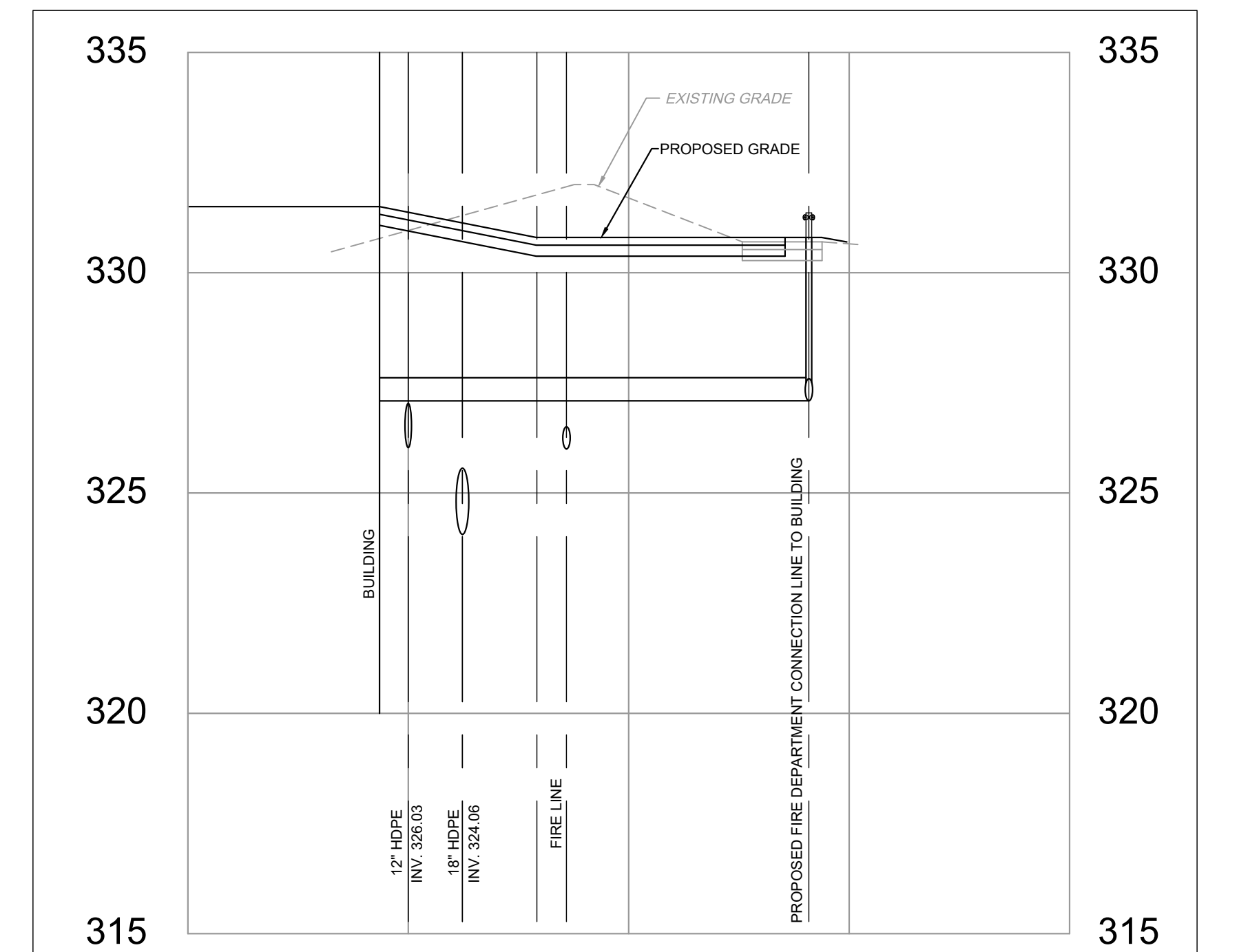
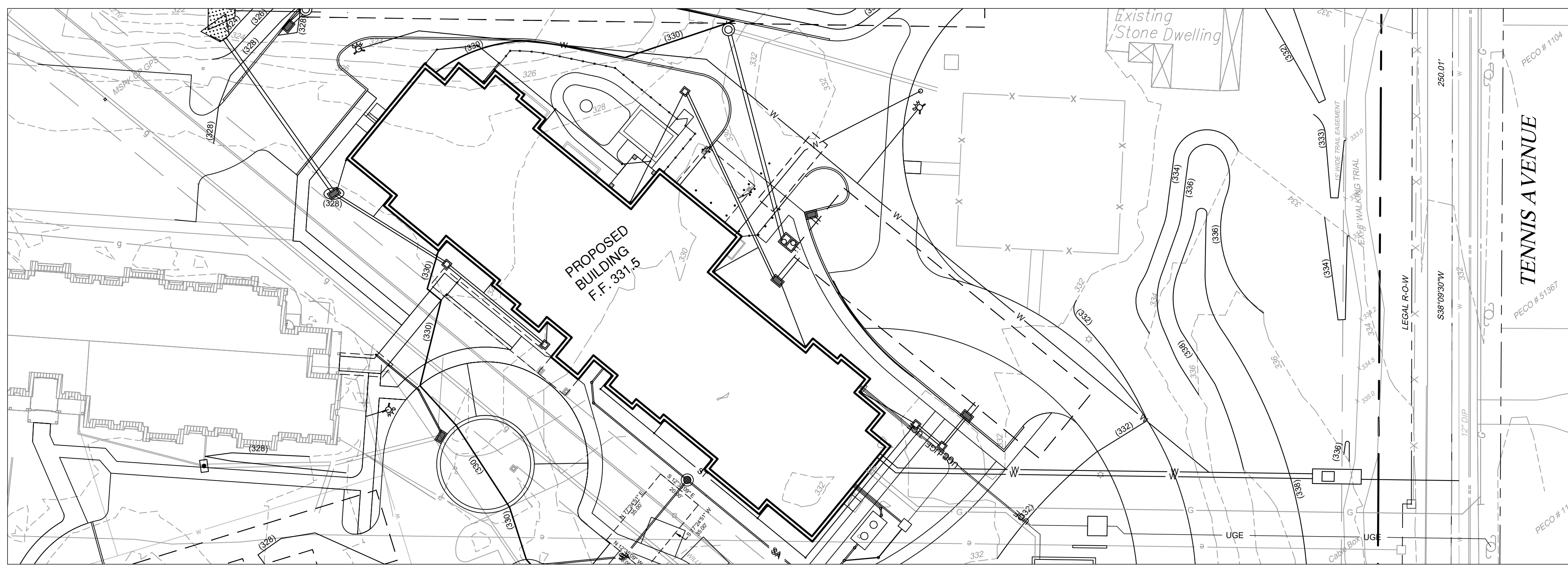
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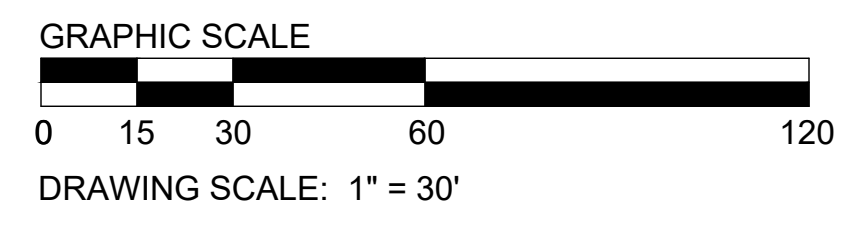
WATER PROFILE
(DOMESTIC & FIRE LINES TO THE BUILDING)



WATER PROFILE
(FIRE LINE)



WATER PROFILE
(REMOTE FIRE DEPARTMENT CONNECTION TO BUILDING)



1 10/18/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

WATER PLAN & PROFILE
ACTS GWYNEDD ESTATES AL

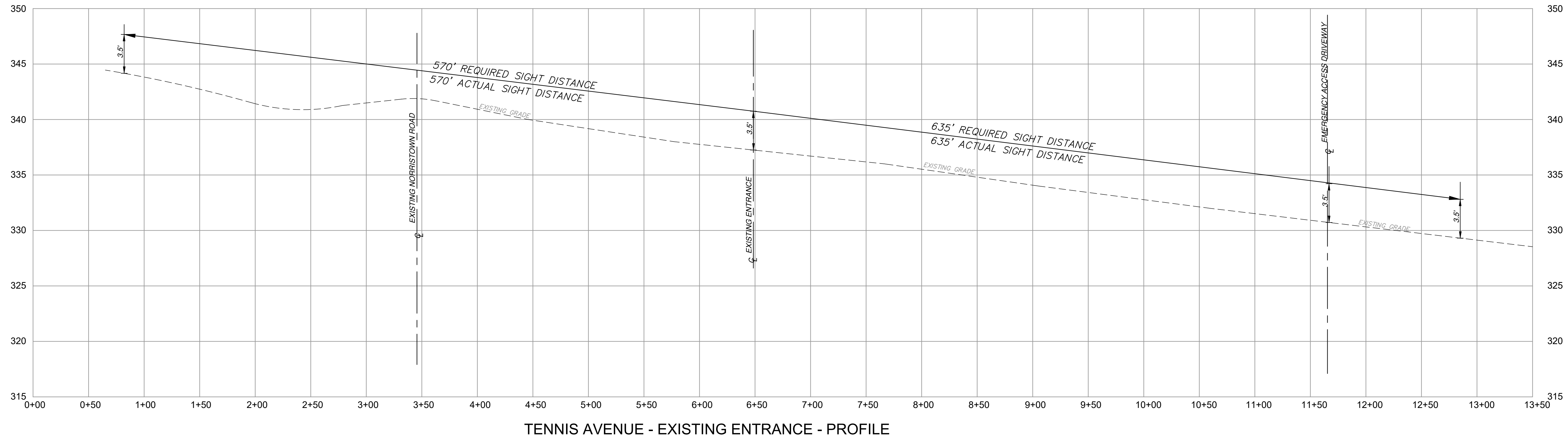
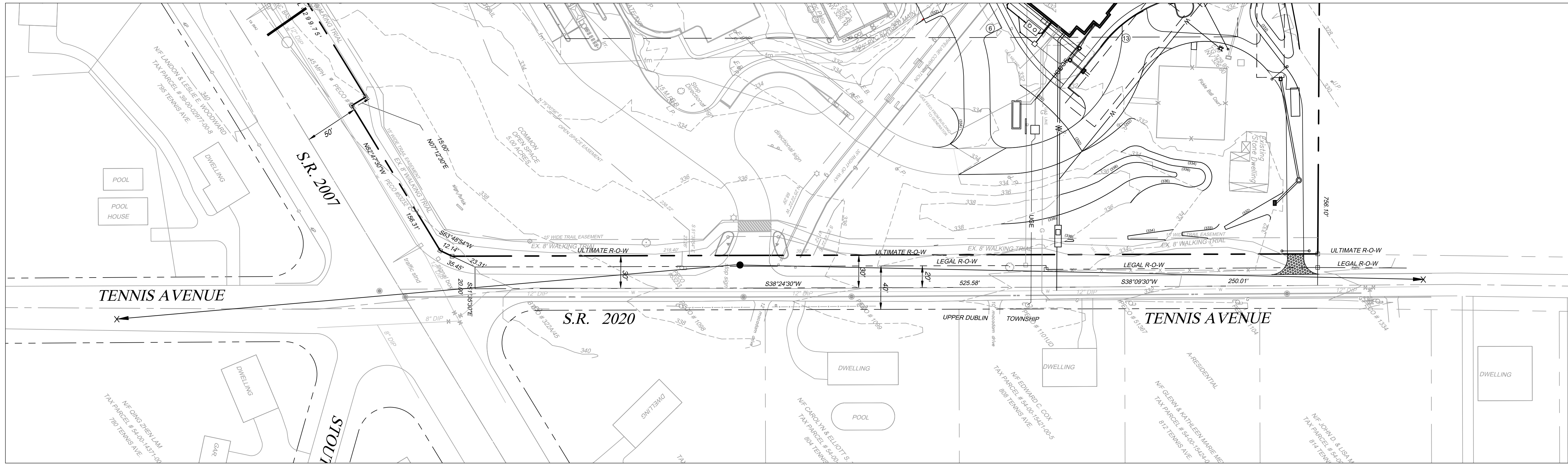
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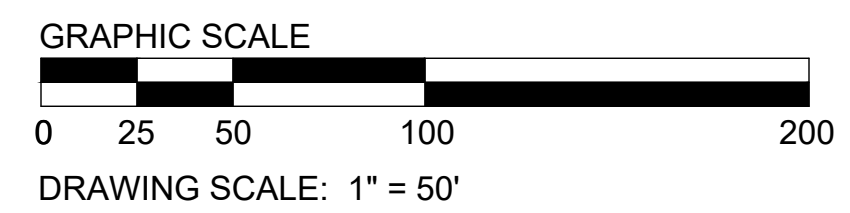
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TENNIS AVENUE - EXISTING ENTRANCE - PROFILE

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SHEET 28 OF 43

1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

SIGHT DISTANCE PLAN & PROFILE A
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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Willow Grove, PA 19090
Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

Martin J. Eustace, III, P.E.
PA Lic. PE048891E

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DATE	6/21/24
DRAWING No.	D 2273-08B 29

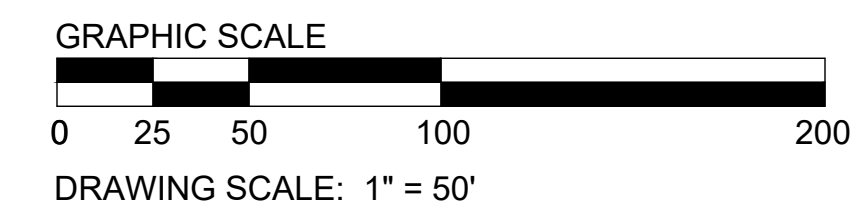


Lower Gwynedd Township
Upper Dublin Township



TENNIS AVENUE - EMERGENCY ACCESS DRIVEWAY - PROFILE

X:\PROJECTS\237308B Gwynedd Estates Assisted Living\AutoCAD\DRAWING\SS\Land Development\030-SIGHT DISTANCE EMER.dwg June 21, 2024



1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

SIGHT DISTANCE PLAN & PROFILE B
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

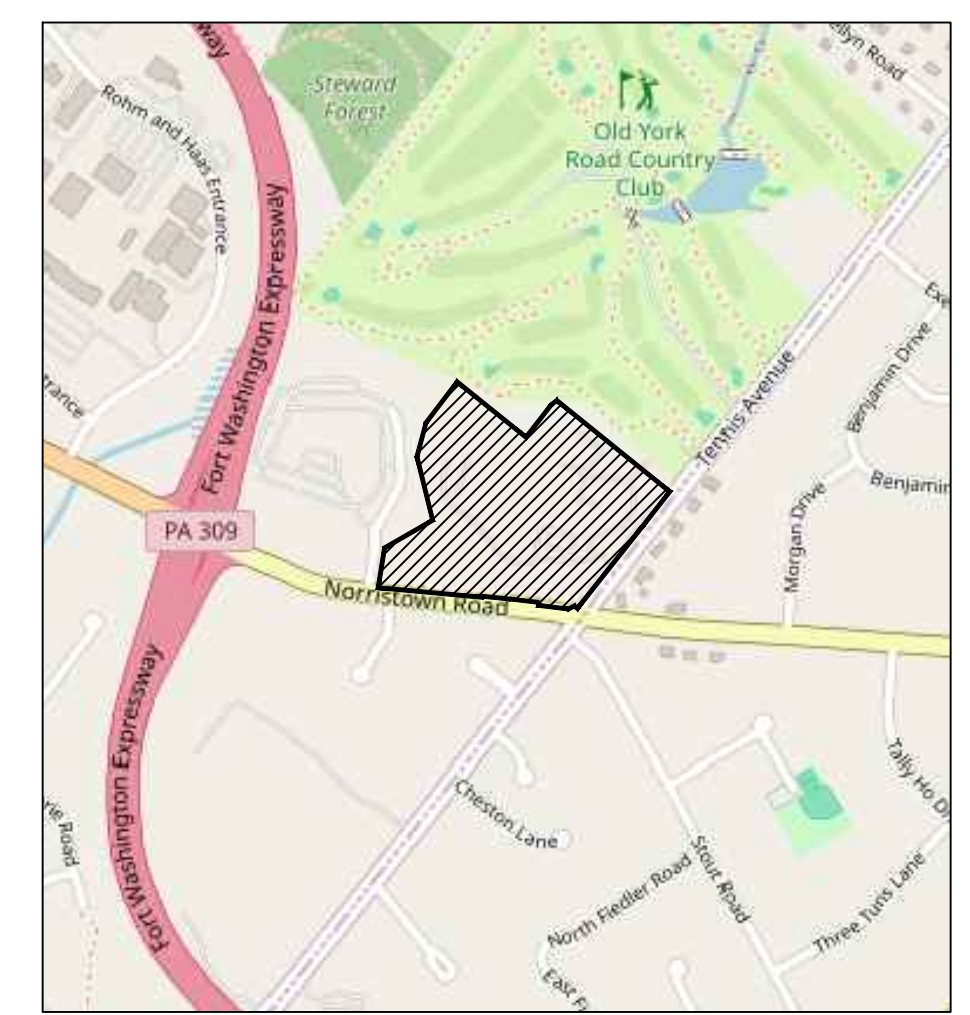
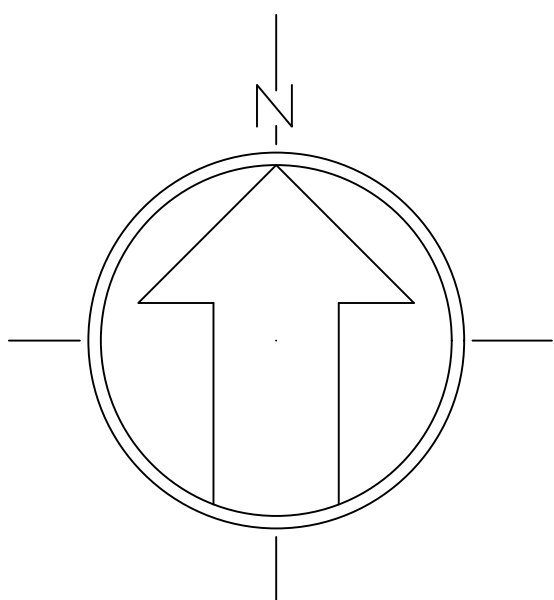
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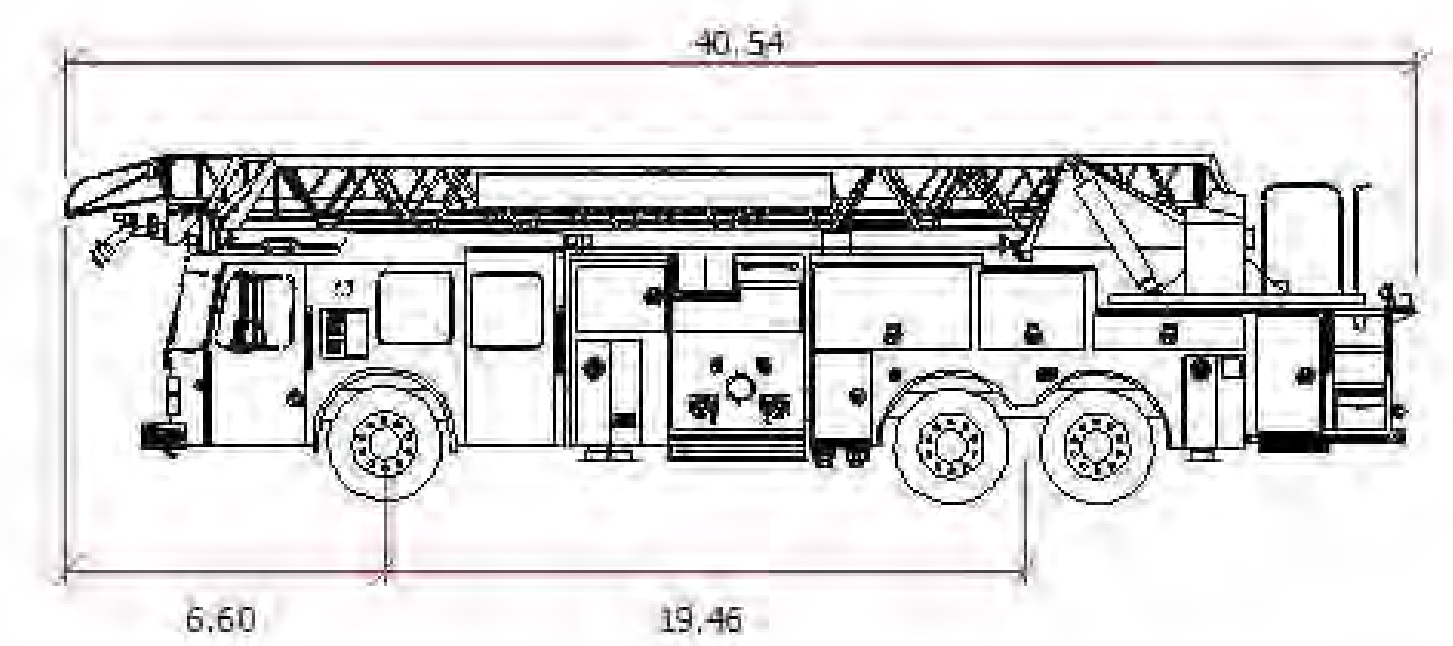
Martin J. Eustace, III
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DATE	6/21/24
DRAWING No.	D 2273-08B 30

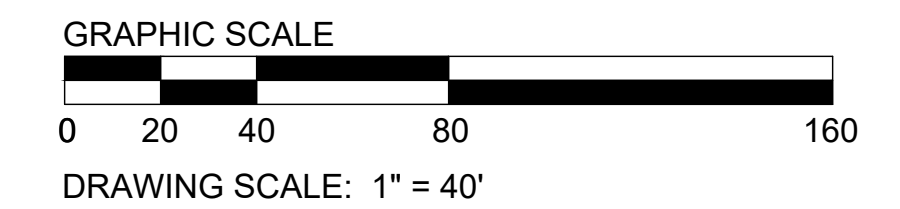
X:\PROJECTS\237308B Gwynedd Estates Assisted Living\AutoCAD\Drawings\Land Development\030A-TURNING.dwg June 21, 2024



Location Map
Scale: 1" = 1000'



DESIGN VEHICLE
PBF 105' AERIAL LADDER PIERCE ARROW XT
CITY - FIRE & RESCUE (PENNSYLVANIA)



DRAWING SCALE: 1" = 40'

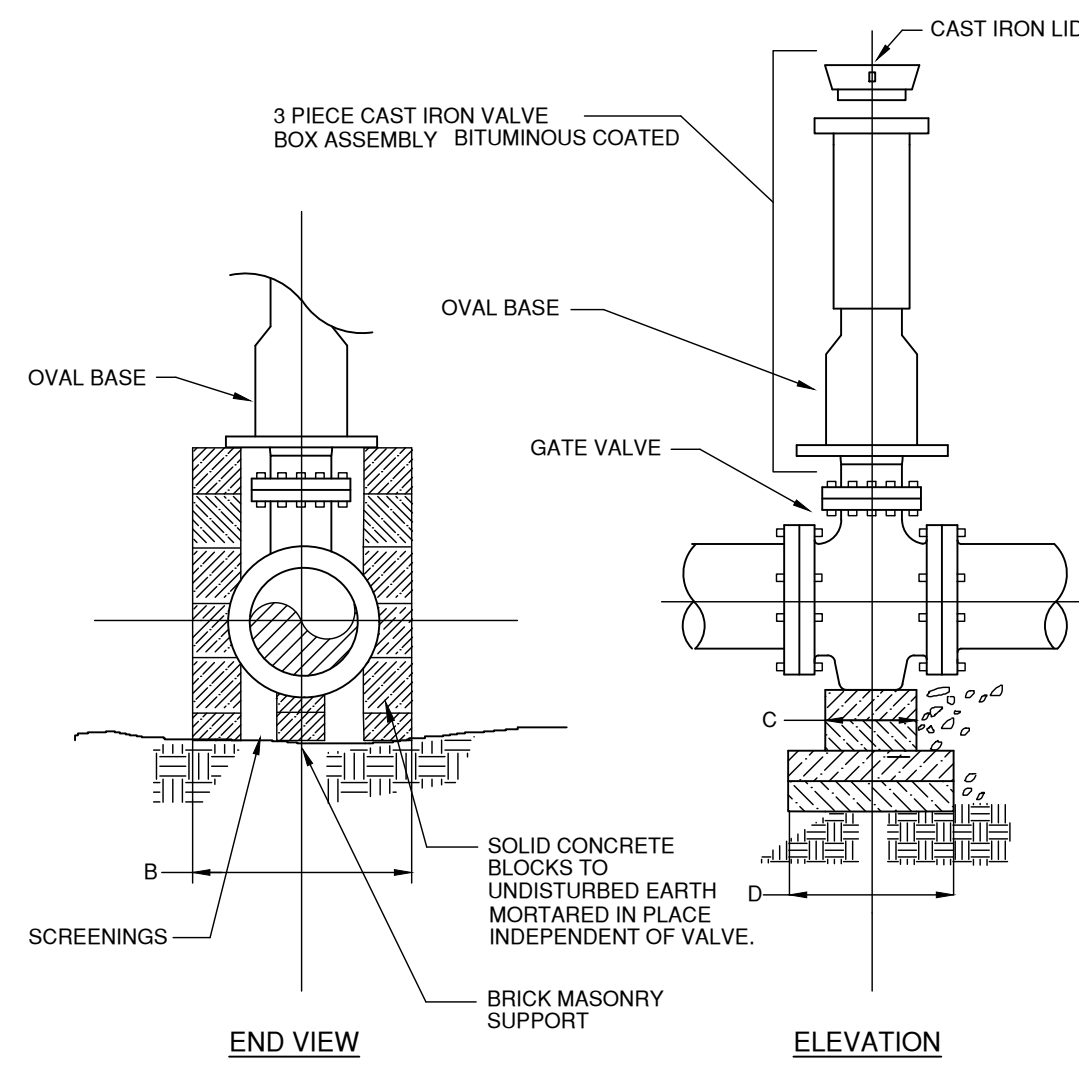
1 | 10/18/2024 | YG | REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

TRUCK TURNING PLAN
ACTS GWYNEDD ESTATES AL
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

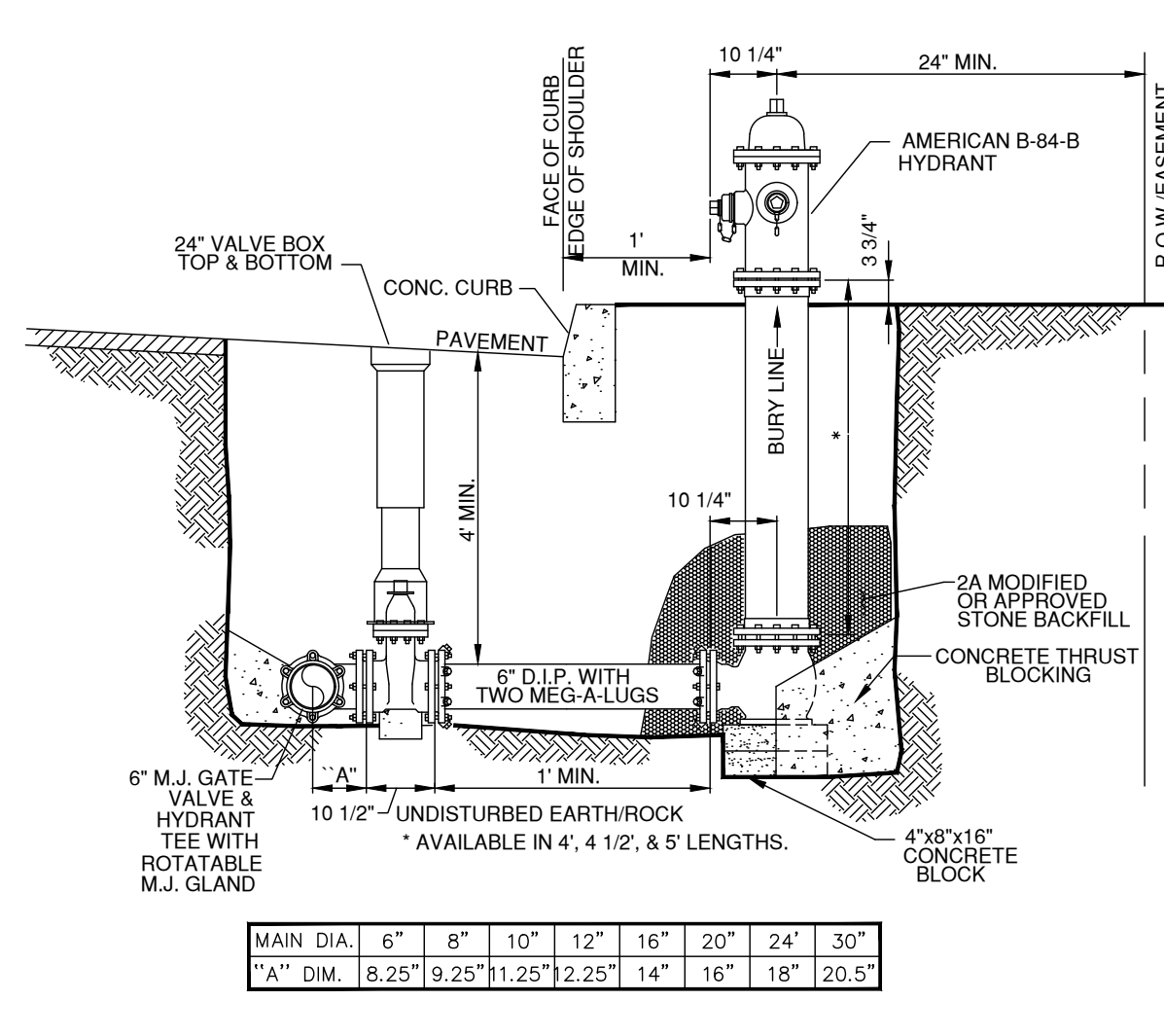
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307 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090
Tel: (215) 348-8757
Fax: (215) 348-8759
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CHECKED BY: MJE
DATE: 6/21/24
DRAWING No.: D 2373 08B 50

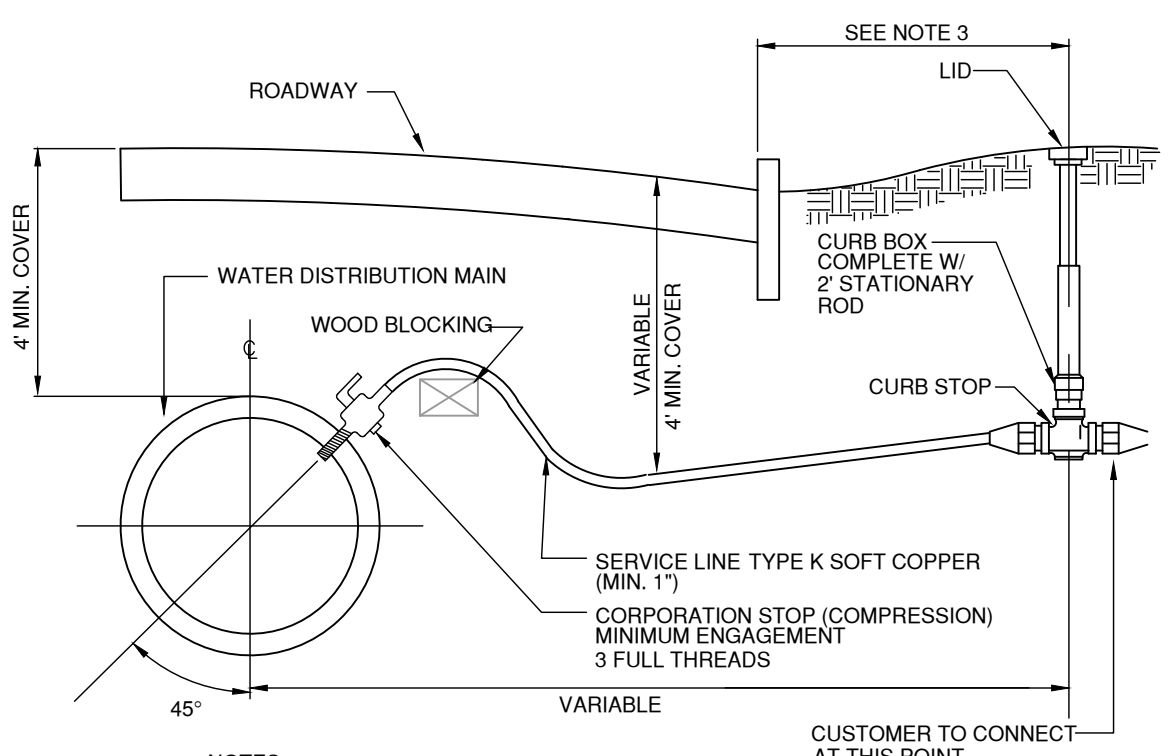


TYPICAL GATE VALVE WITH VALVE BOX
N.T.S.



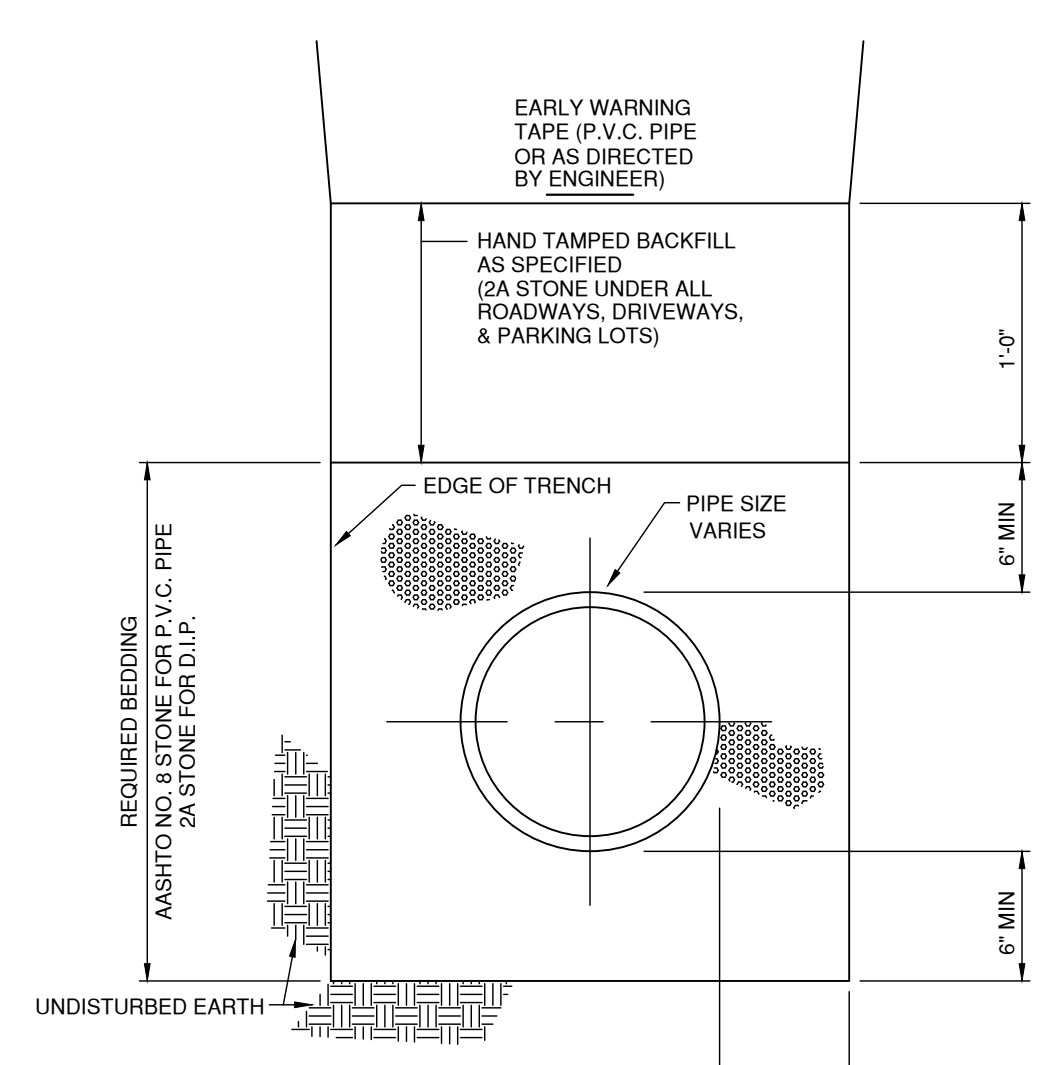
MAIN DIA.	6"	8"	10"	12"	16"	20"	24"	30"
"A" DIM.	8.25"	9.25"	11.25"	12.25"	14"	16"	18"	20.5"

TYPICAL FIRE HYDRANT INSTALLATION
N.T.S.

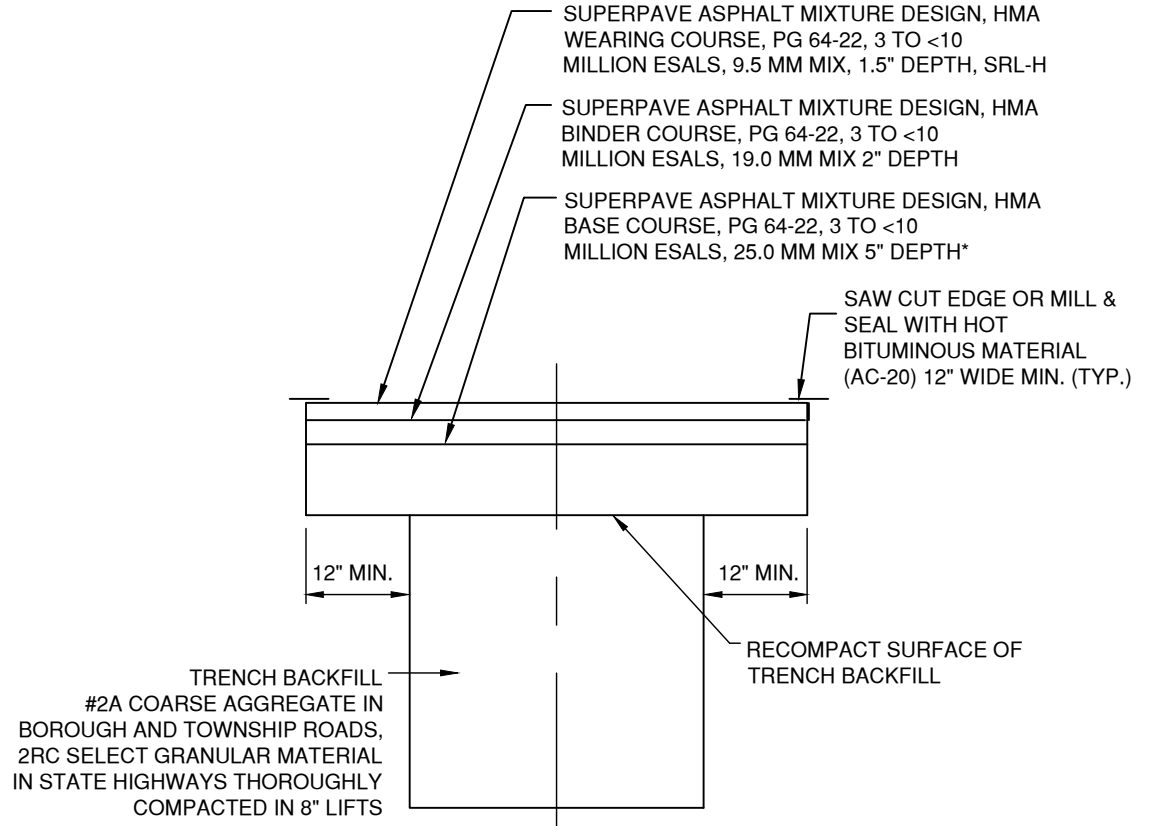


- NOTES:
- FOR TAPS > 1" CONNECTION, PROVIDE TAPPING SADDLE IN ACCORDANCE WITH AUTHORITY SPECIFICATIONS.
 - DO NOT PLACE CURB BOX IN PAVED AREAS.
 - WHERE SIDEWALK PARALLELS ROADWAY, THE CURB BOX SHALL BE PLACED BETWEEN THE CURB AND SIDEWALK. ALL OTHER LOCATIONS, CURB BOX TO BE PLACED WHERE DIRECTED BY AUTHORITY.
 - CUSTOMER IS RESPONSIBLE FOR MAINTENANCE OF ALL SERVICE PIPING AND PLUMBING BEYOND THE CURB STOP, WITH EXCEPTION OF WATER METER.
 - PROVIDE COMPRESSION FITTINGS ON CURB AND CORPORATION STOP.

STANDARD WATER SERVICE CONNECTION
N.T.S.

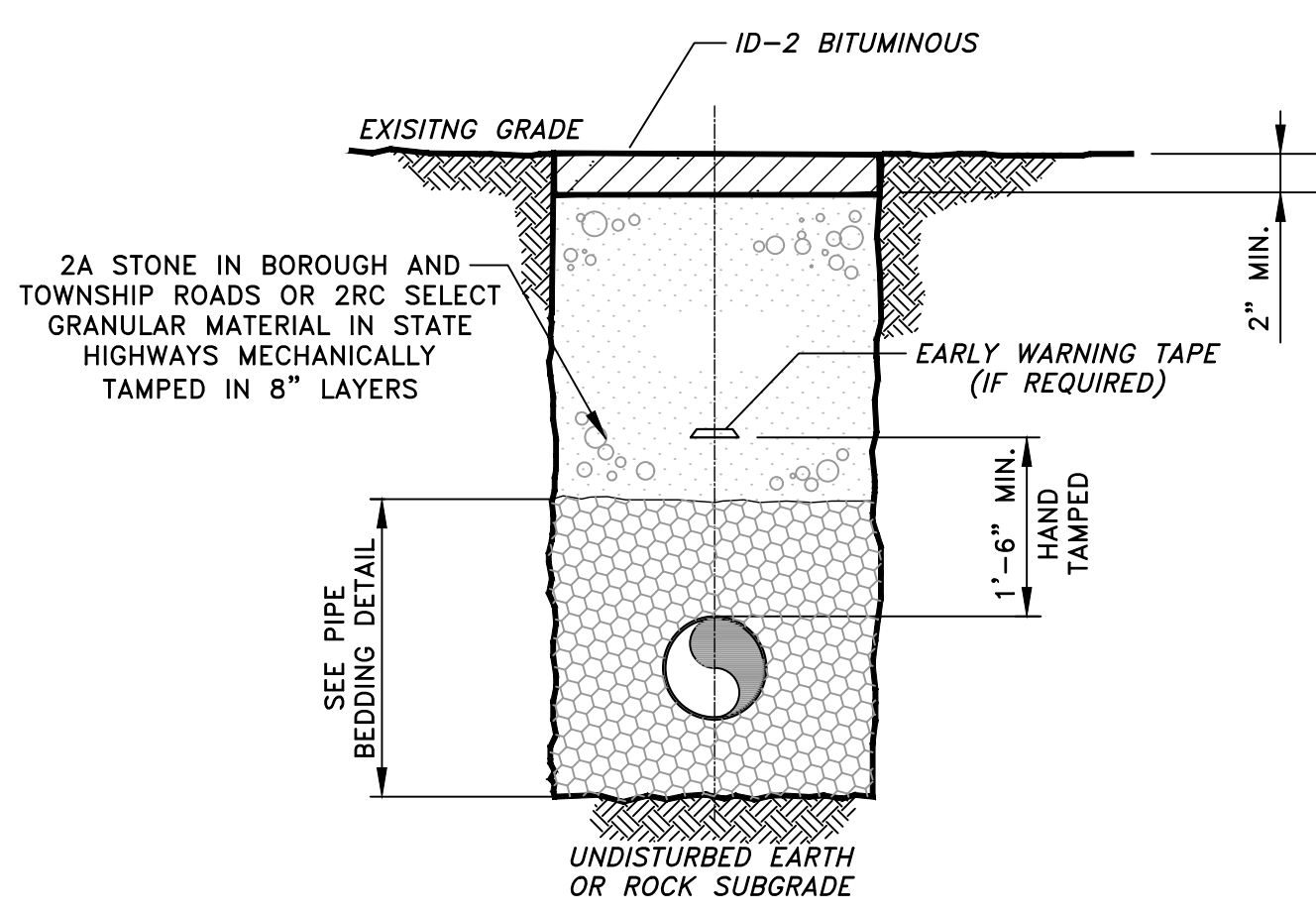


STANDARD PIPE BEDDING
N.T.S.

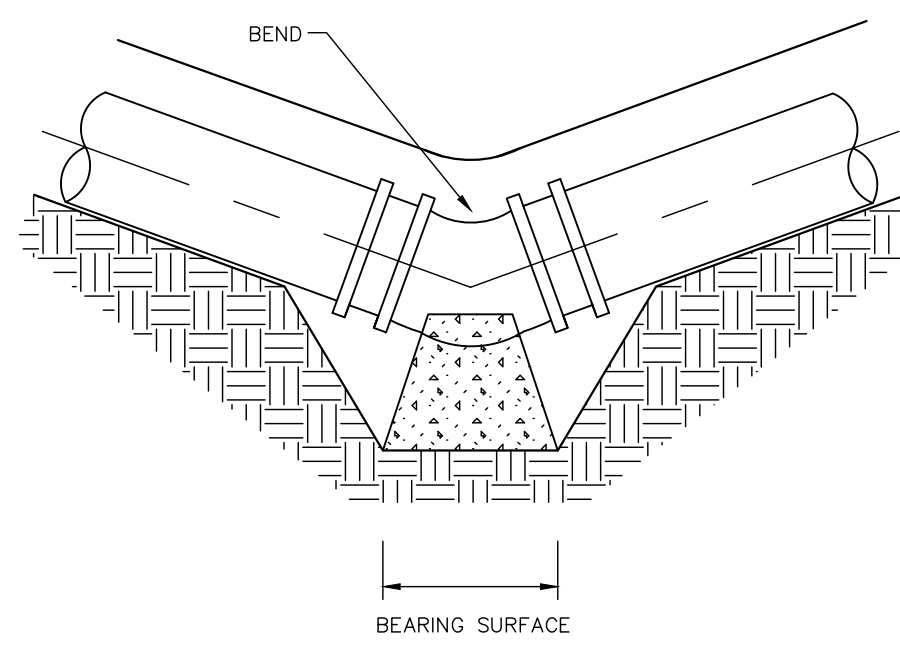


- NOTES:
- SPECIAL CONDITIONS OF ROAD OPENING PERMIT MAY SUPERSEDE THIS DETAIL.
 - EXPOSED VERTICAL AND HORIZONTAL SURFACES SHALL BE PREPARED AS PER PUB 408, SECTION 40J.3(F).
 - OVER CUT ALL EDGES 1" EXCAVATE OLD AND TEMPORARY MATERIAL. RECOMPACT SUB-GRADE. TACK COAT ALL VERTICAL EDGES. INSTALL ONLY BASE COURSE AND BINDER IN ONE DAY.
 - *MATCH EXISTING DEPTH IF GREATER

PERMANENT PAVEMENT RESTORATION
N.T.S.

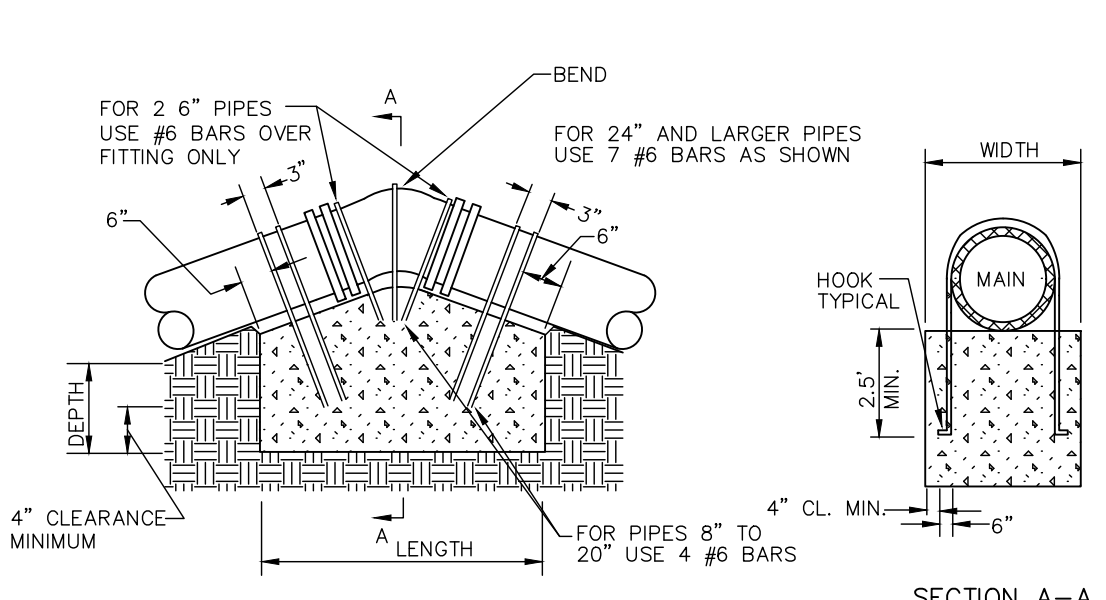


TEMPORARY PAVEMENT
N.T.S.



- NOTES:
- ALL CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 2500 P.S.I.
 - ALL FITTINGS AND JOINTS SHALL BE COVERED WITH POLYETHYLENE FILM BEFORE PLACING CONCRETE.
 - PAINTE ALL EXPOSED STEEL WITH TWO COATS OF ASTM D1187 ASPHALT EMULSION.
 - FOR THE REQUIRED BEARING SURFACE SEE ADJACENT TABLE ENTITLED "HORIZONTAL AND VERTICAL DOWNWARD THRUST BLOCK DIMENSION" (AUTHORITY STANDARD DETAIL W22)

VERTICAL DOWNWARD THRUST BLOCK
N.T.S.



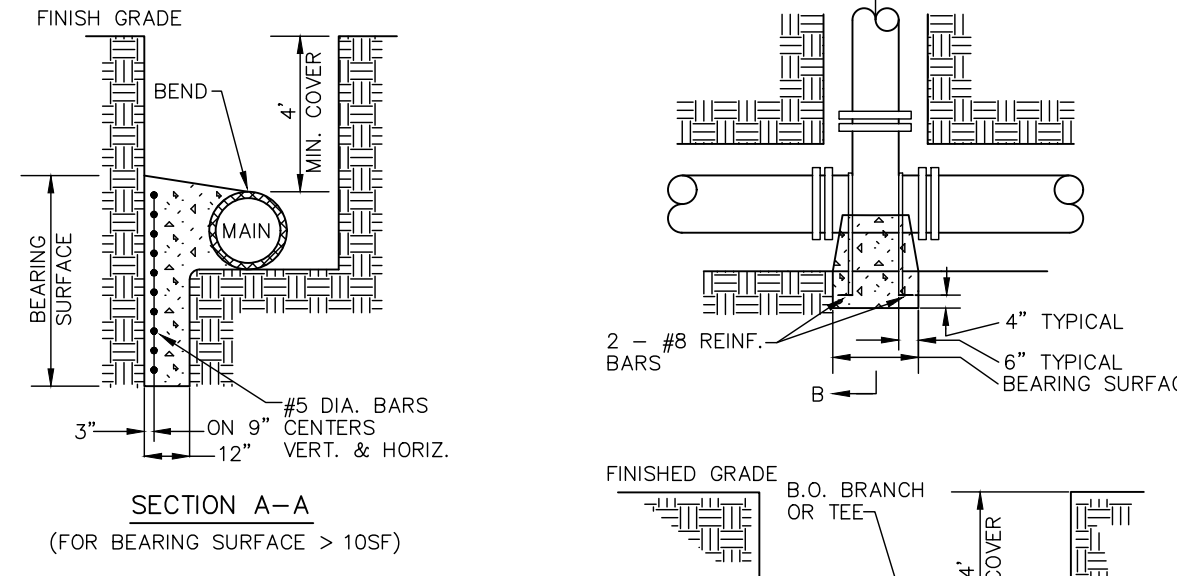
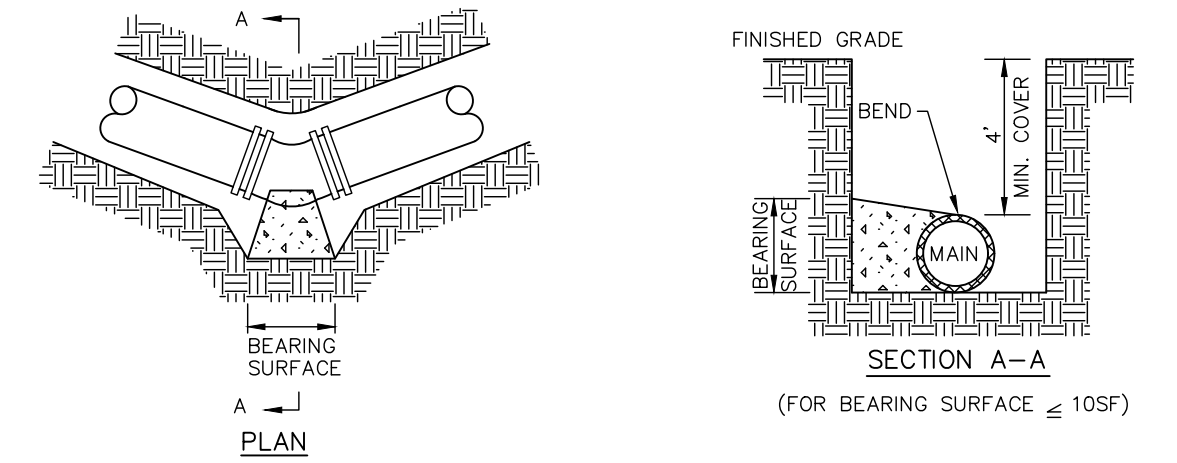
- NOTES:
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 P.S.I.
 - ALL REINFORCING STEEL SHALL BE DEFORMED BARS U-SHAPED AROUND PIPE.
 - ALL FITTINGS AND JOINTS SHALL BE ENVELOPED WITH 8 MIL. POLYETHYLENE FILM BEFORE PLACING CONCRETE.
 - PAINT ALL EXPOSED STEEL WITH TWO COATS OF ASTM D1187 ASPHALT EMULSION.

BEARING SURFACE AREAS - VERTICAL UPWARD THRUST
150 P.S.I. WORKING PRESSURE

PIPE SIZES	LENGTH		WIDTH		DEPTH	
	11.25°	22.25°	11.25°	22.25°	11.25°	22.25°
6" & 8"	3'	4'	6'	3'	3'	2'
10" & 12"	4'	6'	7'	4'	4.5'	3'
14" & 16"	6'	8'	11'	4.5'	4.5'	3.5'

ALL AREAS IN SQUARE FEET.

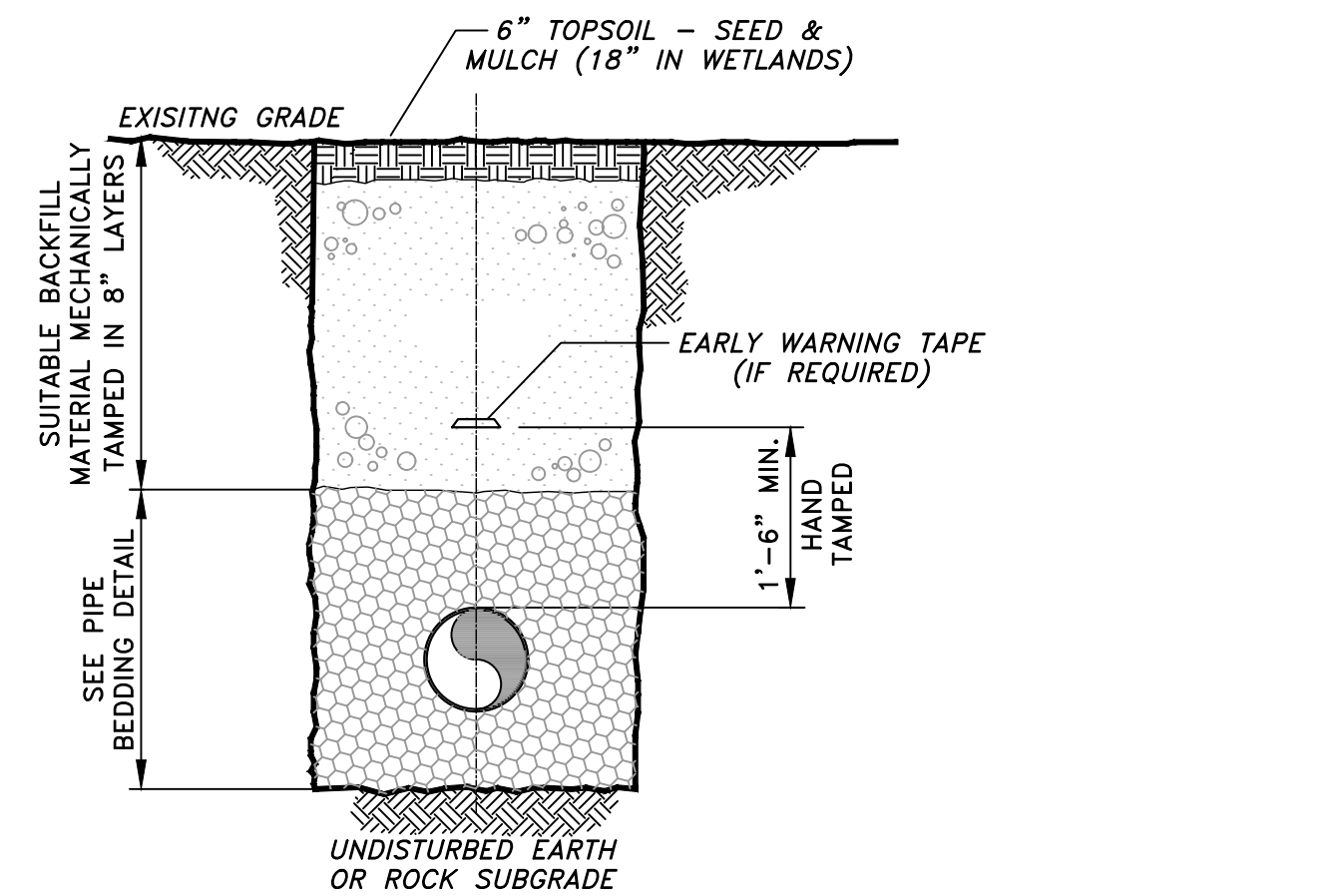
VERTICAL UPWARD THRUST BLOCKS
N.T.S.



- NOTES:
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 P.S.I.
 - ALL REINFORCING STEEL SHALL BE DEFORMED BARS U-SHAPED AROUND PIPE.
 - ALL FITTINGS AND JOINTS SHALL BE ENVELOPED WITH 8 MIL. POLYETHYLENE FILM BEFORE PLACING CONCRETE.
 - PAINT ALL EXPOSED STEEL WITH TWO COATS OF ASTM D1187 ASPHALT EMULSION.
 - FOR THE REQUIRED BEARING SURFACE SEE ADJACENT TABLE ENTITLED "HORIZONTAL AND VERTICAL DOWNWARD THRUST BLOCK DIMENSION" (AUTHORITY STANDARD DETAIL W22)

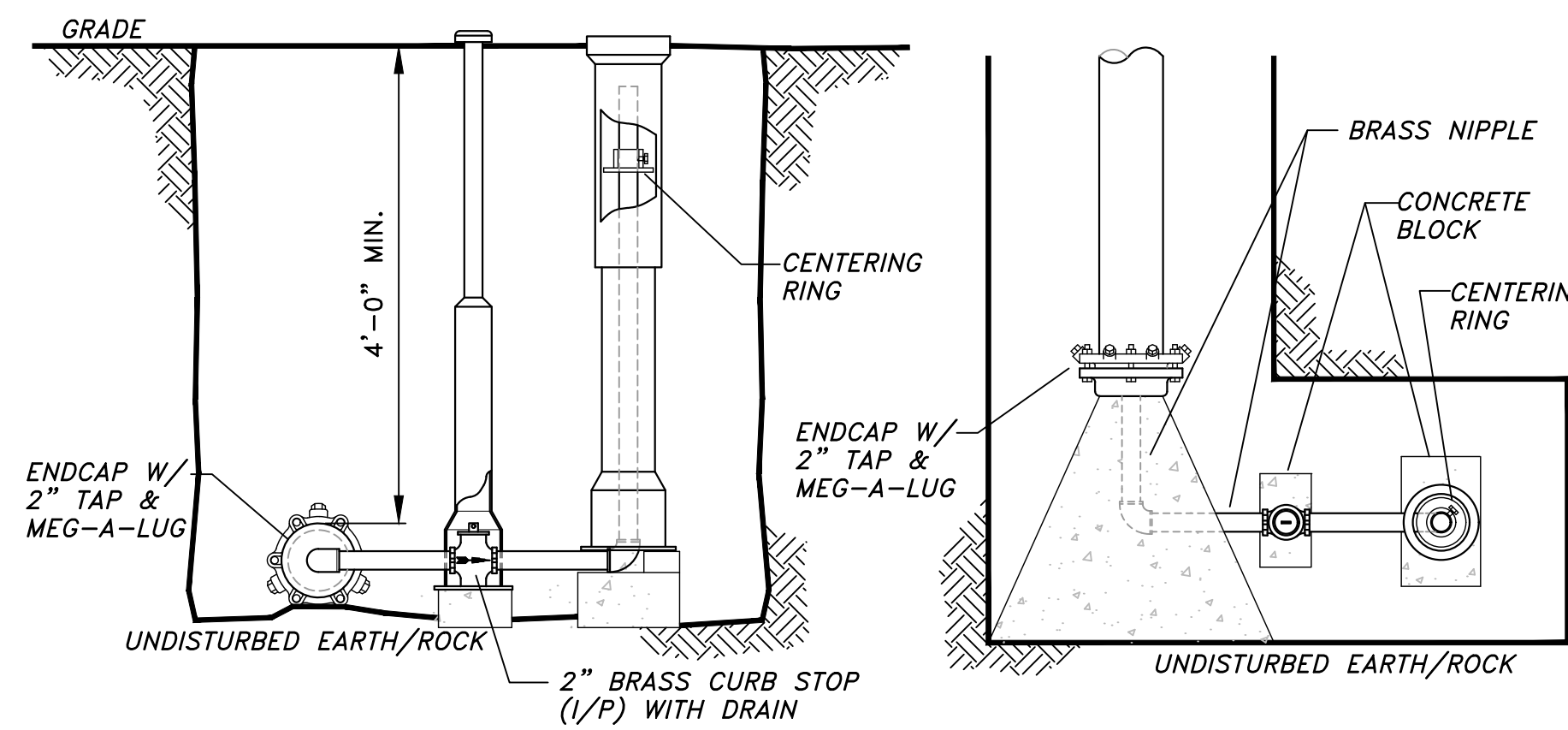
HORIZONTAL THRUST BLOCK ORIENTATION
N.T.S.

- NOTES:
- THE TOP 6" OF ALL TRENCHES IN NON-WETLAND AREAS SHALL BE BACKFILLED WITH TOPSOIL AND RESTORED IN ACCORDANCE WITH SECTION 02920 OF THE STANDARD SPECIFICATIONS.
 - THE TOP 18" OF ALL TRENCHES IN WETLANDS SHALL BE BACKFILLED WITH PREVIOUSLY STRIPPED TOPSOIL AND RESTORED IN ACCORDANCE WITH SECTION 02920 OF THE STANDARD SPECIFICATIONS.



RESTORATION IN UNPAVED AREAS
N.T.S.

- NOTES:
- THE TOP 6" OF ALL TRENCHES IN NON-WETLAND AREAS SHALL BE BACKFILLED WITH TOPSOIL AND RESTORED IN ACCORDANCE WITH SECTION 02920 OF THE STANDARD SPECIFICATIONS.
 - THE TOP 18" OF ALL TRENCHES IN WETLANDS SHALL BE BACKFILLED WITH PREVIOUSLY STRIPPED TOPSOIL AND RESTORED IN ACCORDANCE WITH SECTION 02920 OF THE STANDARD SPECIFICATIONS.



TERMINAL BLOW-OFF ASSEMBLY
N.T.S.

BEARING SURFACE AREAS
HORIZONTAL THRUST & VERTICAL DOWNWARD THRUST
150 P.S.I. WORKING PRESSURE

PIPE SIZE	3"		4"		6"		8"	
	D.E.	90°	45°	22.5°	90°	45°	22.5°	D.E.
SOFT CLAY (1,000#/SF)	2.8	3.9	2.1	1.1	1.0	4.1	5.8	3.1
SILT (1,500#/SF)	1.8	2.6	1.4	1.0	1.0	2.7	3.8	2.1
SANDY SILT (3,000#/SF)	1.0	1.3	1.0	1.0	1.0	1.4	1.9	1.0
SAND (4,000#/SF)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
SANDY CLAY (6,000#/SF)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
HARD CLAY (9,000#/SF)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

HORIZONTAL AND VERTICAL DOWNWARD THRUST BLOCK DIMENSION
N.T.S.

1 | 10/18/2024 | YG | REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

WATER DETAILS
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

MARTIN J. EUSTACE, III
PROFESSIONAL ENGINEER
04889-E

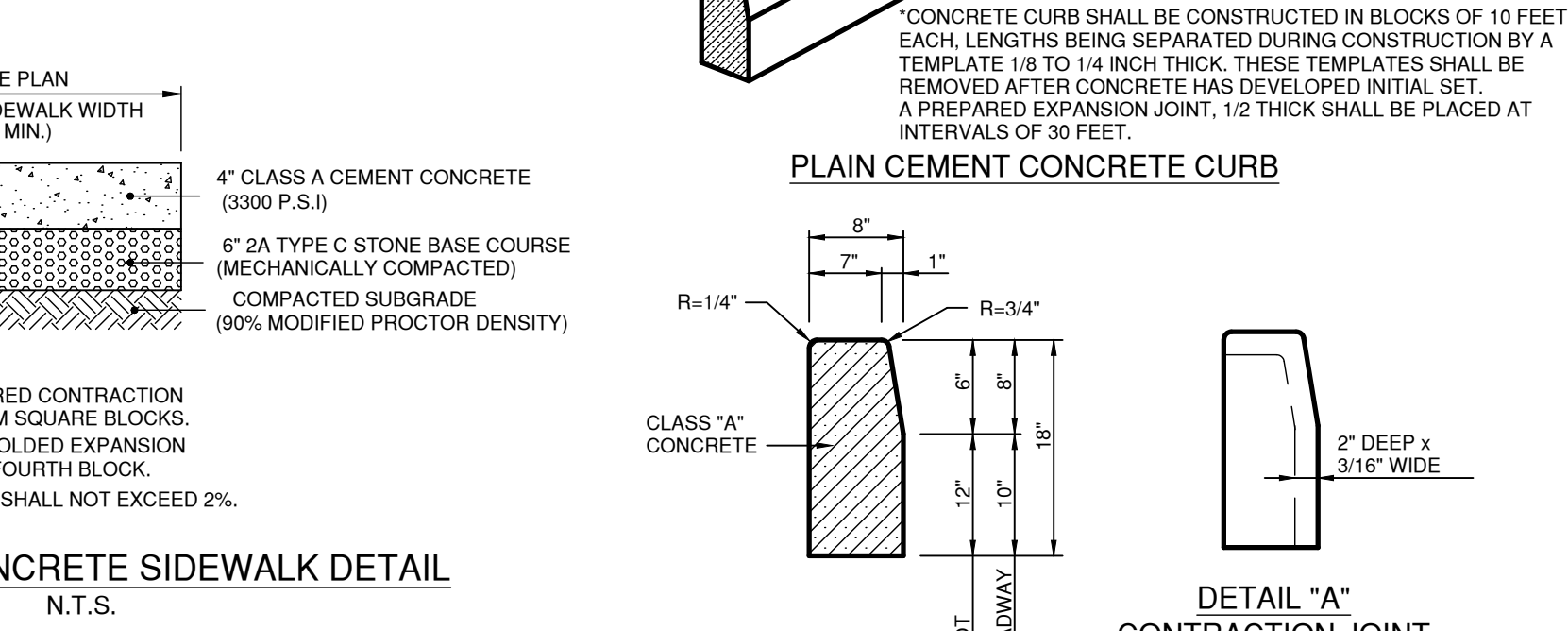
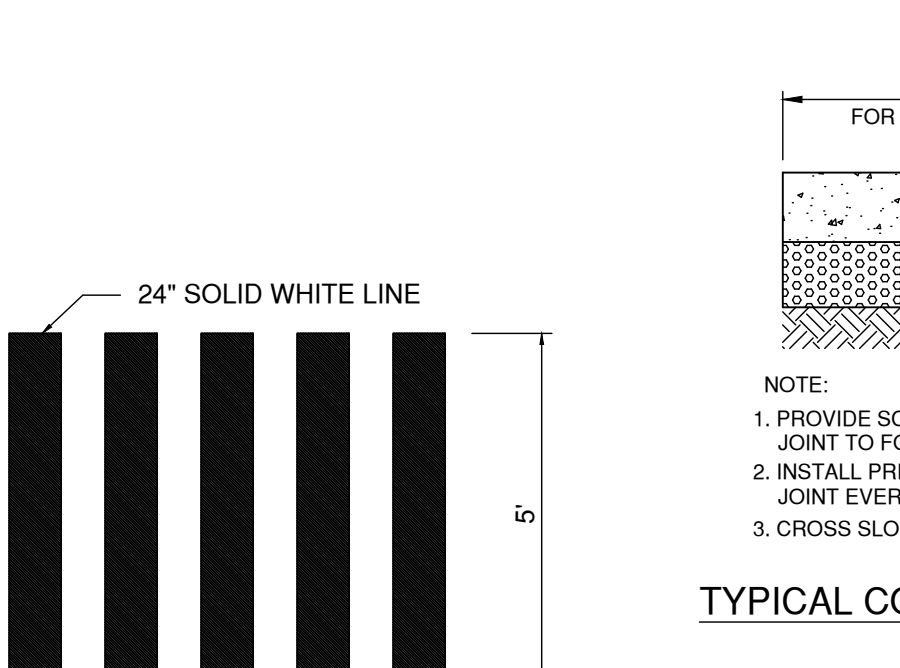
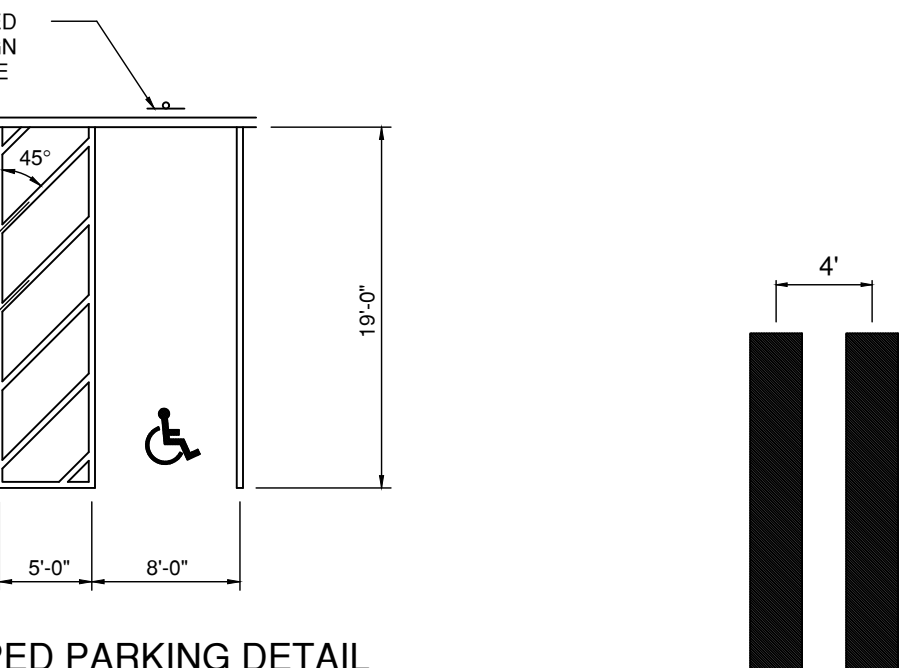
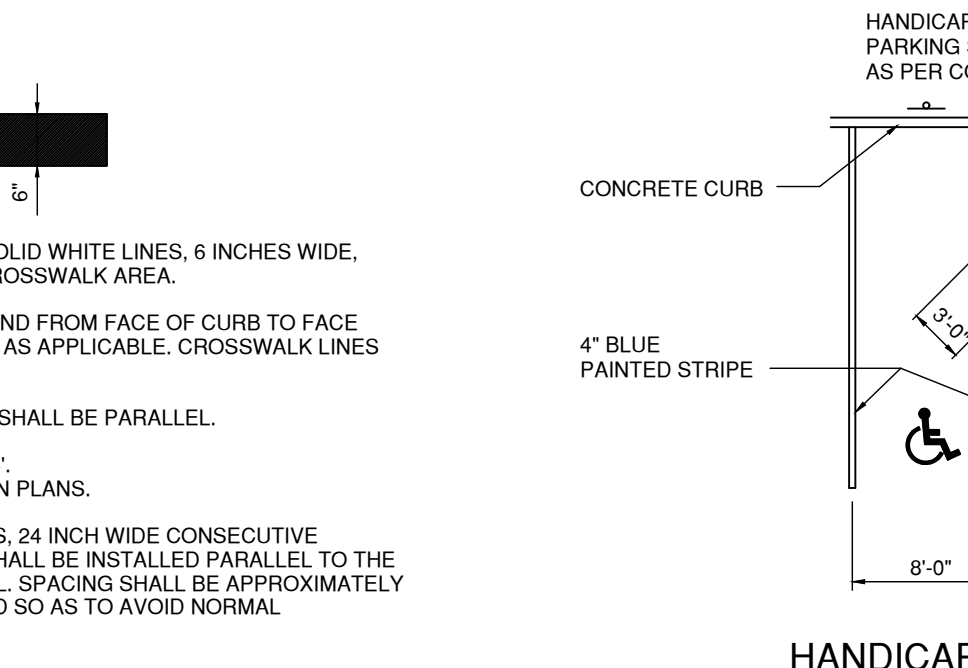
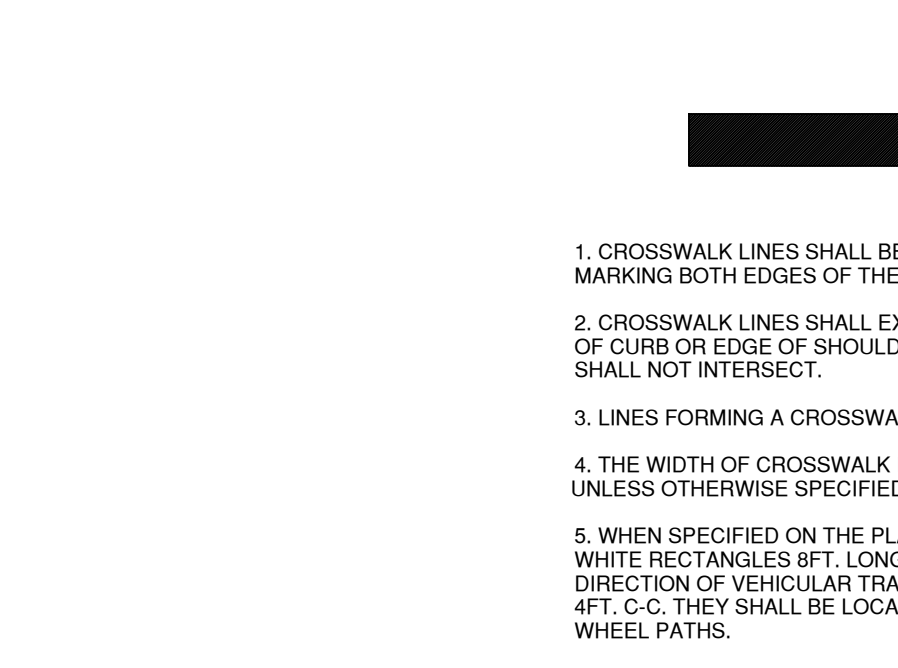
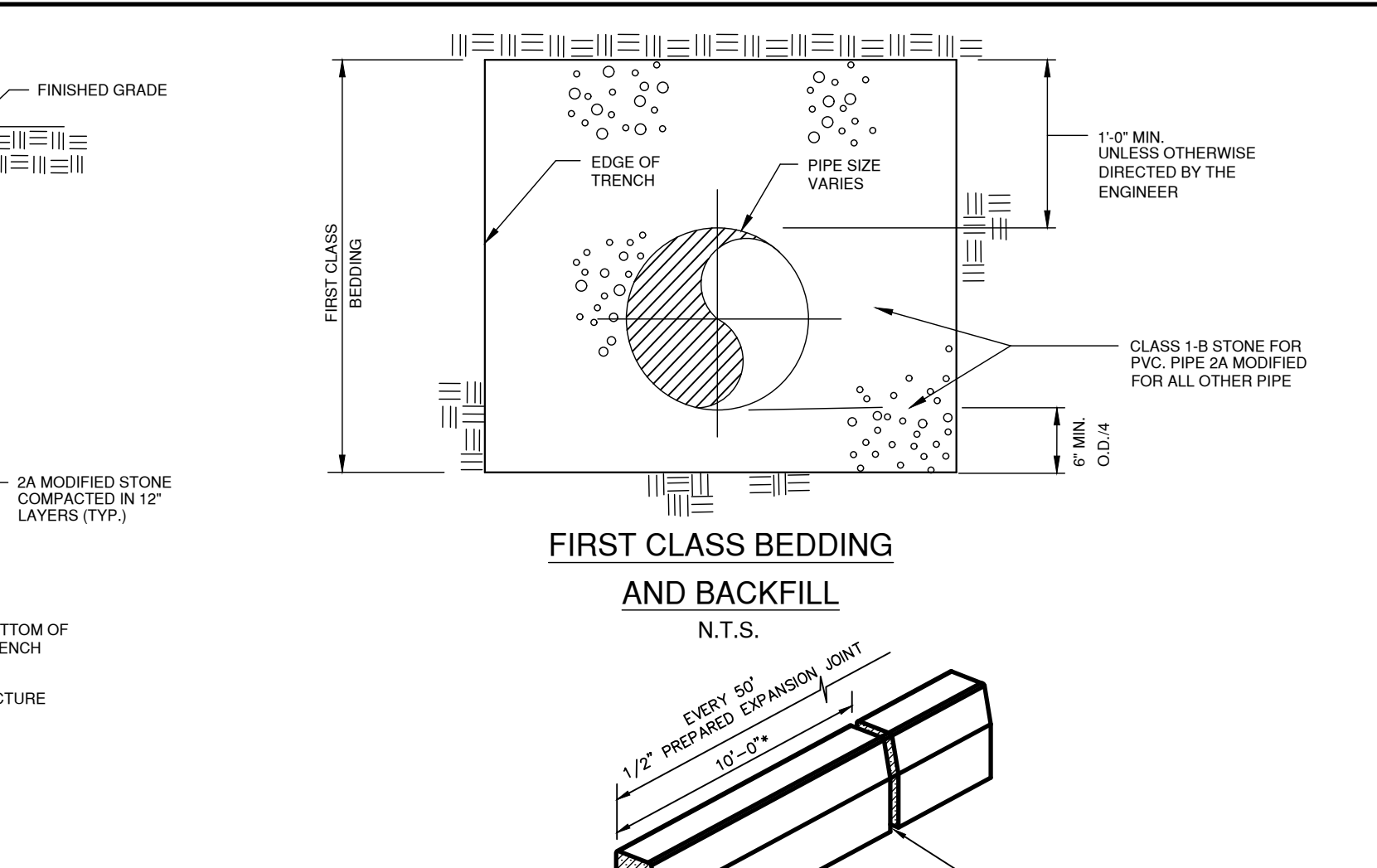
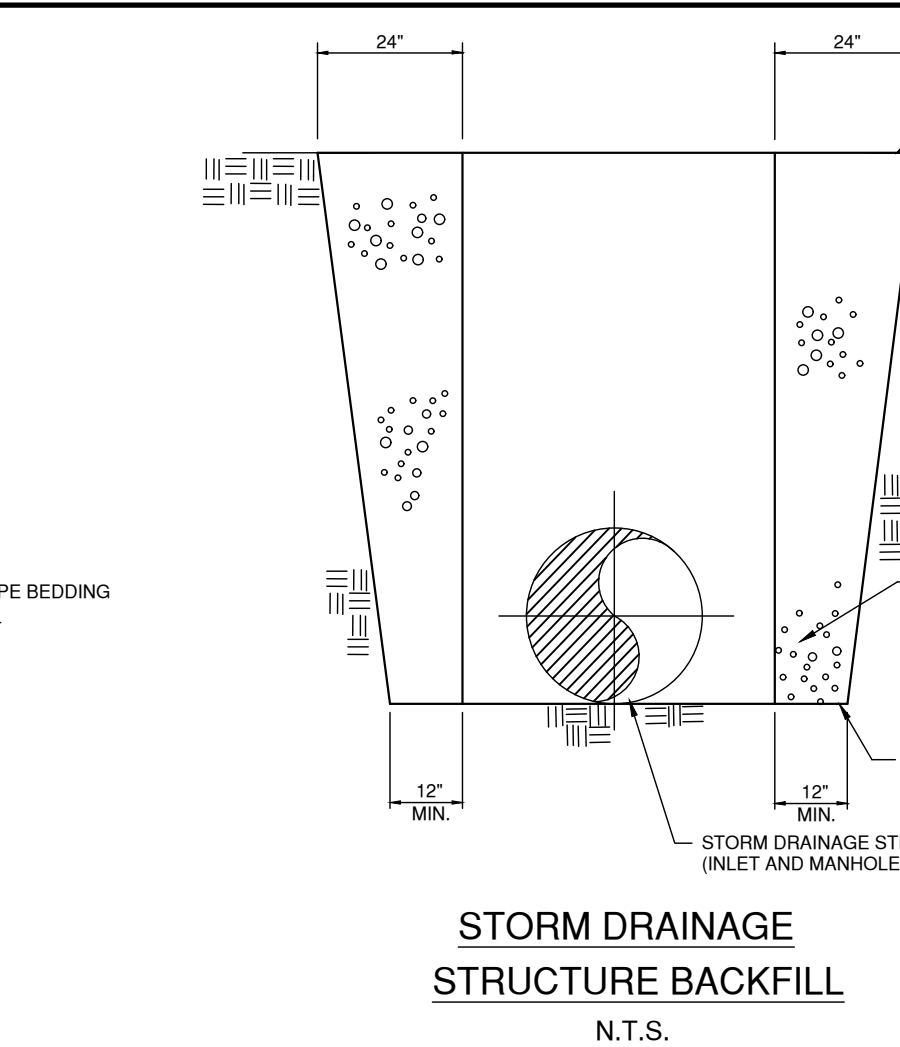
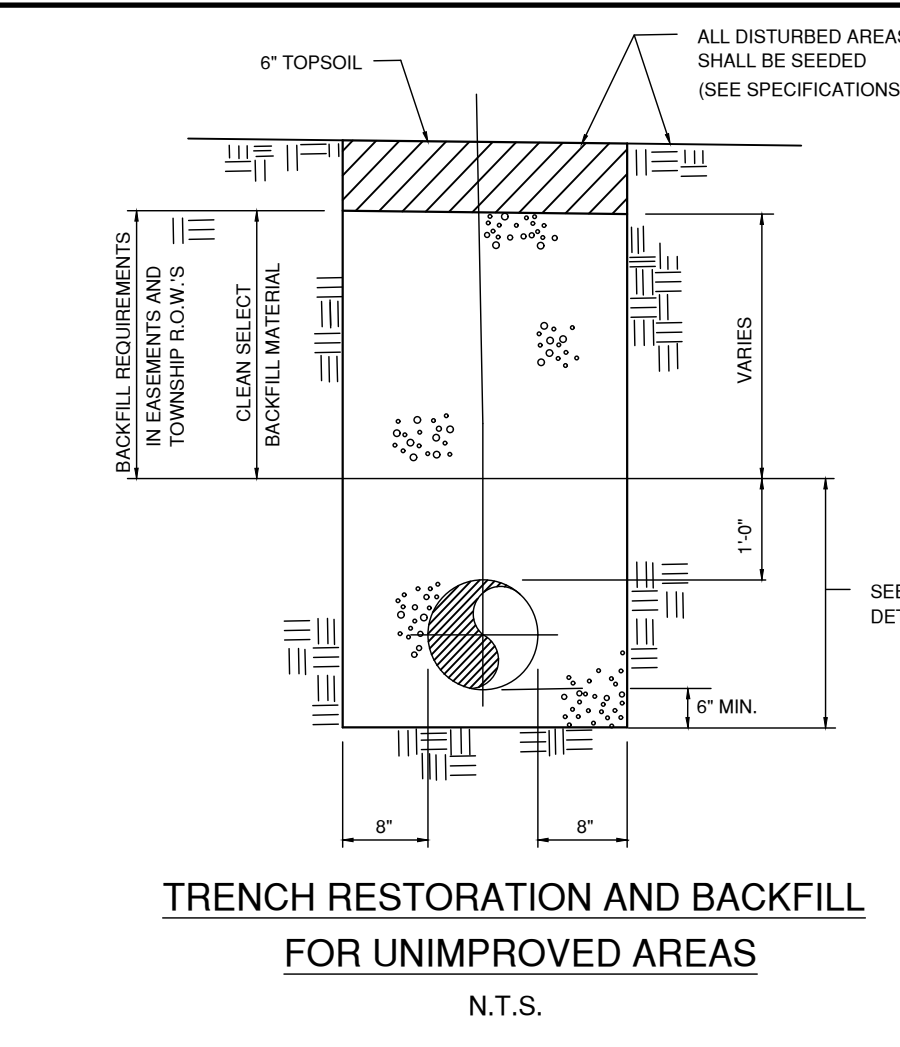
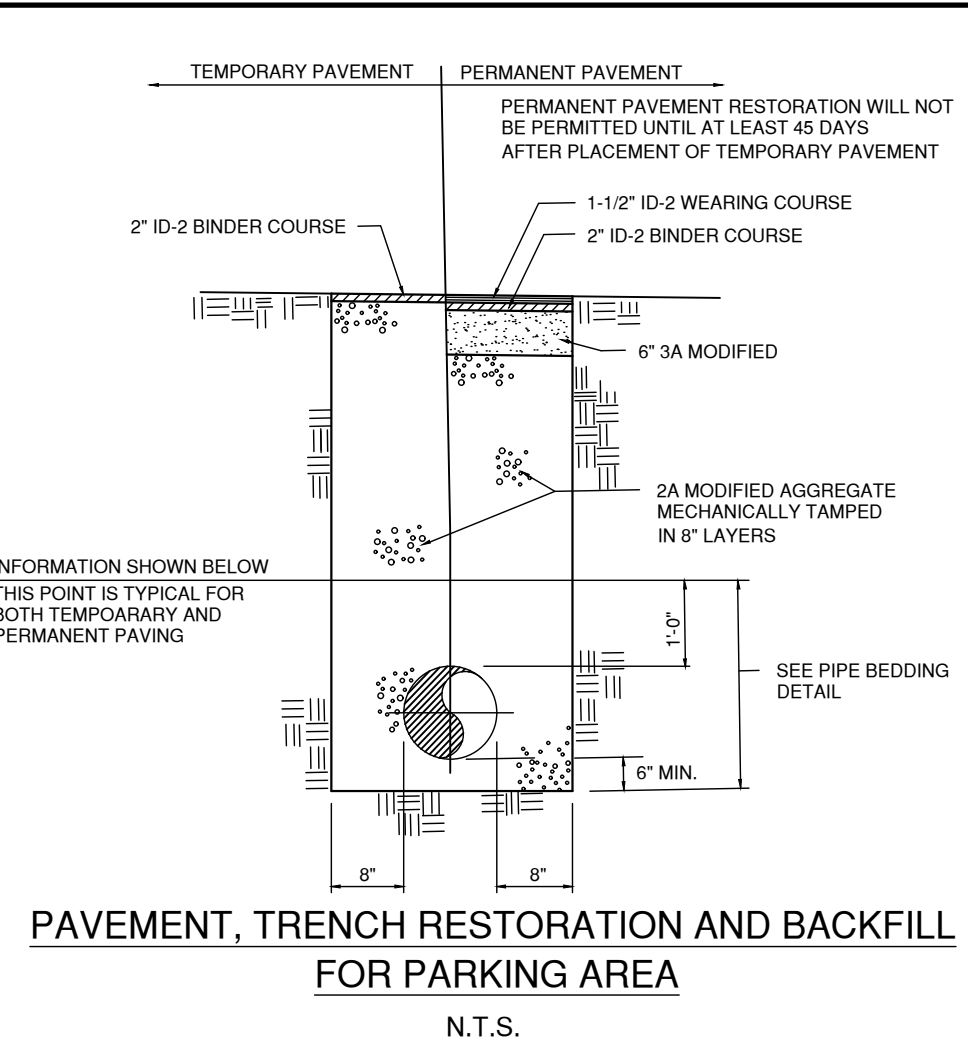
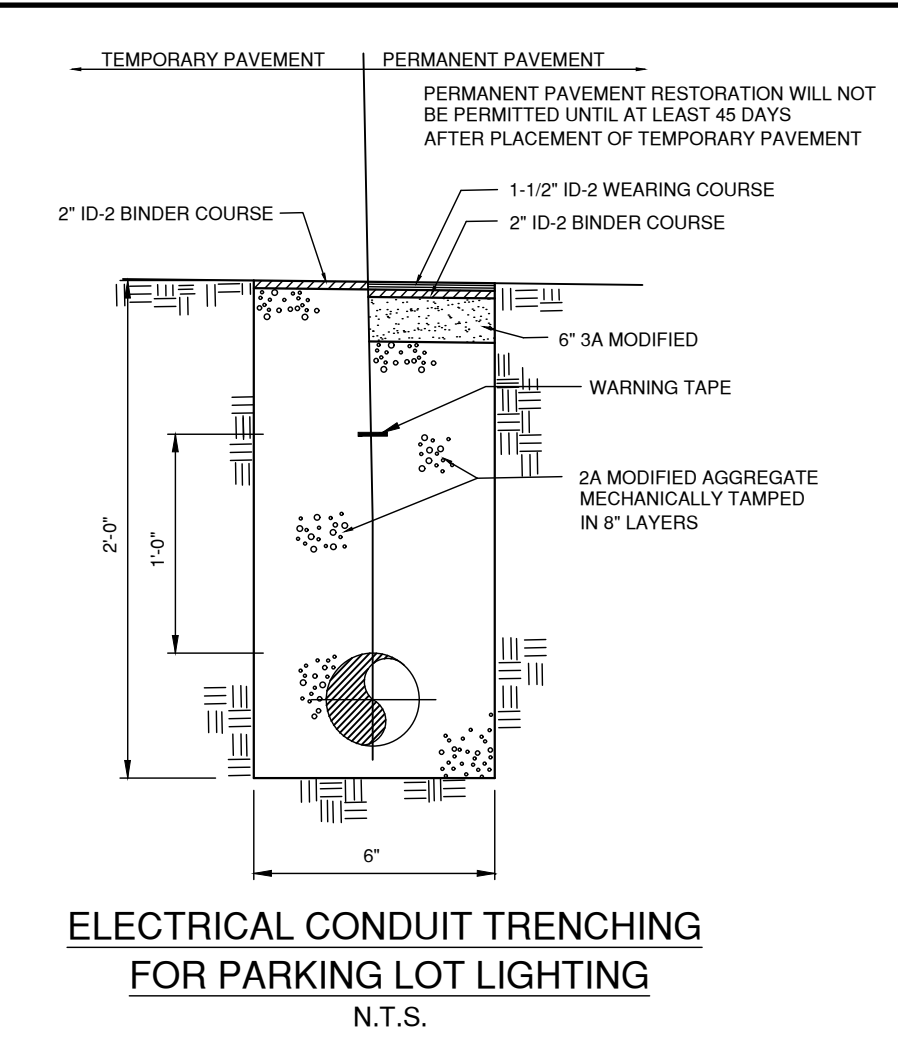
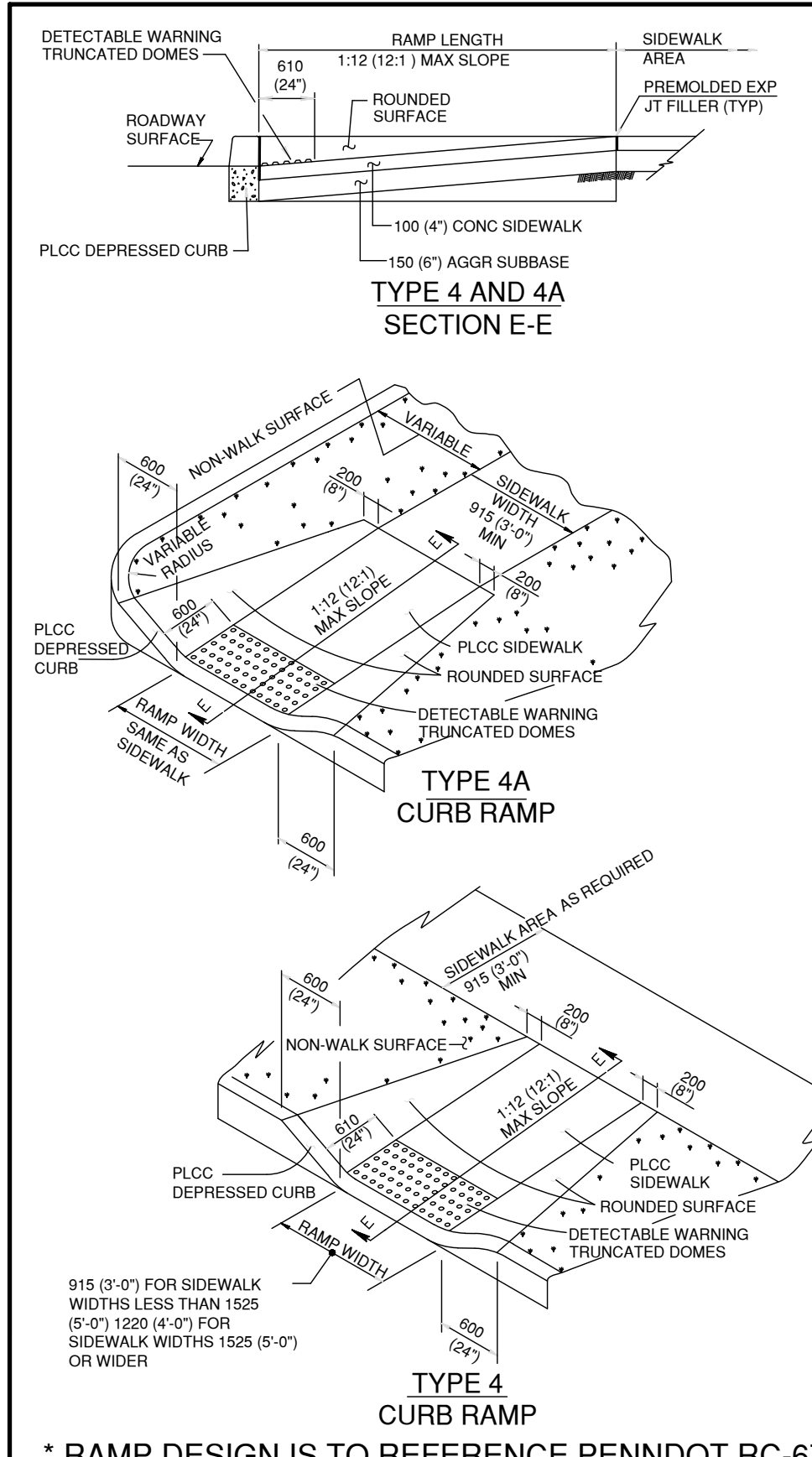
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CHECKED BY: MJE
DATE: 6/21/24
DRAWING No: D 2373 08B 33

X:\PROJECTS\237308B Gwynedd Estates Assisted Living\AutoCAD\Drawings\Land Development\031-WATER DETAILS.dwg March 18, 2024



NOTE: FIRE LANE SIGNS SHALL COMPLY WITH FIGURE D103.6 OF THE 2015 INTERNATIONAL FIRE CODE. SIGNS WILL HAVE A MINIMUM DIMENSION OF 12" (305 mm) WIDE BY 18" (457 mm) HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND.

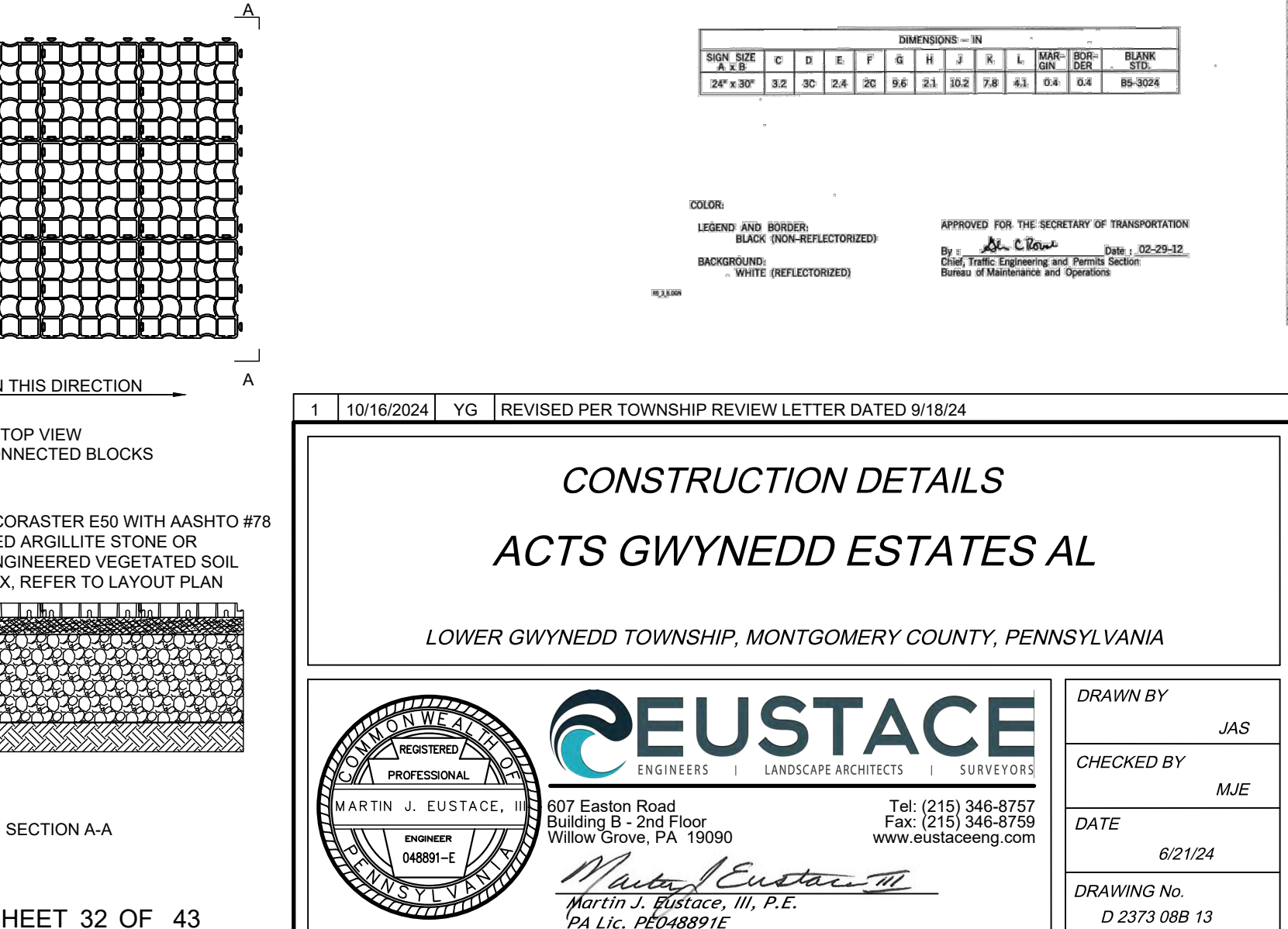
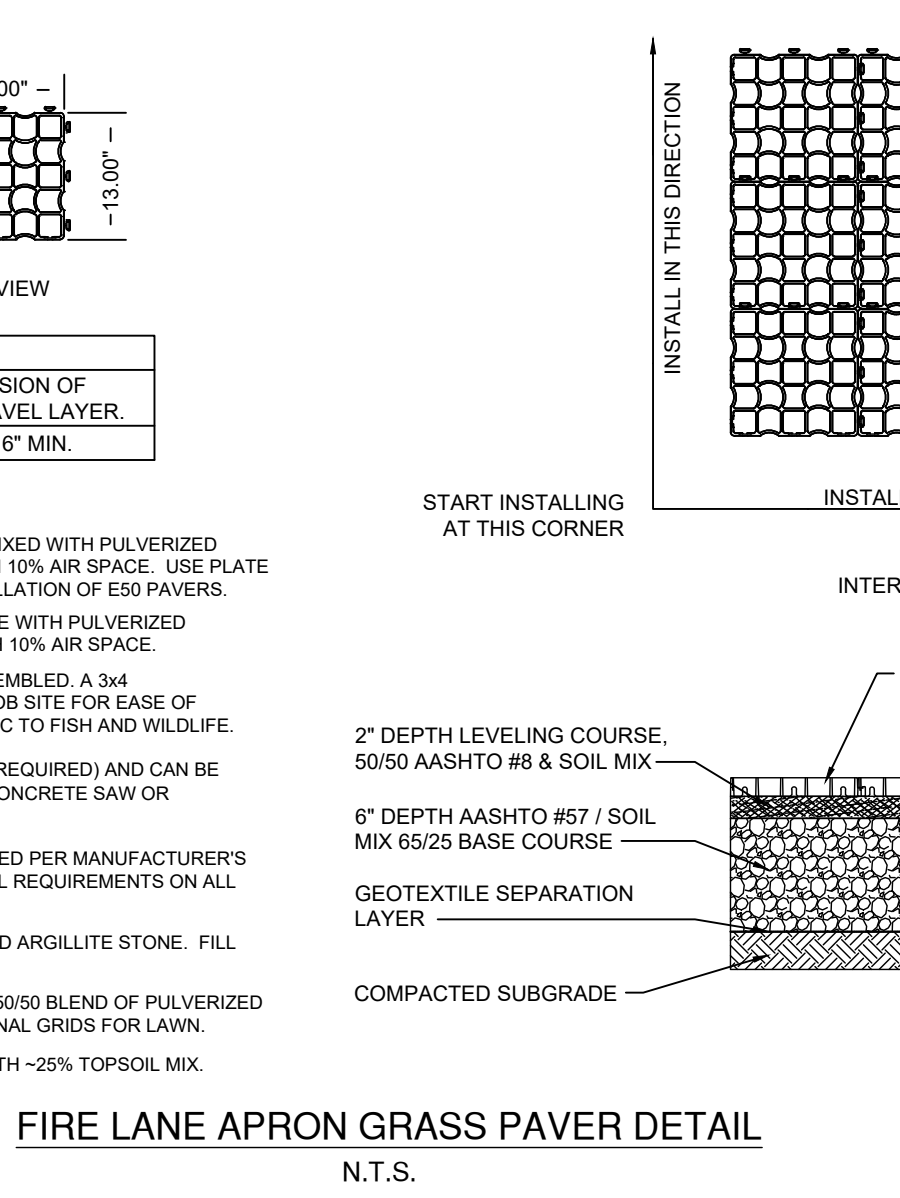
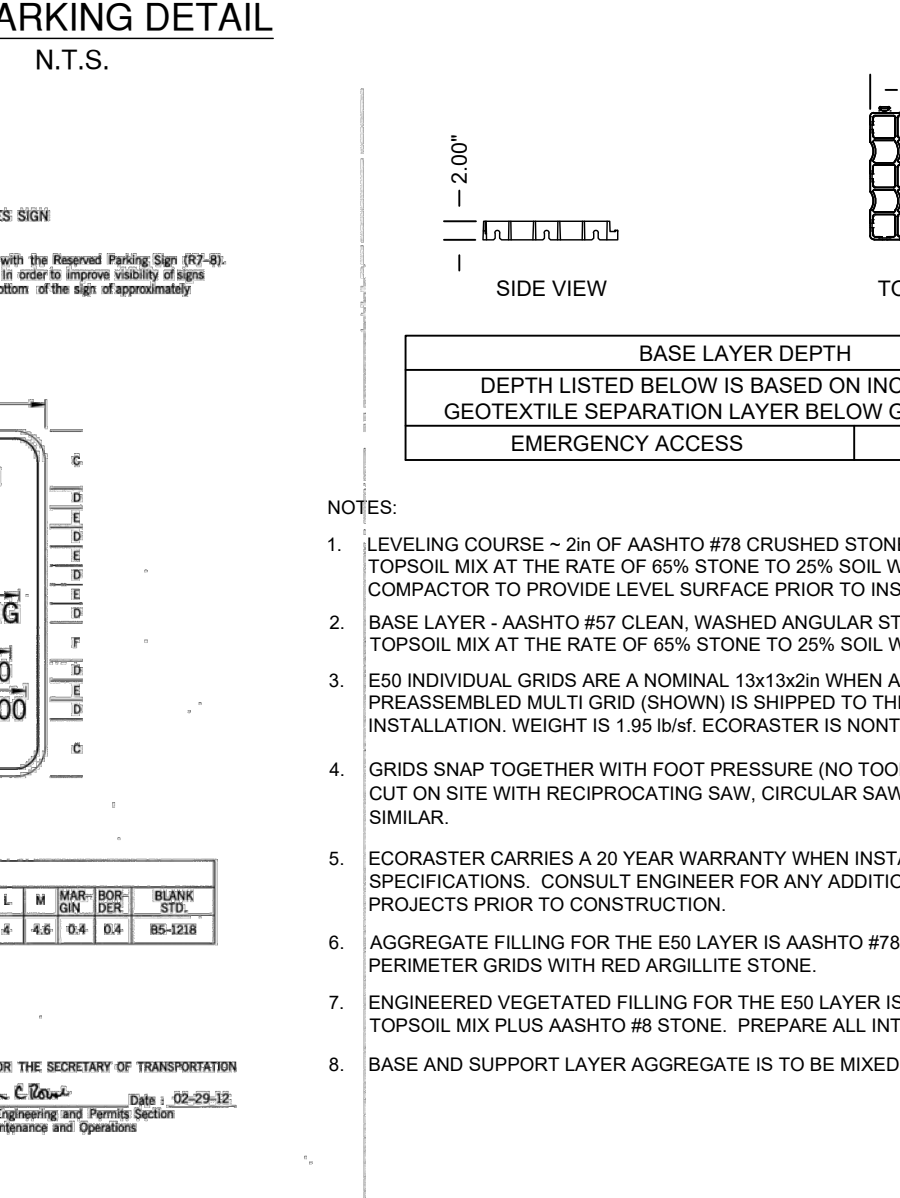
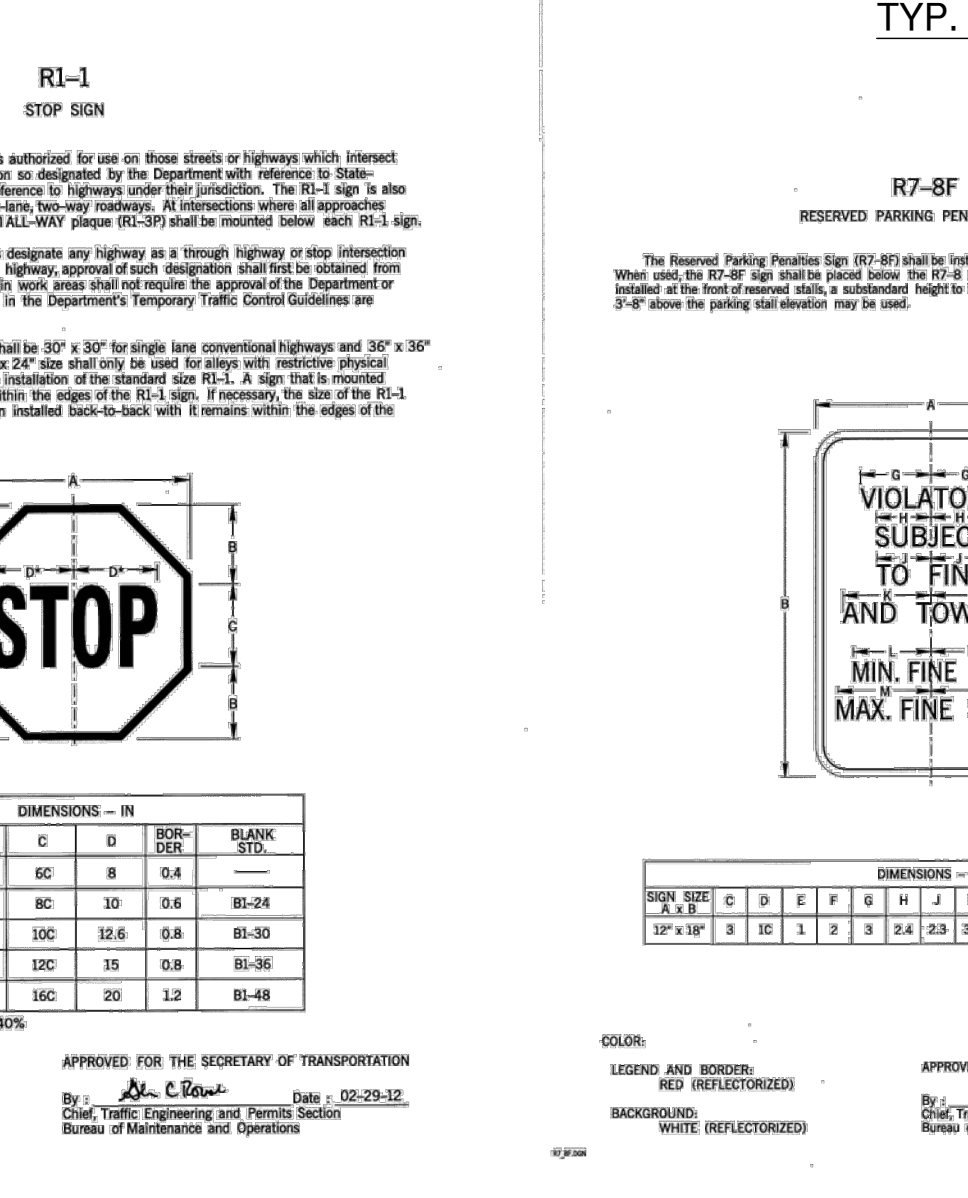
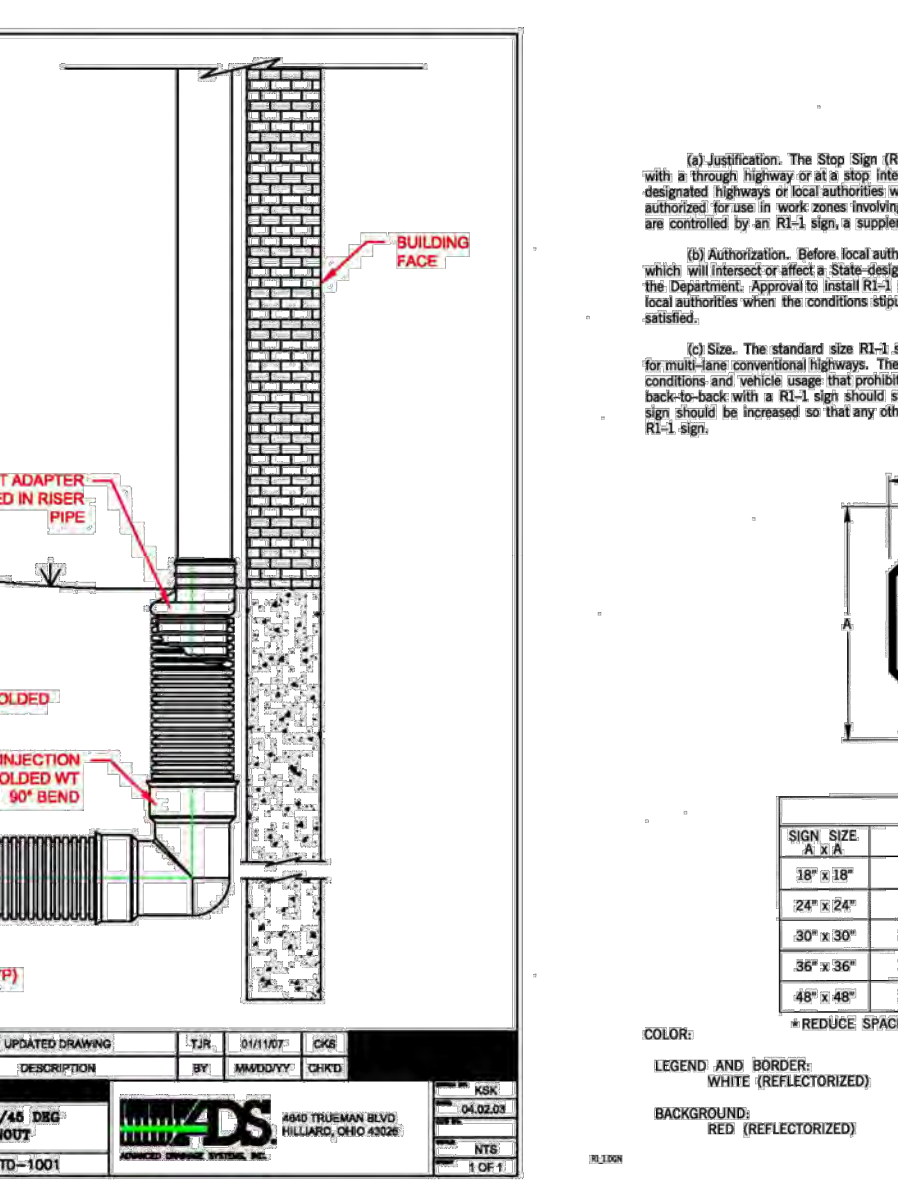
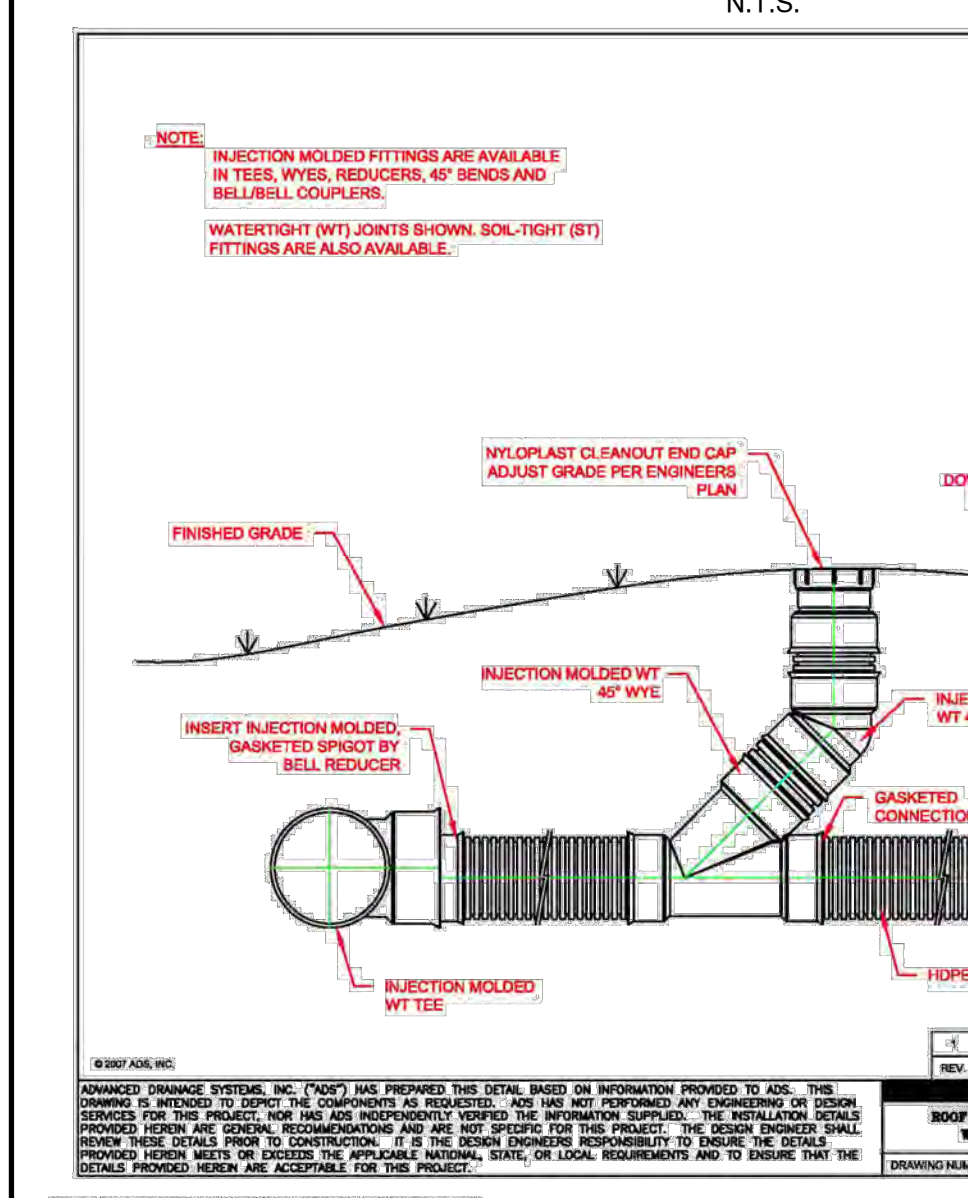
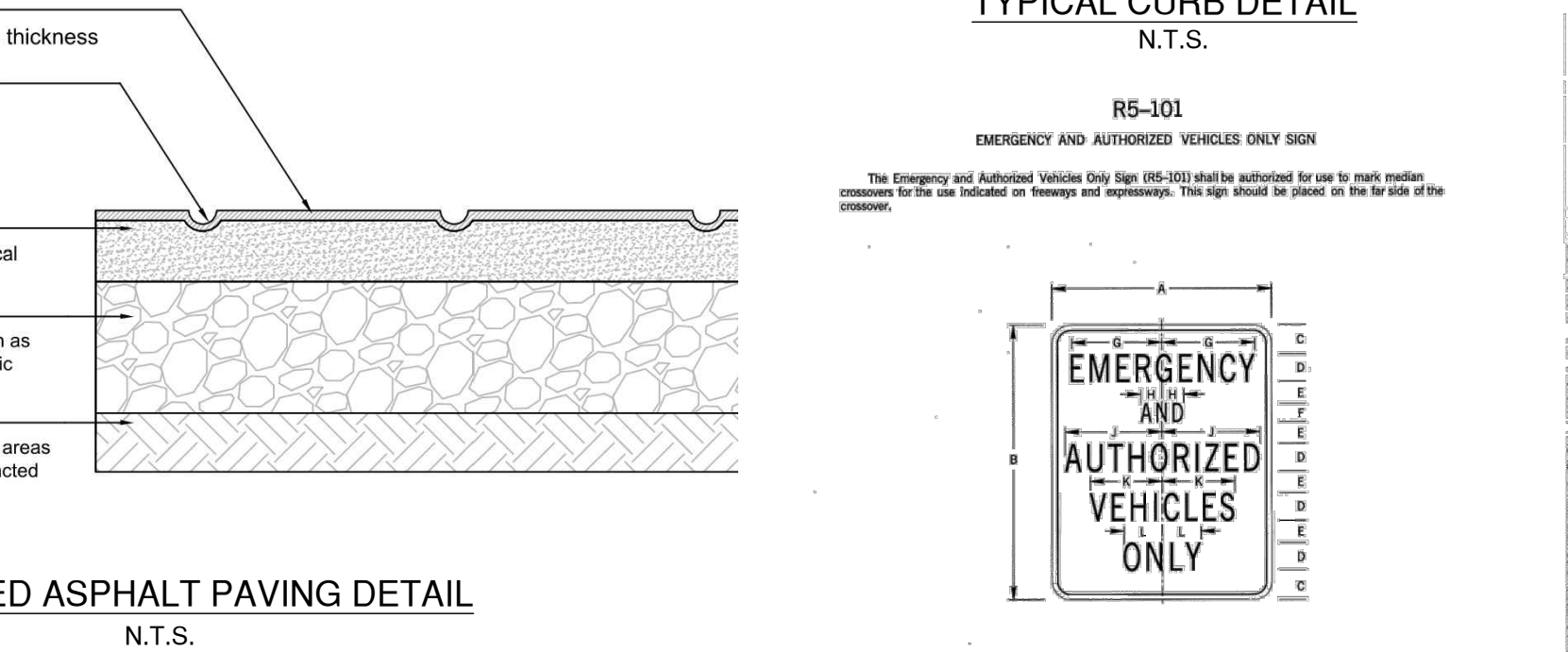
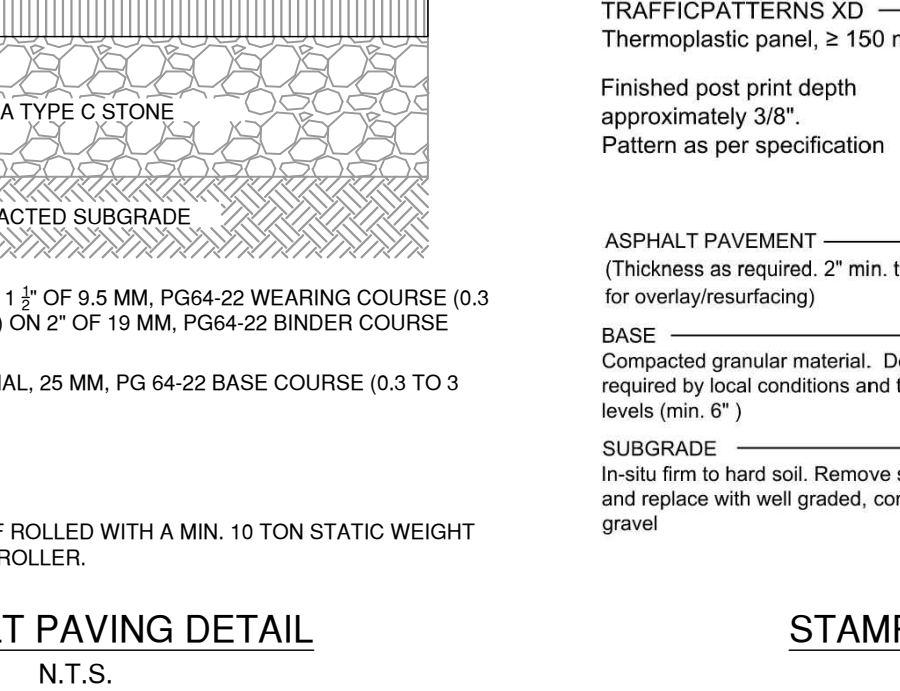
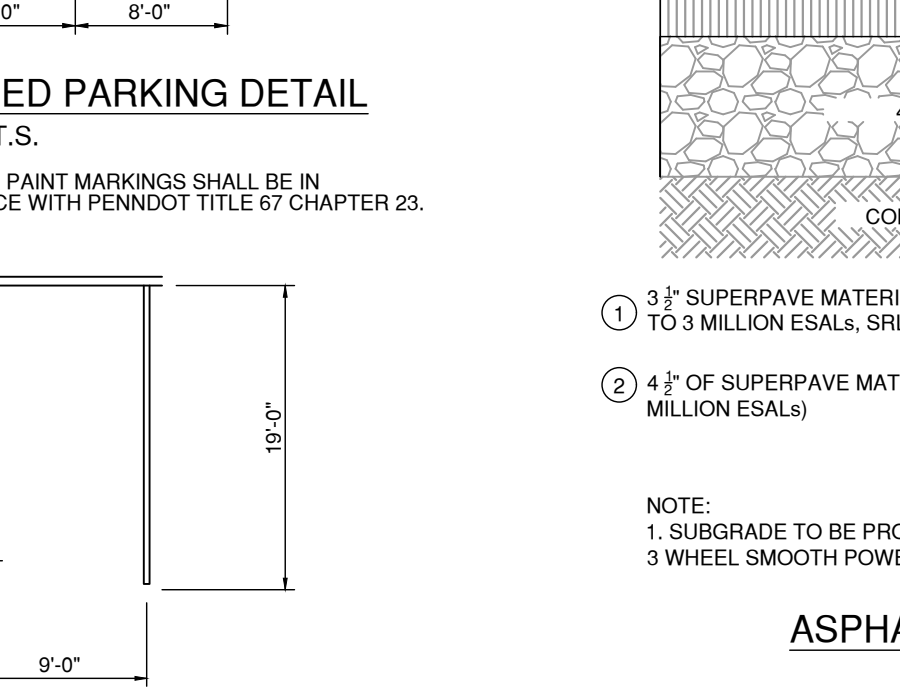
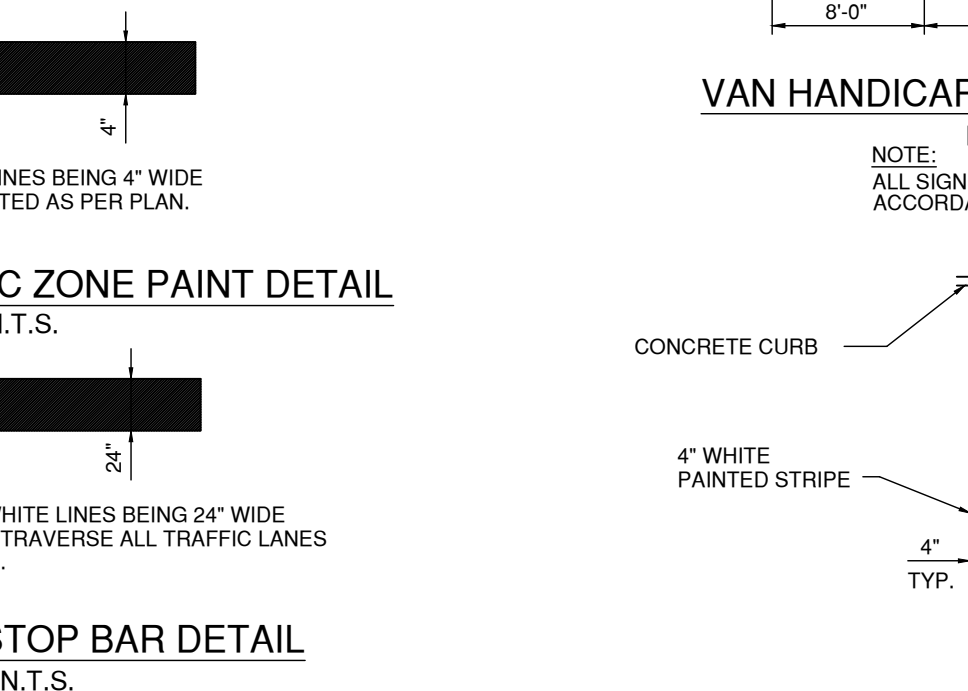
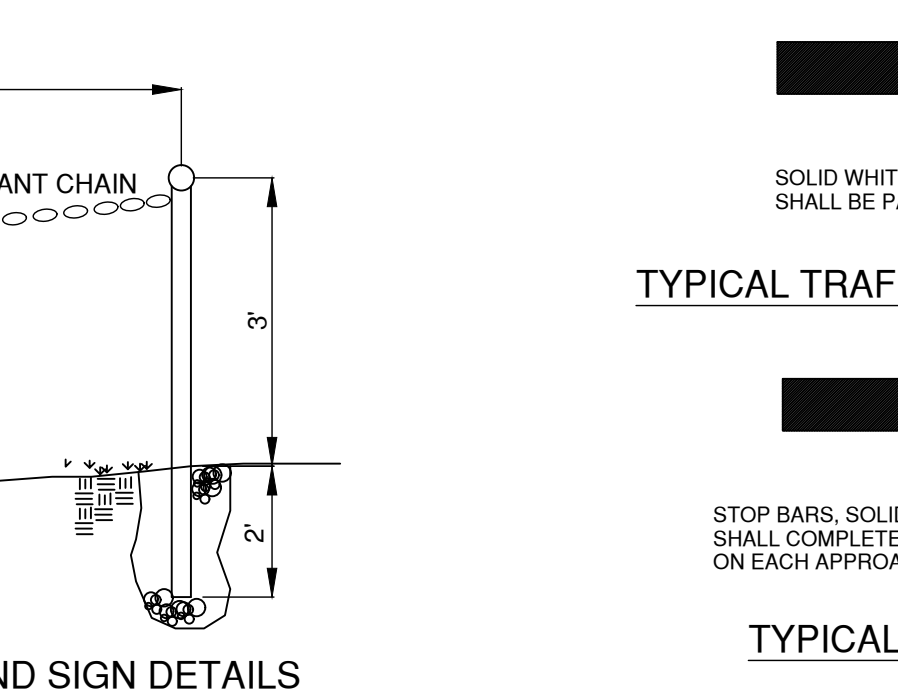
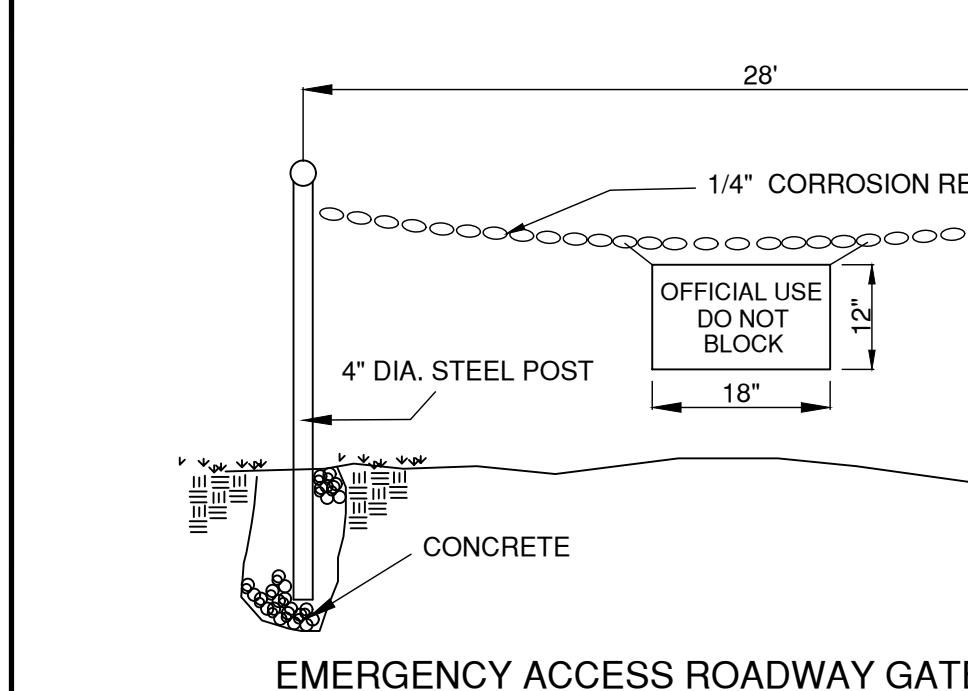
1. CROSSWALK LINES SHALL BE SOLID WHITE LINES, 6 INCHES WIDE, MARKING BOTH EDGES OF THE CROSSWALK AREA.
 2. CROSSWALK LINES SHALL EXTEND FROM FACE OF CURB TO FACE OF CURB OR EDGE OF SHOULDER AS APPLICABLE. CROSSWALK LINES SHALL NOT INTERSECT.
 3. LINES FORMING A CROSSWALK SHALL BE PARALLEL.
 4. THE WIDTH OF CROSSWALK IS 4' UNLESS OTHERWISE SPECIFIED ON PLANS.
 5. WHEN SPECIFIED ON THE PLANS, 24 INCH WIDE CONSECUTIVE WHITE RECTANGLES 5 FT. LONG SHALL BE INSTALLED PARALLEL TO THE DIRECTION OF VEHICULAR TRAVEL. SPACING SHALL BE APPROXIMATELY 4 FT. C-C. THEY SHALL BE LOCATED SO AS TO AVOID NORMAL WHEEL PATHS.

WHEN SPECIFIED ON THE PLANS, 24 INCH WIDE CONSECUTIVE WHITE RECTANGLES 5 FT. LONG SHALL BE INSTALLED PARALLEL TO THE DIRECTION OF VEHICULAR TRAVEL. SPACING SHALL BE APPROXIMATELY 4 FT. C-C. THEY SHALL BE LOCATED SO AS TO AVOID NORMAL WHEEL PATHS.

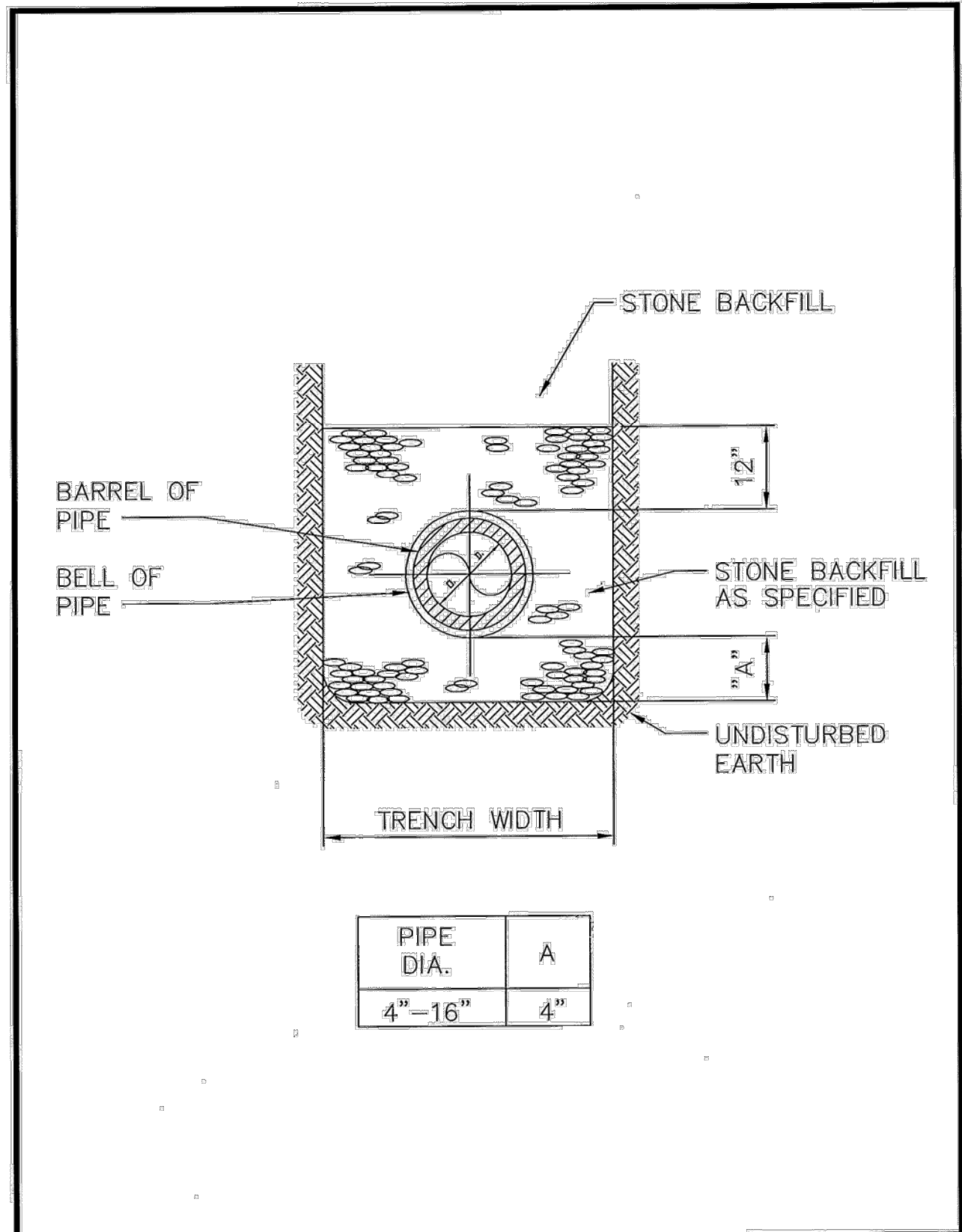
NOTE:
 1. PROVIDE SCORED CONTRACTION JOINT TO FORM SQUARE BLOCKS.
 2. INSTALL PREMOLDED EXPANSION JOINT EVERY FOURTH BLOCK.
 3. CROSS SLOPE SHALL NOT EXCEED 2%.

NOTE:
 1. SUBGRADE TO BE PROOF ROLLED WITH A MIN. 10 TON STATIC WEIGHT 3 WHEEL SMOOTH POWER ROLLER.

NOTE:
 1. SUBGRADE TO BE PROOF ROLLED WITH A MIN. 10 TON STATIC WEIGHT 3 WHEEL SMOOTH POWER ROLLER.

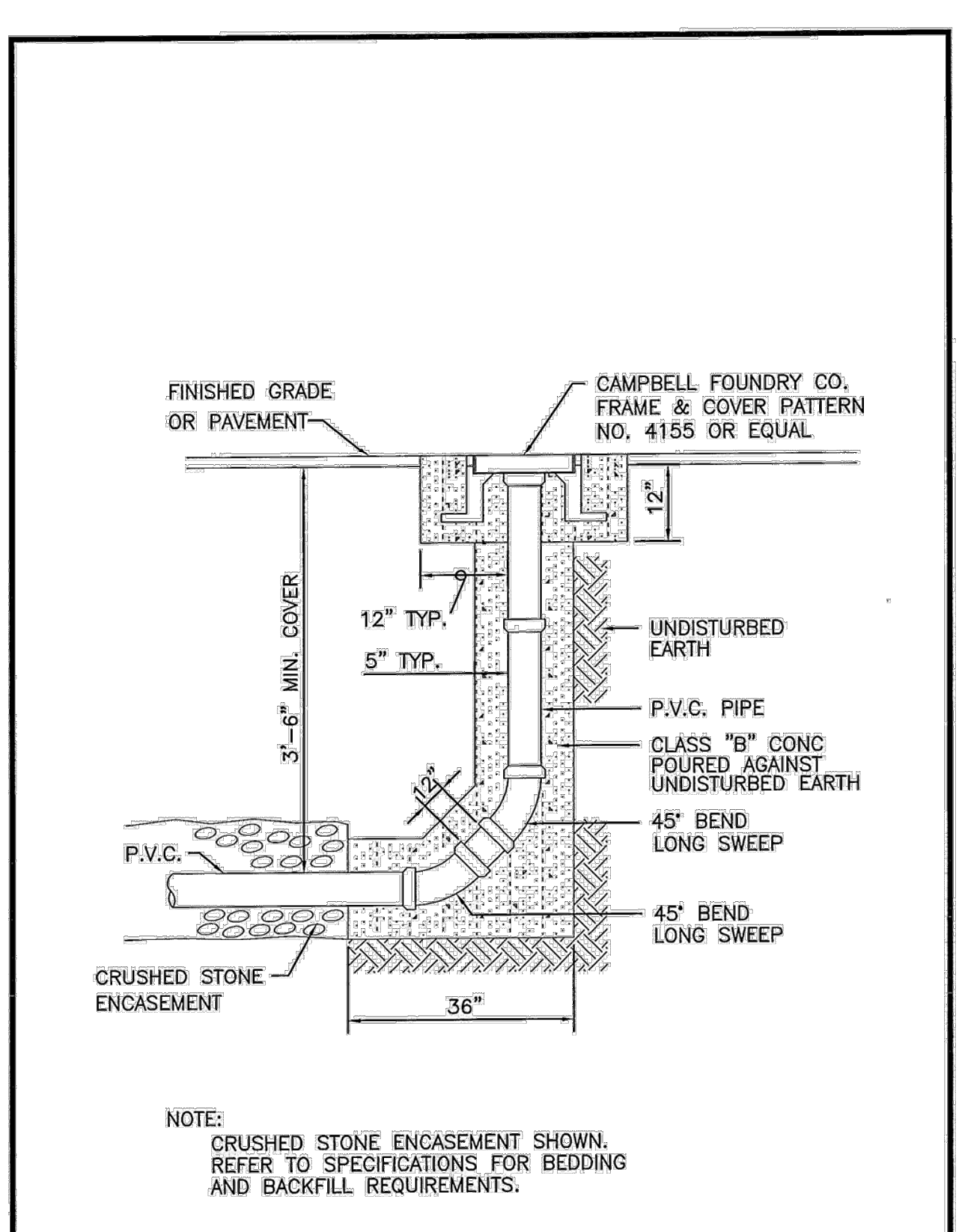


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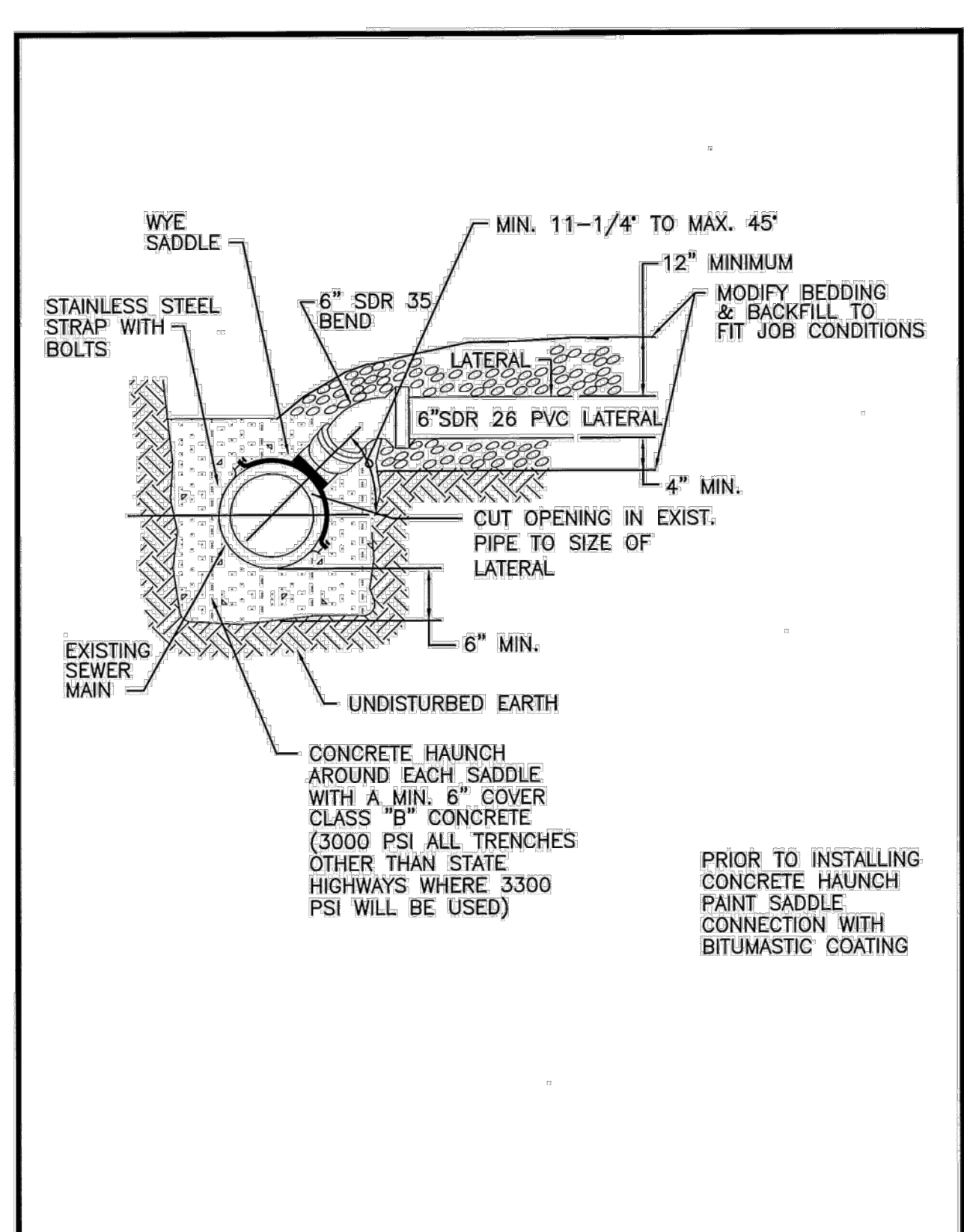
REVISIONS		
JAN. 2, 2001	STONE BACKFILL IN TRAFFIC AREA	DRAWN: SCALE: NONE PLATE NO. S-29A

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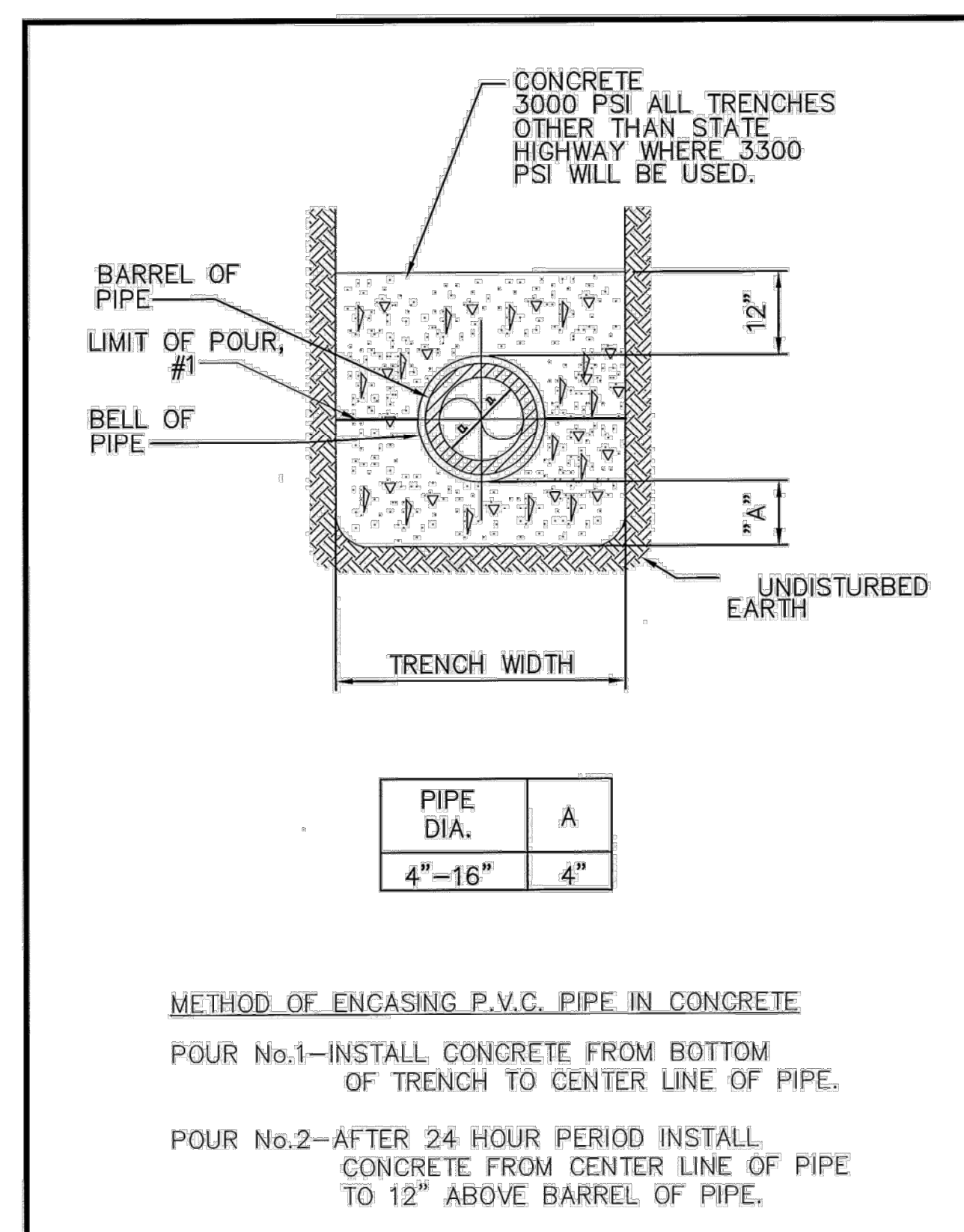
REVISIONS		
JAN. 2, 2001	TYPE 2 CLEANOUT- P.V.C. PIPE	DRAWN: JHD SCALE: NONE PLATE NO. S-7

S:\CADD\er Gwynedd\Detail\plates\Sewer\16 3:51:19 PM, \\plymouth57dc1\BR57_C5501



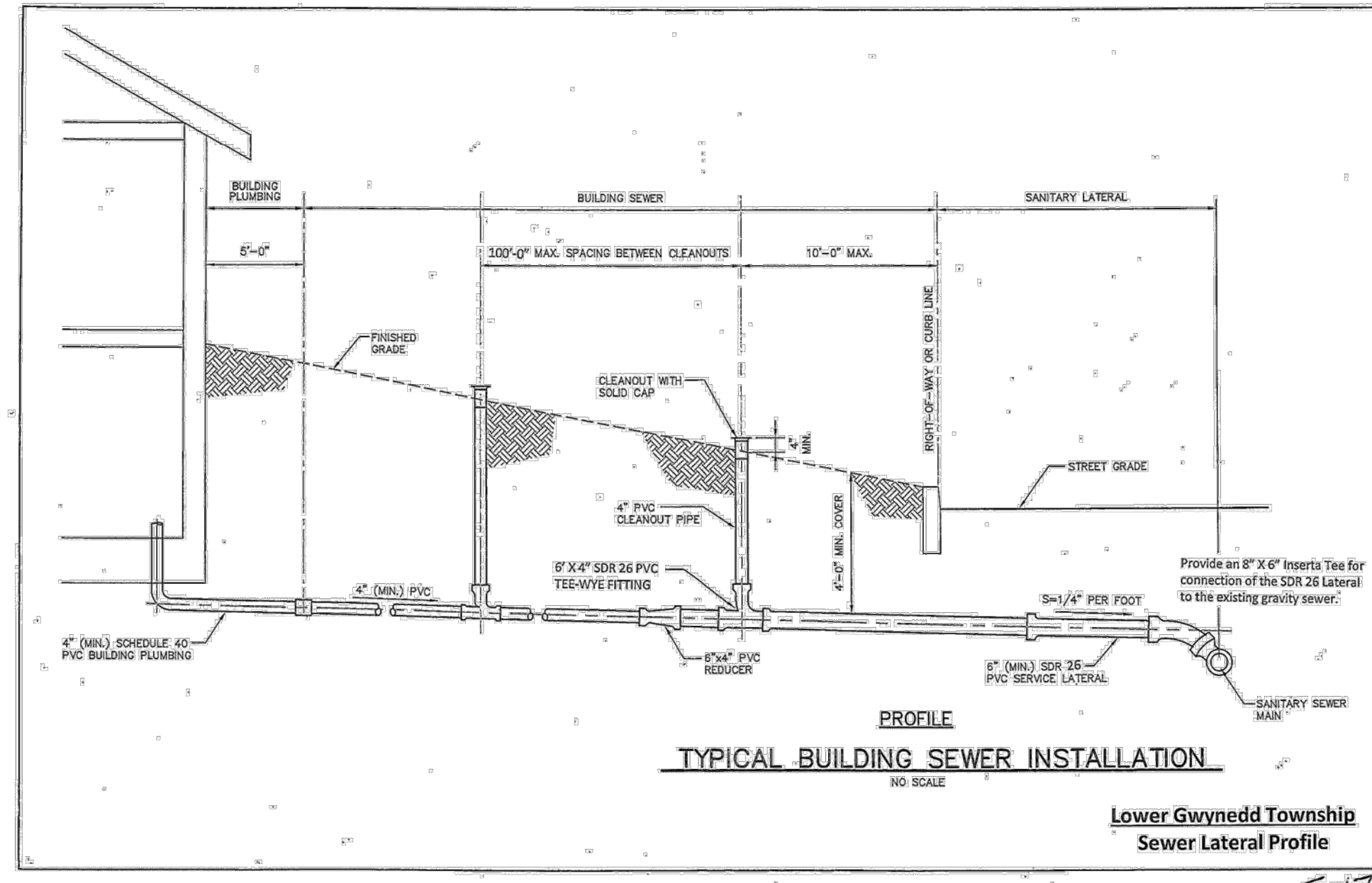
REVISIONS		
JAN. 2, 2001	SADDLE CONNECTION TO EXISTING PIPE	DRAWN: SCALE: NONE PLATE NO. S-22

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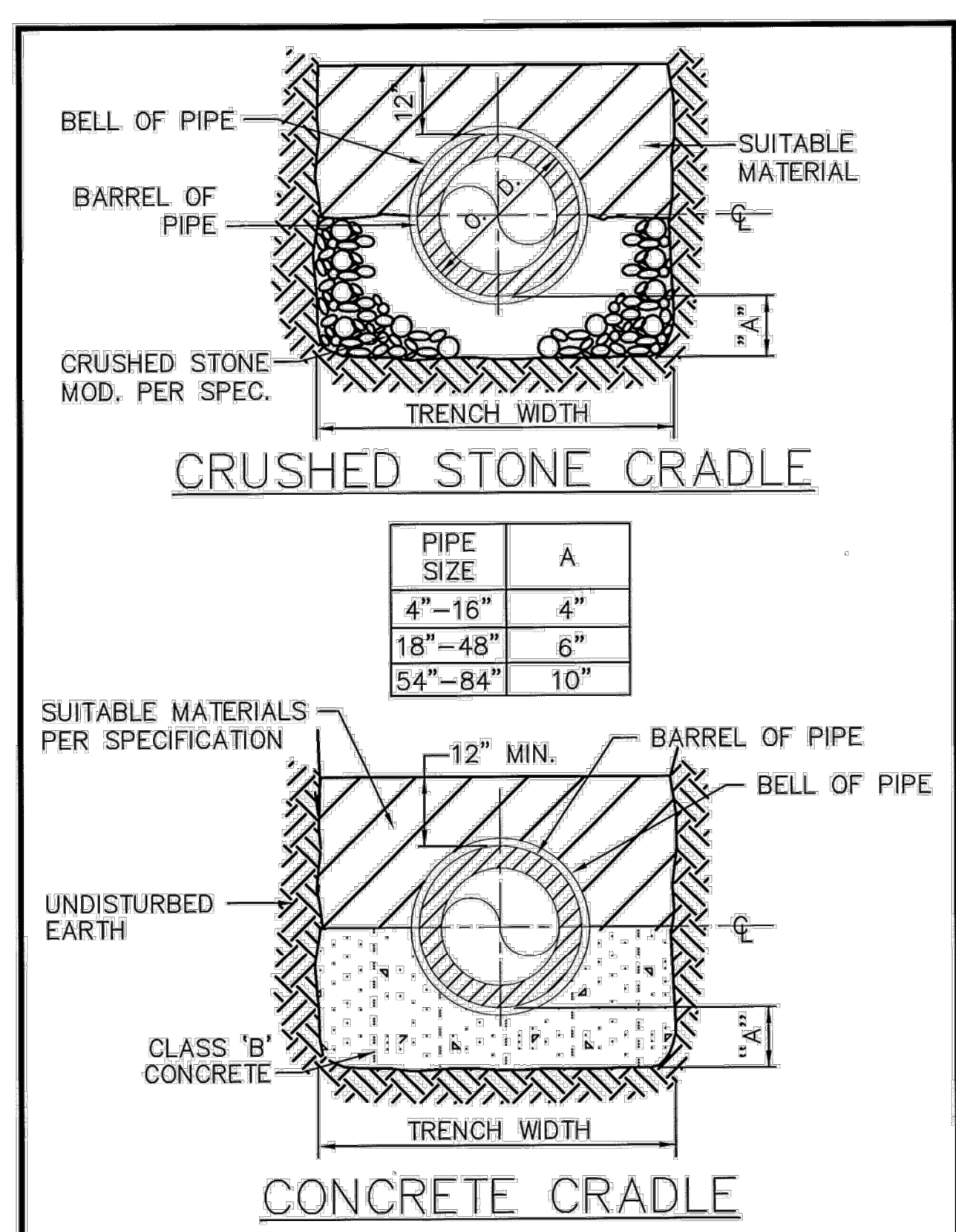
REVISIONS		
JAN. 2, 2001	CONCRETE ENCASUREMENT PVC PIPE	DRAWN: SCALE: NONE PLATE NO. S-31

X:\PROJECTS\237308B Gwynedd Estates Assisted Living\AutoCAD\Drawings\Land Development\033-DETAILS SANITARY.dwg March 27, 2024



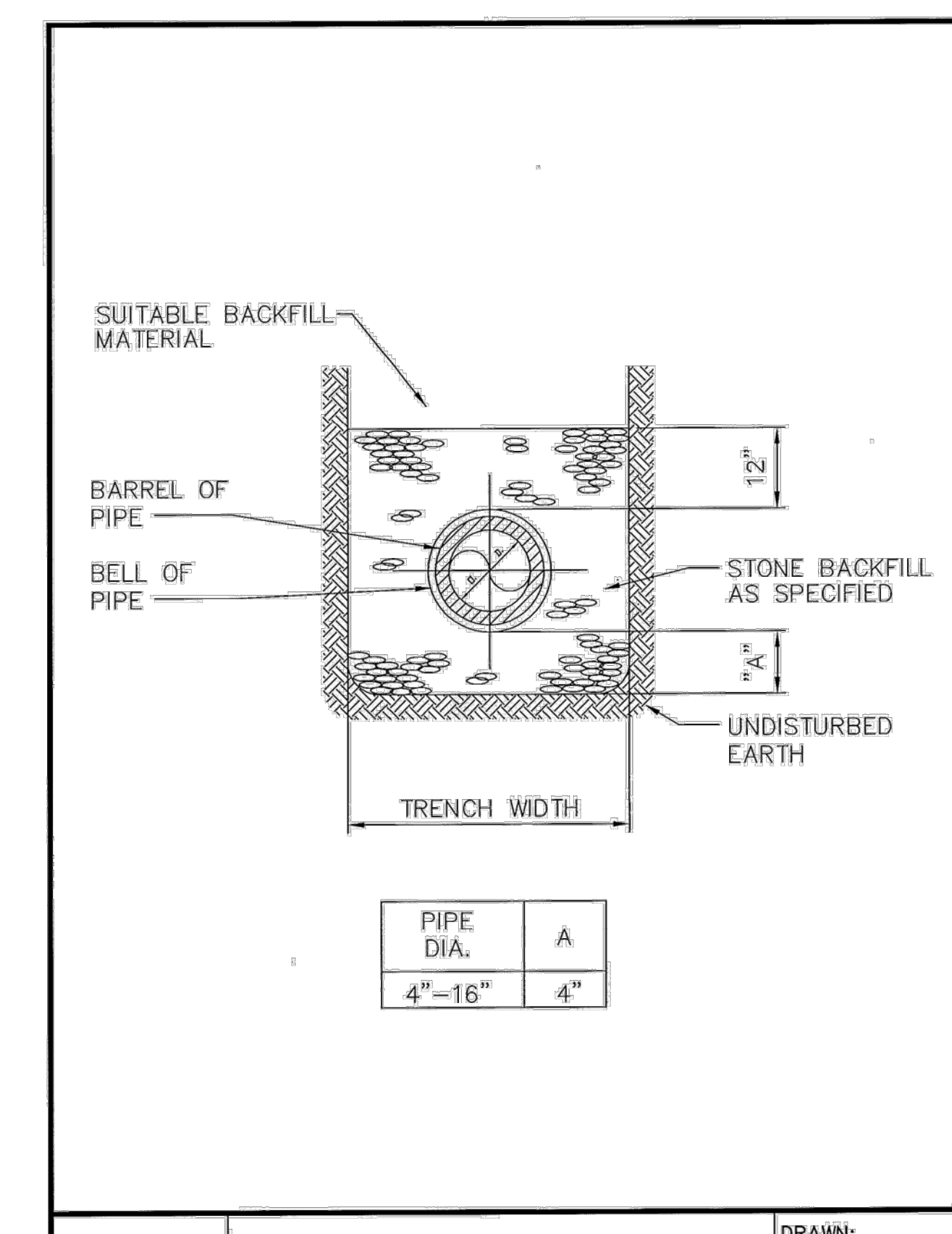
PROFILE
TYPICAL BUILDING SEWER INSTALLATION
NO SCALE
Lower Gwynedd Township
Sewer Lateral Profile

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REVISIONS		
9-29-94	CRUSHED STONE CRADLE AND CONCRETE CRADLE	DRAWN: JES SCALE: NONE PLATE NO. S-32

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REVISIONS		
JAN. 2, 2001	STONE BACKFILL IN NON TRAFFIC AREAS	DRAWN: SCALE: NONE PLATE NO. S-29

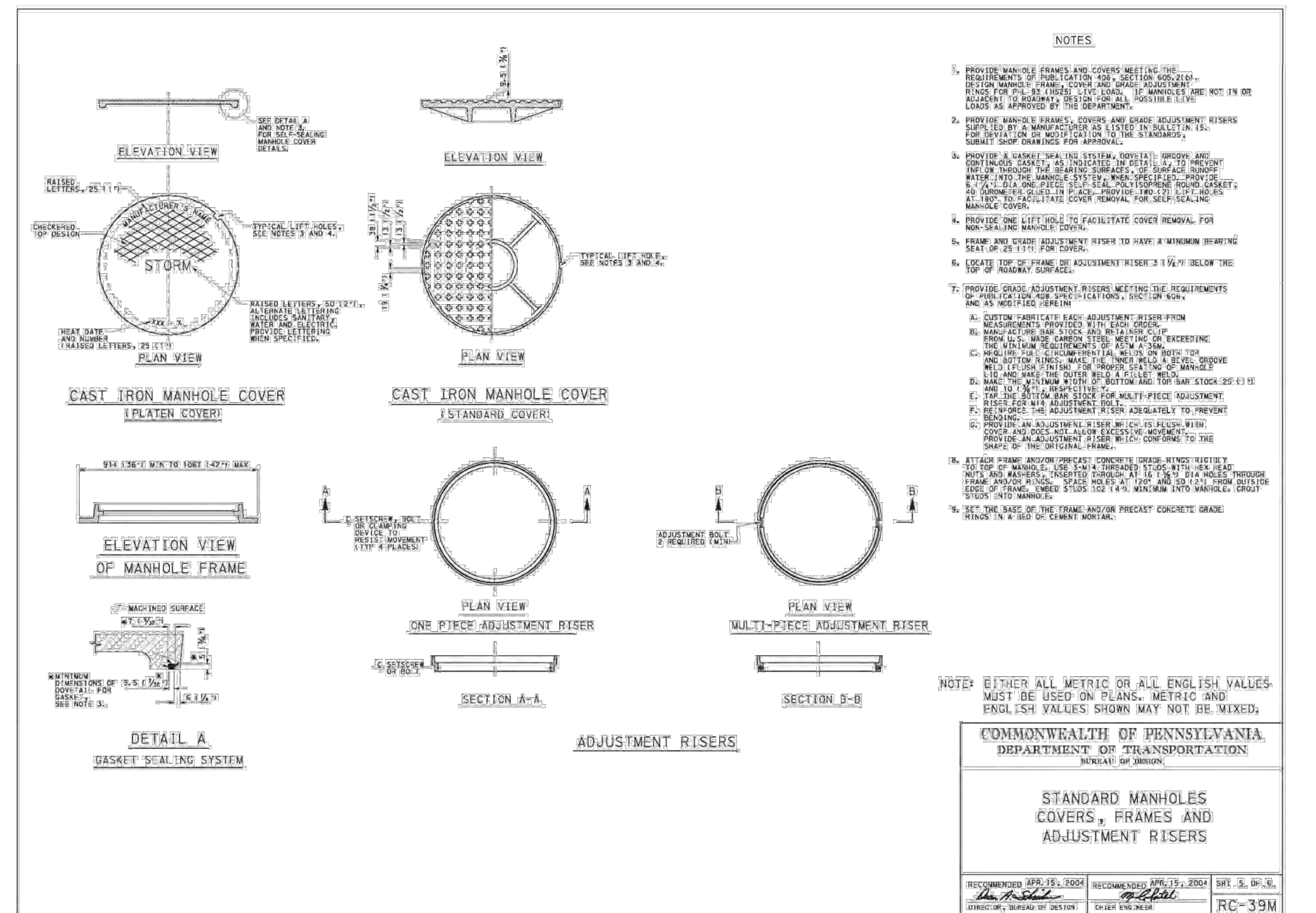
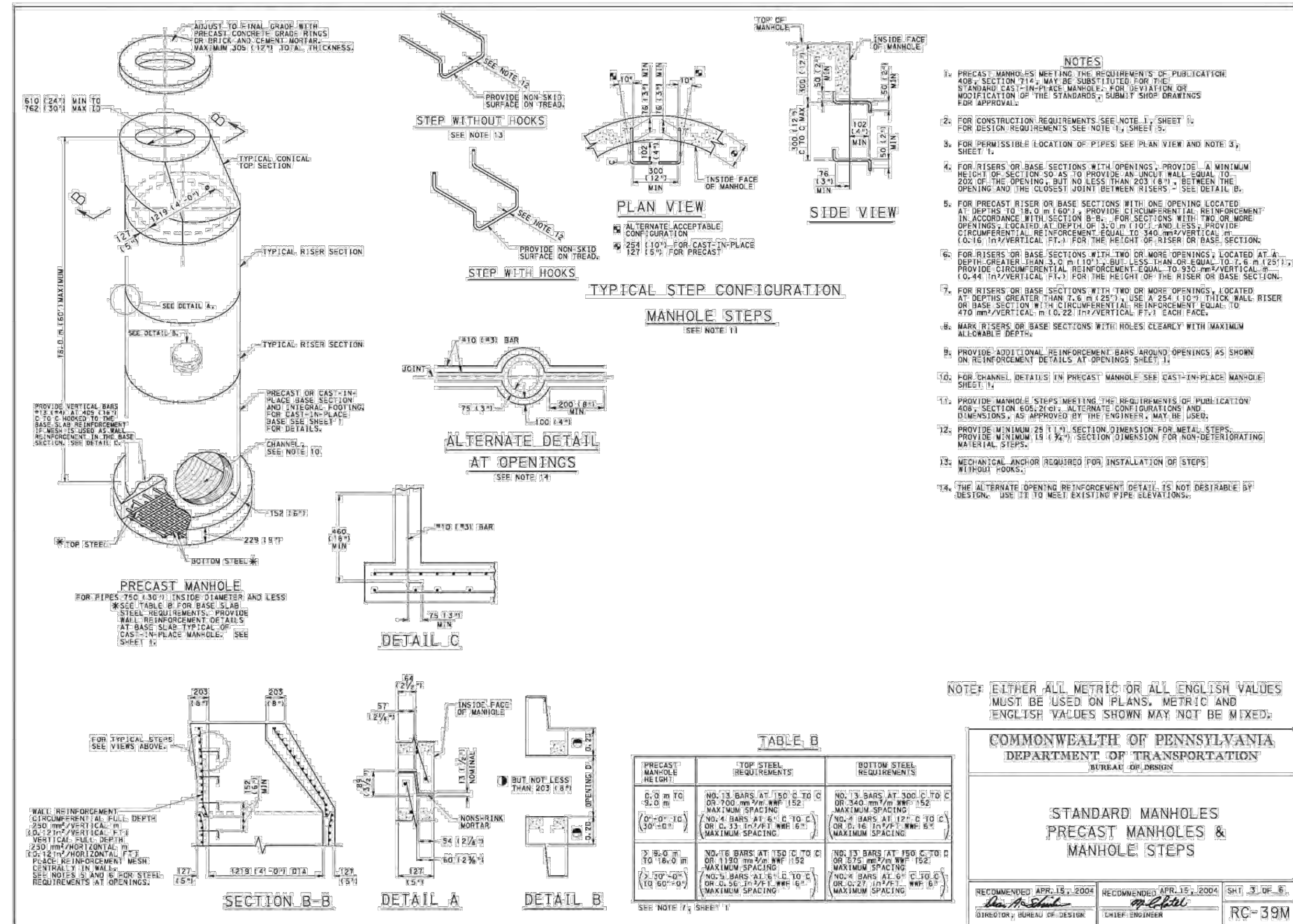
1 10/18/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

SANITARY SEWER DETAILS
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

		DRAWN BY	JAS
		CHECKED BY	MJE
		DATE	6/21/24
		DRAWING No.	D 2373 08B 12

807 Easton Road
 Building B - 2nd Floor
 Willow Grove, PA 19090
 Tel: (215) 348-8757
 Fax: (215) 348-8759
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SANITARY SEWER DETAILS B
ACTS GWYNEDD ESTATES AL

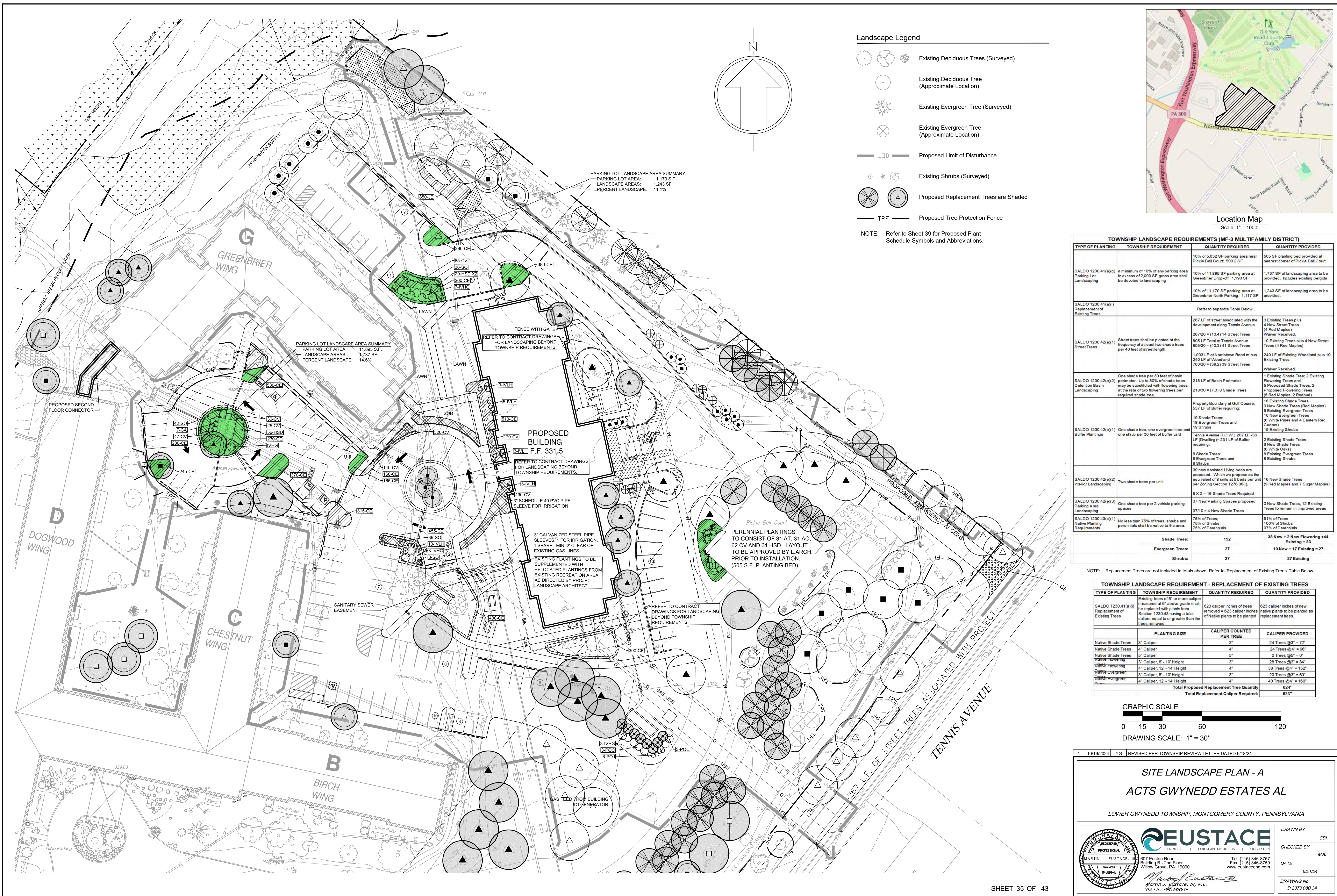
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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MARTIN J. EUSTACE, III
307 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090
Tel: (215) 348-8757
Fax: (215) 348-8759
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PARKING LOT LANDSCAPE AREA SUMMARY
PARKING LOT AREA: 11,170 S.F.
LANDSCAPE AREAS: 1,243 SF
PERCENT LANDSCAPE: 11.1%

PARKING LOT LANDSCAPE AREA SUMMARY
PARKING LOT AREA: 11,895 S.F.
LANDSCAPE AREAS: 1,737 SF
PERCENT LANDSCAPE: 14.6%

3" GALVANIZED STEEL PIPE SLEEVES; 1 FOR IRRIGATION, 1 SPARE. MIN 2' CLEAR OF EXISTING GAS LINES
EXISTING PLANTINGS TO BE SUPPLEMENTED WITH RELOCATED PLANTINGS FROM EXISTING RECREATION AREA. AS DIRECTED BY PROJECT LANDSCAPE ARCHITECT.

PERENNIAL PLANTINGS TO CONSIST OF 31 AT, 31 AQ, 62 CV AND 31 HSD. LAYOUT TO BE APPROVED BY L.A.R.C.H. PRIOR TO INSTALLATION. (505 S.F. PLANTING BED)

Landscape Legend

- Existing Deciduous Trees (Surveyed)
- Existing Deciduous Tree (Approximate Location)
- Existing Evergreen Tree (Surveyed)
- Existing Evergreen Tree (Approximate Location)
- Proposed Limit of Disturbance
- Existing Shrubs (Surveyed)
- Proposed Replacement Trees are Shaded
- Proposed Tree Protection Fence

NOTE: Refer to Sheet 39 for Proposed Plant Schedule Symbols and Abbreviations.



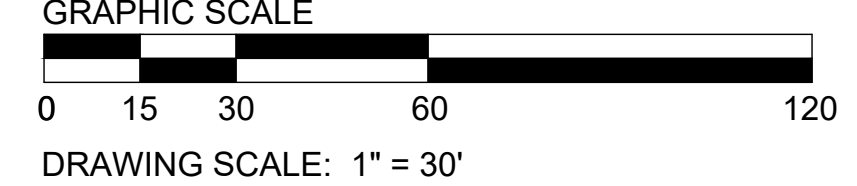
TOWNSHIP LANDSCAPE REQUIREMENTS (MF-3 MULTIFAMILY DISTRICT)

TYPE OF PLANTING	TOWNSHIP REQUIREMENT	QUANTITY REQUIRED	QUANTITY PROVIDED
SALDO 1230.41(a)(i) Parking Lot Landscaping	A minimum of 10% of any parking area in excess of 2,000 SF gross area shall be devoted to landscaping.	10% of 5,032 SF parking area near Pickle Ball Court: 503.2 SF 10% of 11,895 SF parking area at Greenbrier Drop-off: 1,189 SF 10% of 11,170 SF parking area at Greenbrier North Parking: 1,117 SF	606 SF planting bed provided at nearest corner of Pickle Ball Court 1,737 SF of landscaping area to be provided. Includes existing pergola 1,243 SF of landscaping area to be provided.
SALDO 1230.41(a)(ii) Replacement of Existing Trees		Refer to separate Table Below.	
SALDO 1230.42(a)(1) Street Trees	Street trees shall be planted at the frequency of at least two shade trees per 40 feet of street length.	267 LF of street associated with the development along Tennis Avenue. 267/20 = (13.4) 14 Street Trees 608 LF Total at Tennis Avenue 605/20 = (40.3) 41 Street Trees 1,053 LF at Nordstrom Road minus 240 LF of Woodland 763/20 = (38.2) 39 Street Trees	3 Existing Trees plus 4 New Street Trees (4 Red Maples) Waiver Received. 10 Existing Trees plus 4 New Street Trees (4 Red Maples) 240 LF of Existing Woodland plus 10 Existing Trees Waiver Received.
SALDO 1230.42(a)(2) Detention Basin Landscaping	One shade tree per 30 feet of basin perimeter. Up to 50% of shade trees may be substituted with flowering trees at the rate of two flowering trees per required shade tree.	218 LF of Basin Perimeter 218/30 = (7.3) 8 Shade Trees	1 Existing Shade Tree; 2 Existing Flowering Trees and 5 Proposed Shade Trees, 2 Proposed Flowering Trees (5 Red Maples, 2 Redbud)
SALDO 1230.42(a)(3) Buffer Plantings	One shade tree, one evergreen tree and one shrub per 30 feet of buffer yard.	Property Boundary at Golf Course: 557 LF of Buffer requiring: 19 Shade Trees and 19 Shrubs Tennis Avenue R.O.W.: 267 LF - 36 LF (Dwelling) = 231 LF of Buffer requiring: 8 Shade Trees and 8 Evergreen Trees and 8 Shrubs	16 Existing Shade Trees 3 New Shade Trees (Red Maples) 9 Existing Evergreen Trees 10 New Evergreen Trees (6 White Pines and 4 Eastern Red Cedars) 19 Existing Shrubs 2 Existing Shade Trees 6 New Shade Trees (6 White Oaks) 8 Existing Evergreen Trees 8 Existing Shrubs
SALDO 1230.42(a)(4) Interior Landscaping	Two shade trees per unit.	39 New Assisted Living beds are proposed. Which we propose as the equivalent of 6 units at 6 beds per unit per Zoning Section 1276.08(i). 6 X 2 = 18 Shade Trees Required	16 New Shade Trees (9 Red Maples and 7 Sugar Maples)
SALDO 1230.42(a)(5) Parking Area Landscaping	One shade tree per 2 vehicle parking spaces.	37 New Parking Spaces proposed 37/10 = 4 New Shade Trees	0 New Shade Trees, 12 Existing Trees to remain in improved areas
SALDO 1230.43(b)(1) Native Planting Requirements	No less than 75% of trees, shrubs and perennials shall be native to the area.	75% of Trees; 75% of Shrubs; 75% of Perennials	81% of Trees 100% of Shrubs 97% of Perennials
		Shade Trees: 152 Evergreen Trees: 27 Shrubs: 27	38 New + 2 New Flowering + 44 Existing = 83 10 New + 17 Existing = 27 27 Existing

NOTE: Replacement Trees are not included in totals above. Refer to 'Replacement of Existing Trees' Table Below.

TOWNSHIP LANDSCAPE REQUIREMENT - REPLACEMENT OF EXISTING TREES

TYPE OF PLANTING	TOWNSHIP REQUIREMENT	QUANTITY REQUIRED	QUANTITY PROVIDED
SALDO 1230.41(a)(ii) Replacement of Existing Trees	Existing trees of 6" or more caliper measured at 6" above grade shall be replaced with plants from Section 1230.43 having a total caliper equal to or greater than the trees removed.	623 caliper inches of trees removed = 623 caliper inches of Native plants to be planted	623 caliper inches of new native plants to be planted as replacement trees.
Native Shade Trees	3" Caliper	3	24 Trees @ 3" = 72"
Native Shade Trees	4" Caliper	4	24 Trees @ 4" = 96"
Native Shade Trees	5" Caliper	5	0 Trees @ 5" = 0"
Native Flowering	3" Caliper, 8' - 10' Height	3	28 Trees @ 3" = 84"
Native Flowering	4" Caliper, 12' - 14' Height	4	38 Trees @ 4" = 152"
Native Evergreen	3" Caliper, 8' - 10' Height	3	20 Trees @ 3" = 60"
Native Evergreen	4" Caliper, 12' - 14' Height	4	40 Trees @ 4" = 160"
		Total Proposed Replacement Tree Quantity: 624	624
		Total Replacement Caliper Required:	623"



1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

SITE LANDSCAPE PLAN - A
ACTS GWYNEDD ESTATES AL
LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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MARTIN J. EUUSTACE, III, P.E.
307 Easton Road
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Willow Grove, PA 19090
Tel: (215) 346-8757
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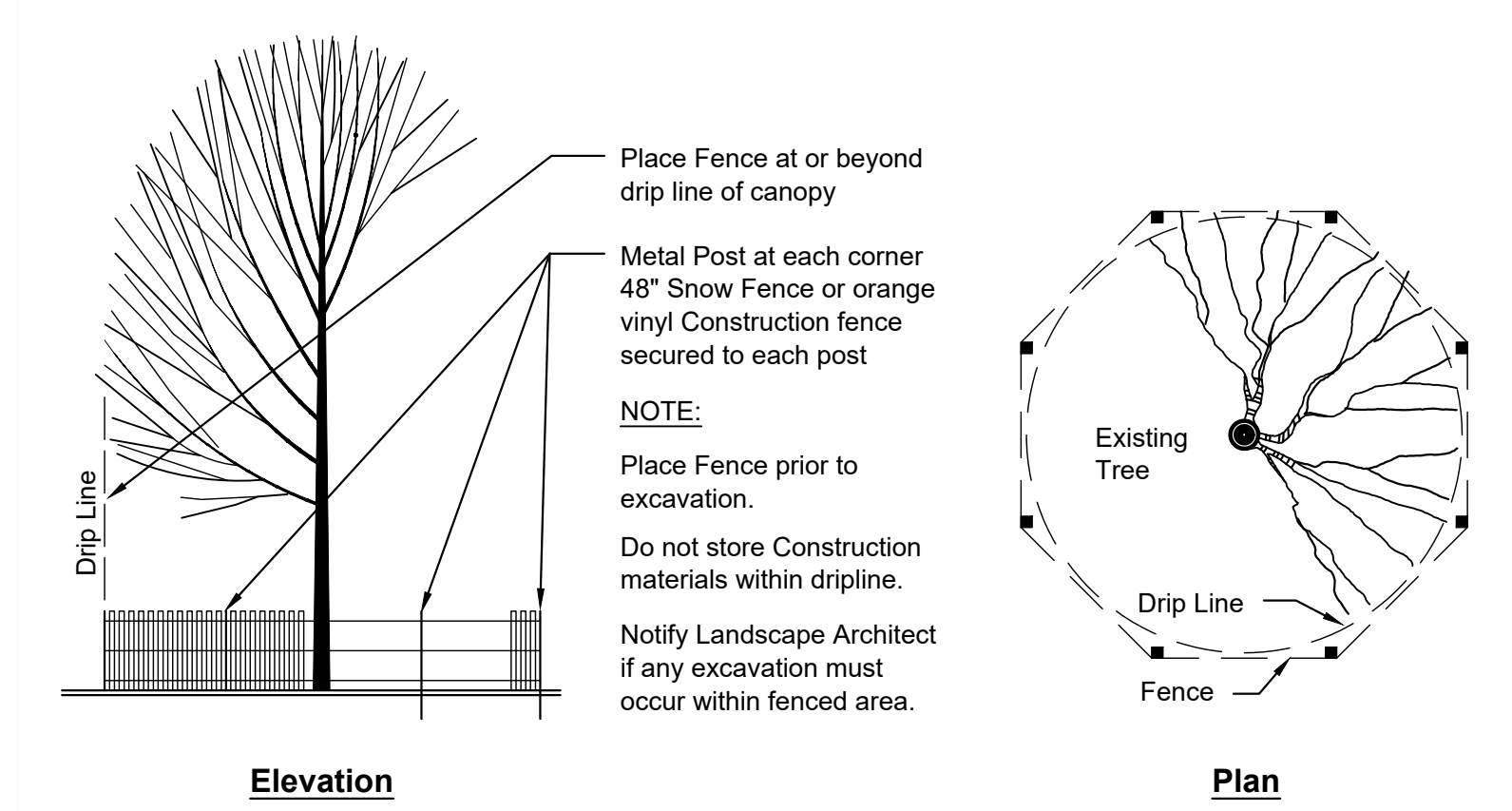
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CHECKED BY: MJE
DATE: 6/21/24
DRAWING No.: D 2373 08B 34

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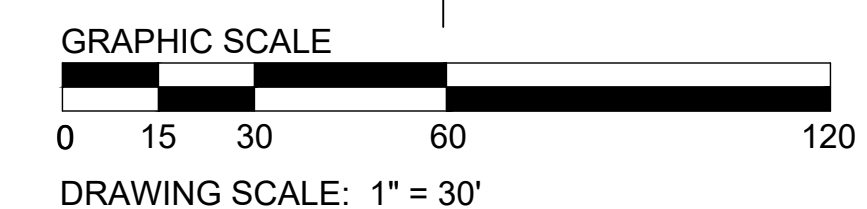
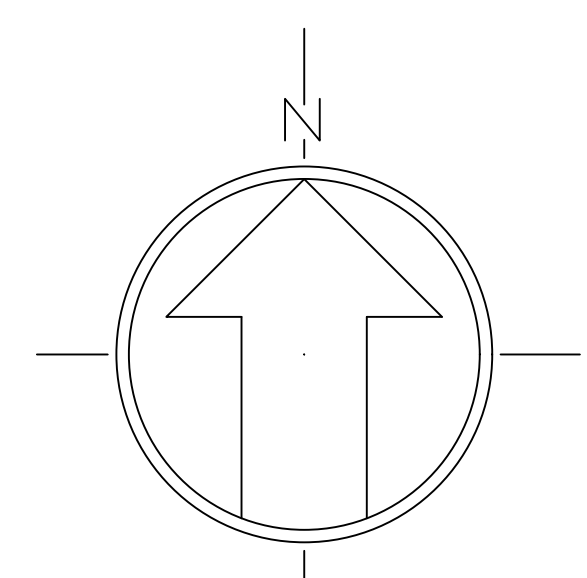


Tree Removals Legend

- Existing Tree to Remain (Refer to Existing Tree Table)
- Existing Tree to be Removed (Refer to Existing Tree Table)
- Existing Deciduous Trees (Surveyed)
- Existing Deciduous Tree (Approximate Location)
- Existing Evergreen Tree (Surveyed)
- Existing Evergreen Tree (Approximate Location)
- Existing Trees to be Removed
- Proposed Limit of Disturbance
- Existing Shrubs (Surveyed)
- Proposed Tree Protection Fence

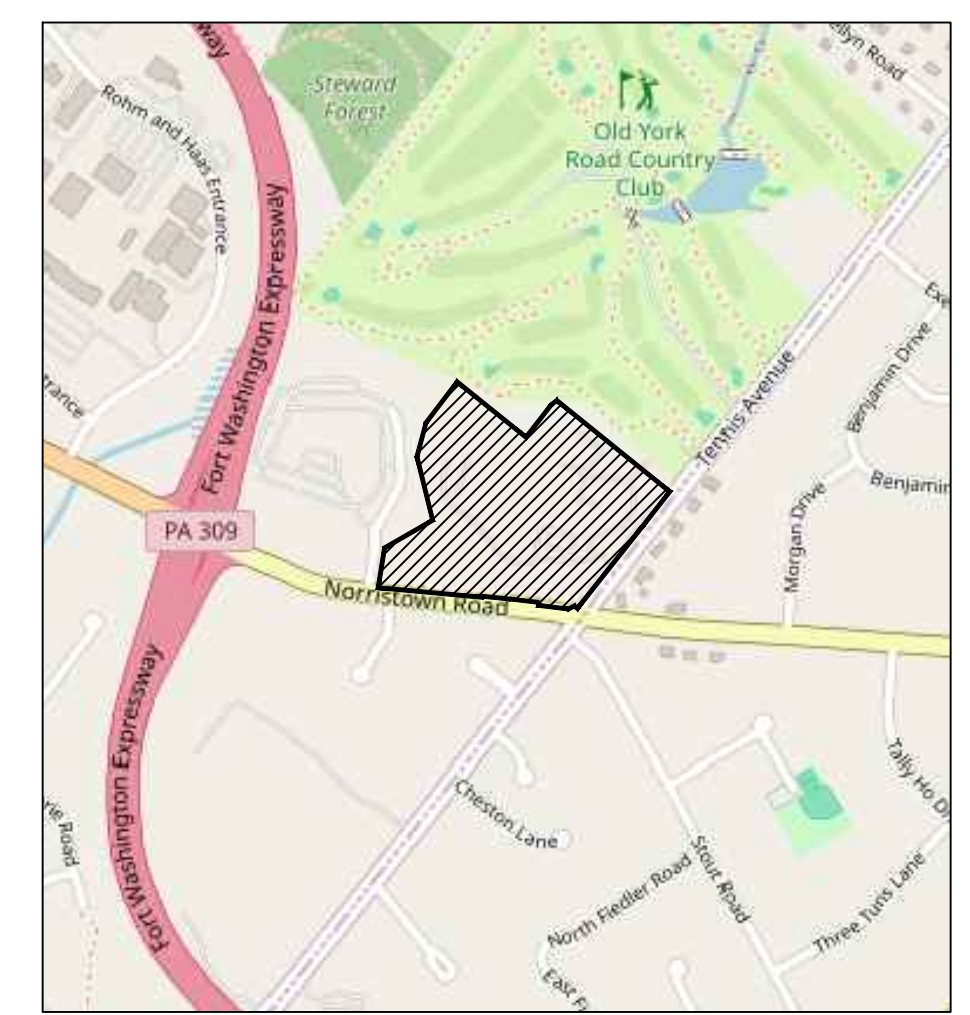


Tree Protection Fencing
Not to Scale



<p>1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24</p> <p>TREE REMOVALS PLAN - B</p> <p>ACTS GWYNEDD ESTATES AL</p> <p>LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA</p>	
<p>MARTIN J. EUSTACE, III 307 Easton Road Building B - 2nd Floor Willow Grove, PA 19090 Tel: (215) 346-8757 Fax: (215) 346-8759 www.eustaceeng.com</p>	
<p><i>Martin J. Eustace, III</i> Martin J. Eustace, III, P.E. PA Lic. PE048891E</p>	<p>DRAWN BY: CBI CHECKED BY: MJE DATE: 6/21/24 DRAWING No.: D 2373 08B 41</p>

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Location Map
Scale: 1" = 1000'

RECREATION AREA DETAIL PLAN
SCALE: 1" = 30'

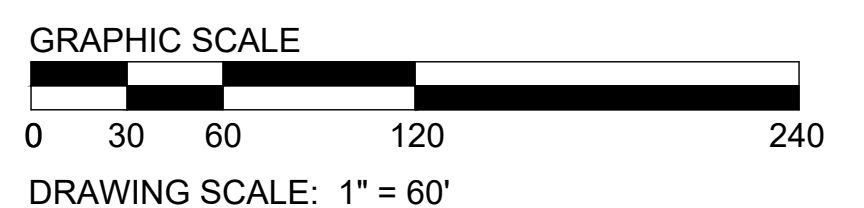
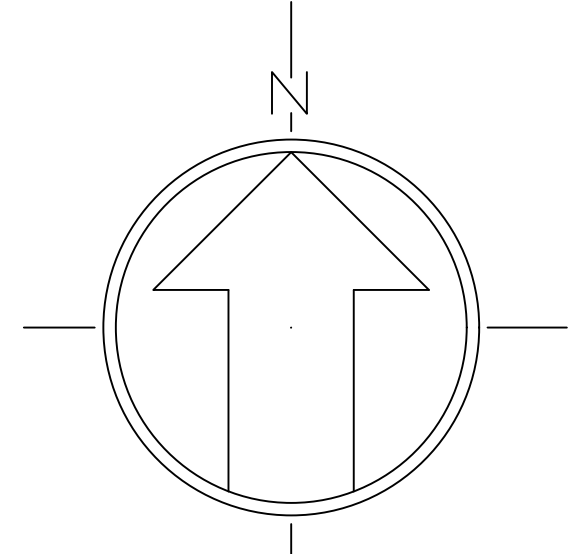
REFER TO SHEET 32, 'SITE LANDSCAPE PLAN', FOR ADDITIONAL DETAIL WITHIN DISTURBED SITE AREA

REFER TO 'RECREATION AREA DETAIL PLAN' FOR LANDSCAPE BEDS WITHIN DISTURBED SITE AREA

Landscape Legend

- Existing Deciduous Trees (Surveyed)
- Existing Deciduous Tree (Approximate Location)
- Existing Evergreen Tree (Surveyed)
- Existing Evergreen Tree (Approximate Location)
- Proposed Limit of Disturbance
- Existing Shrubs (Surveyed)
- Proposed Replacement Trees are Shaded
- Proposed Tree Protection Fence

NOTE: Refer to Sheet 39 for Proposed Plant Schedule Symbols and Abbreviations.



1 | 10/16/2024 | YG | REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

OVERALL LANDSCAPE PLAN
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

MARTIN J. EUSTACE, III
PROFESSIONAL ENGINEER
048991-E

EUSTACE
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

307 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090
Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

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DATE: 6/21/24
DRAWING No.: D 2373 08B 42

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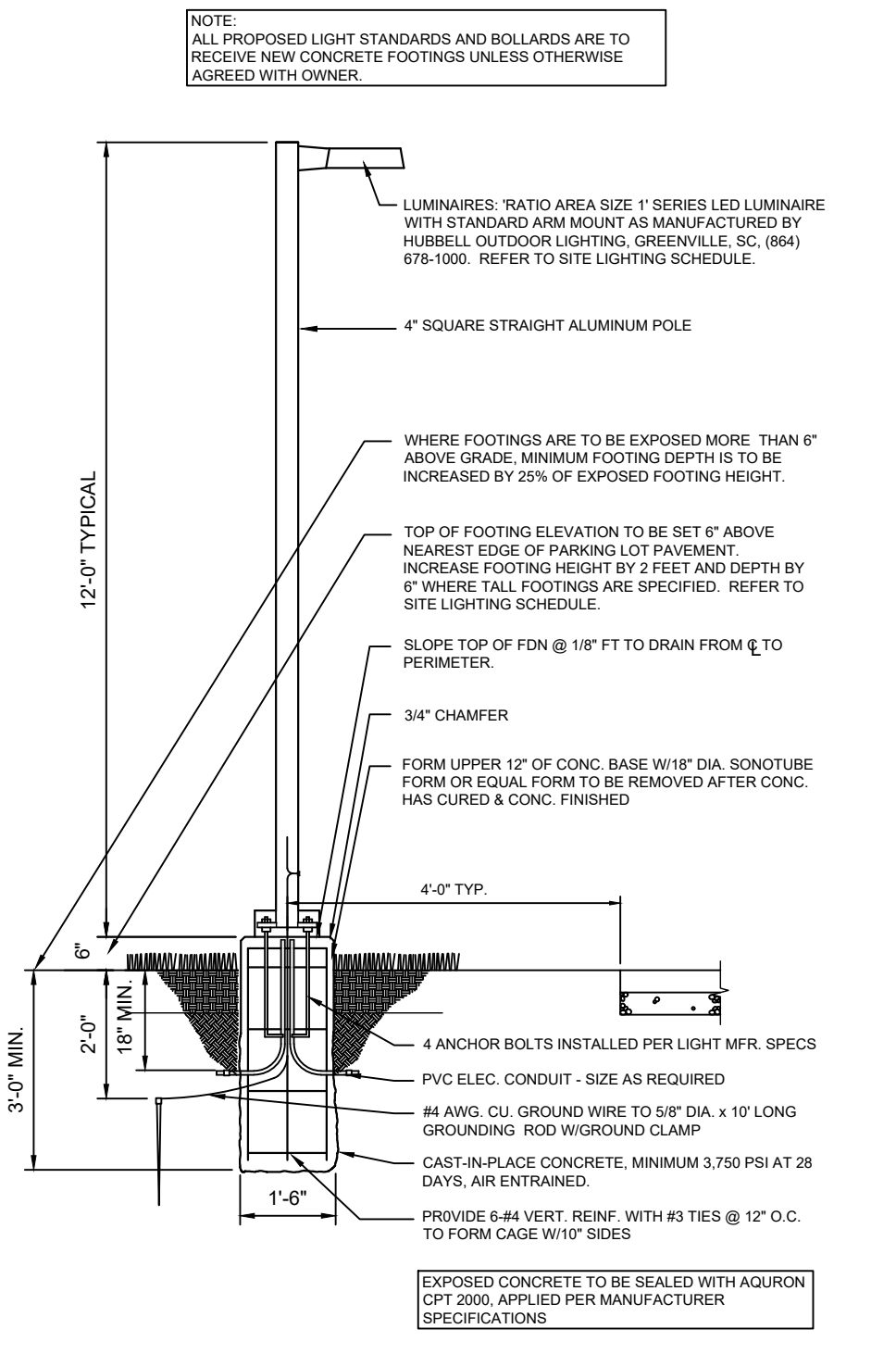
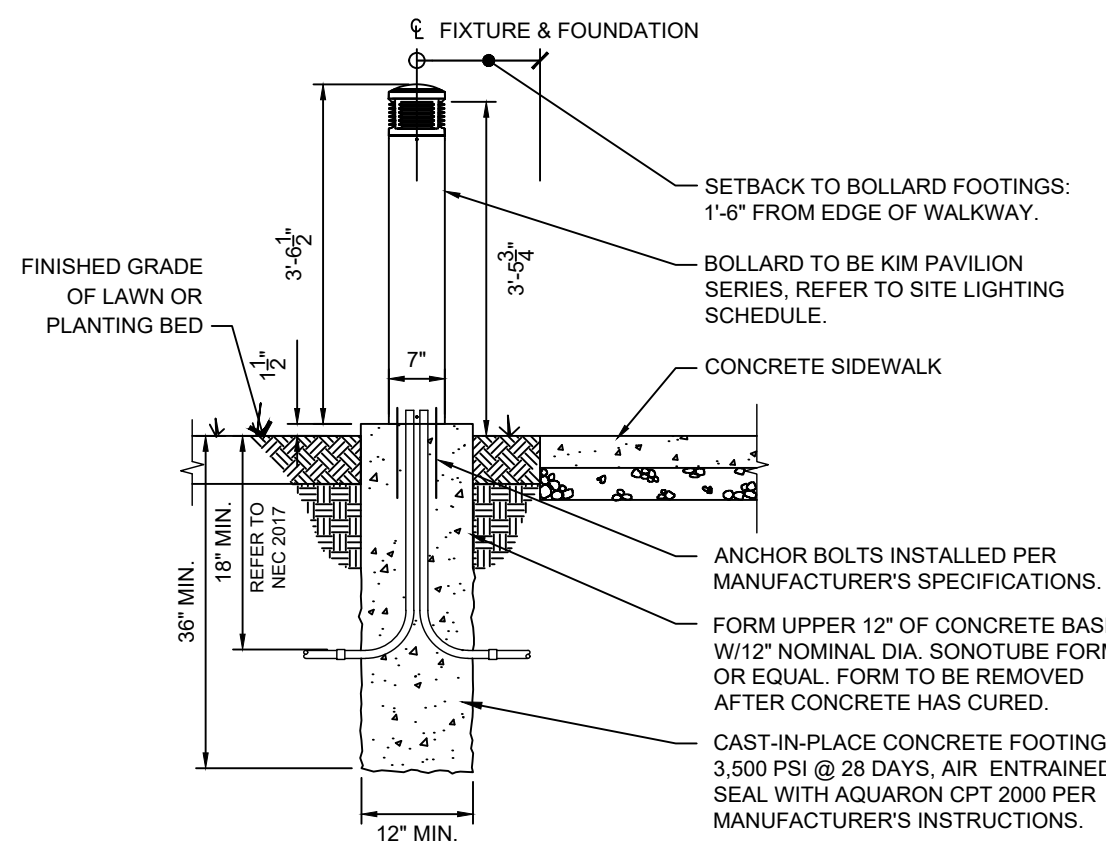
- Lighting Notes:**
- Some new light standards are to be connected to existing wiring at existing pole locations. All new light standards are to receive new concrete footings unless otherwise directed by Owner.
 - New light standards and bollards are to be controlled by existing centralized photocell controls. Photocell controls to prevent fixtures from operating during daylight hours. Fixtures to turn on at dusk and off at dawn.
 - All poles are to be set plumb.
 - Post approval alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the Township for review and approval prior to installation.
 - The Township reserves the right to conduct post installation nighttime inspections to verify compliance with the commitments made on the approved lighting plan. If appropriate, to require remedial action at no expense to the Township.

NOTES:

WEATHER PROTECTION FOR FOOTINGS SHALL BE USED IN ACCORDANCE WITH PENNDOT PUBLICATION 408, CURRENT EDITION.

PENETRATING SEALER IS TO BE APPLIED TO EXPOSED (ABOVE GROUND) PORTION OF THE POLE BASE. PENETRATING SEALER IS TO BE AQUORON CPT 2000, OR APPROVED EQUAL.

NOTE: FINAL LOCATION OF BOLLARDS TO BE VERIFIED IN FIELD.



2 Light Bollard Detail
Scale: 1/2" = 1'-0"

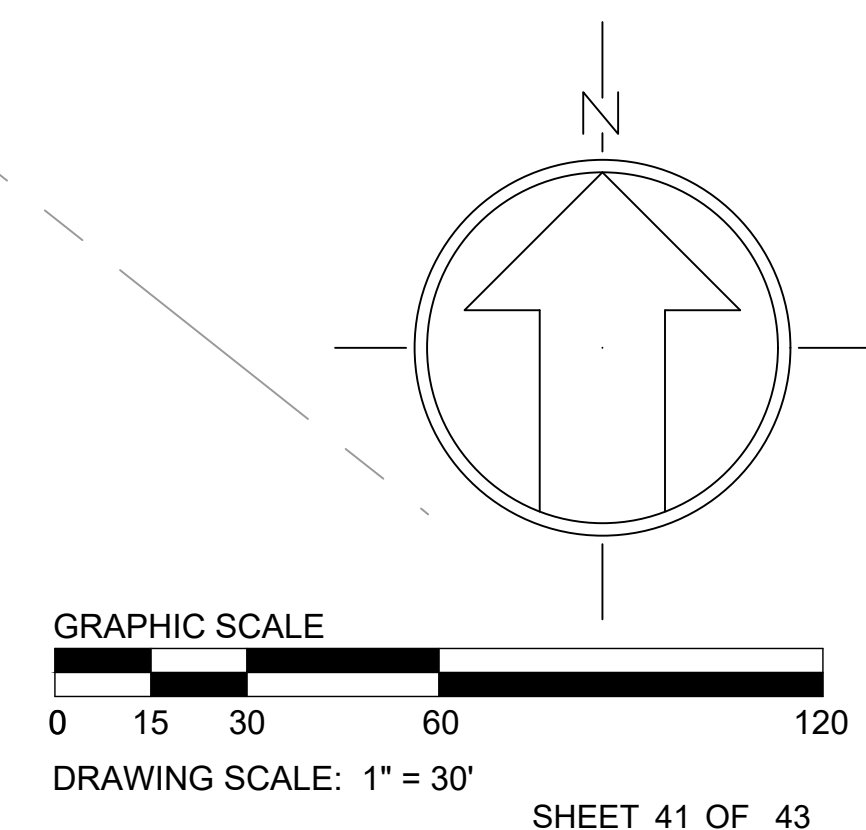
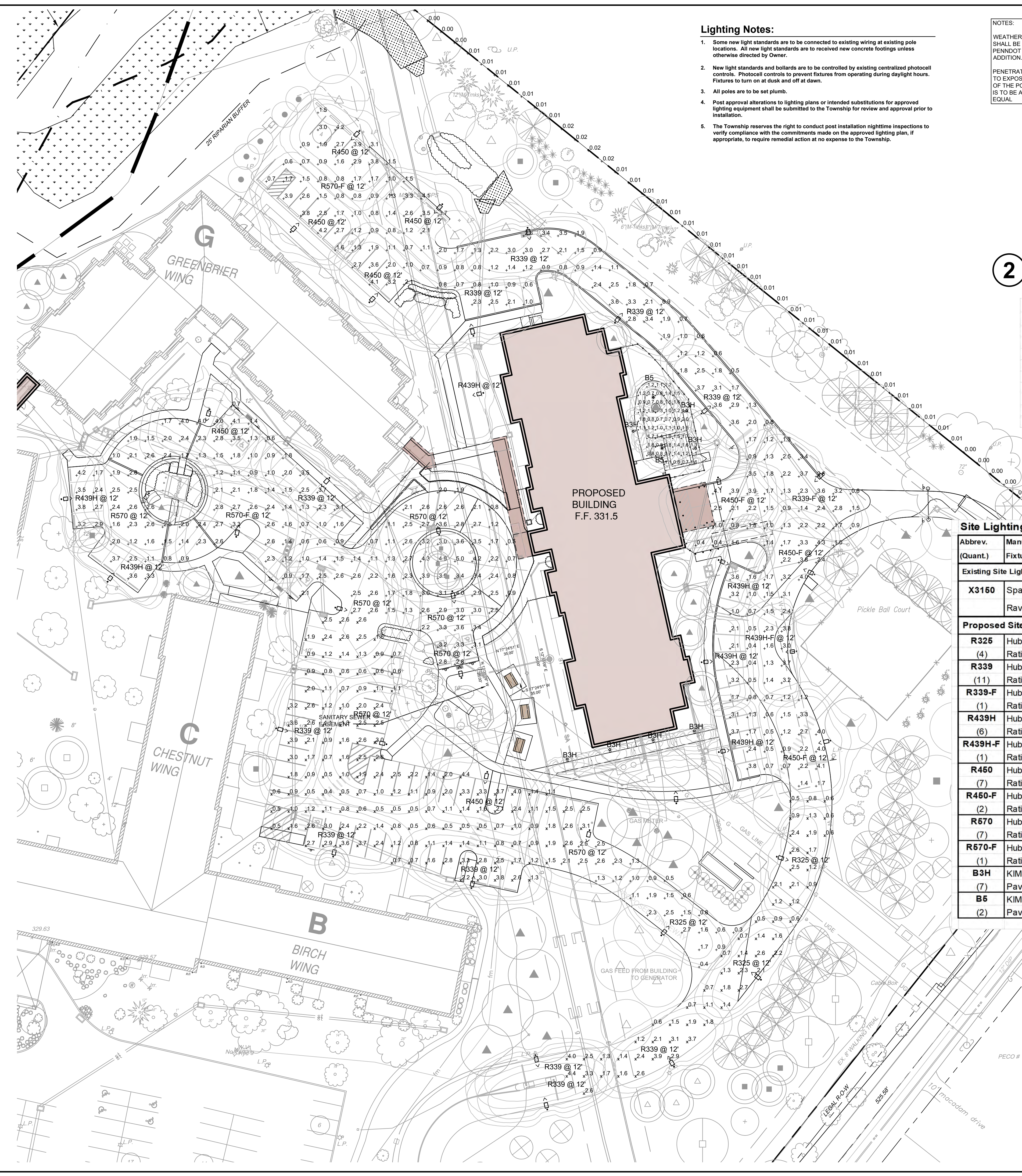
1 Light Standard Detail
Scale: 3/8" = 1'-0"

Site Lighting Statistics

Calculation Areas	Grid Size	Average	Maximum	Minimum	Max/Min	Avg/Min
* B-C Parking Lot	10' O.C.	1.7	4.4	0.4	11.0/1	4.3/1
* Existing Loop Road	10' O.C.	1.8	4.4	0.5	8.8/1	3.6/1
* B Driveway	10' O.C.	1.5	2.7	0.3	9.0/1	5.0/1
+ G Parking	10' O.C.	2.0	4.2	0.6	7.0/1	3.3/1
+ AL Drop-Off Area	10' O.C.	2.3	5.0	0.5	10.0/1	4.3/1
+ AL Parking and Driveway	10' O.C.	1.9	4.3	0.4	10.8/1	4.8/1
o Courtyard	5' O.C.	1.2	2.0	0.7	2.9/1	1.7/1
+ SPILL at Golf Course	10' O.C.	0.01	0.05	0.00	NA	NA

Site Lighting Schedule

Abbrev. (Quant.)	Manufacturer Fixture	Description	LLF*	Color Temp.	Mounting Height (Ft.)	Footing Height (Ft.)	Luminaire Catalog Number Pole Catalog Number	Special Notes
Existing Site Lighting Fixtures								
X3150	Spaulding Raven	Single Type 3 Luminaire, Dark Bronze Color, 150w HPS, with 12 Foot Pole and Footing. Retrofitted with LED replacement lamp by Owner.	0.80	2700K	11.0	0.00		Test File RCS-XS15-H3 at 15,800 Lumens used for modeling. Fixtures has been retrofitted with LED lamps. Actual distribution unknown.
Proposed Site Lighting Fixtures								
R326 (4)	Hubbell Outdoor Ratio Area 1	Full Cutoff Type 3 LED Luminaire with 12' pole, Dark Bronze Color, 80 LEDs, 26 watts.	0.90	3000K	12.0	0.50	RAR-1-80L-25K-37-3-UNV-ASQ-DBS PS44S12-125-B3-DBS	Test File RAR-1-80L-25K3-7 at 3,258 Lumens, Refer to Detail 1
R339 (11)	Hubbell Outdoor Ratio Area 1	Full Cutoff Type 3 LED Luminaire with 12' pole, Dark Bronze Color, 80 LEDs, 38 watts.	0.90	3000K	12.0	0.50	RAR-1-80L-39-3K7-3-UNV-ASQ-DBS PS44S12-125-B3-DBS	Test File RAR-1-80L-39-3K7-3 at 4,992 Lumens, Refer to Detail 1.
R339-F (1)	Hubbell Outdoor Ratio Area 1	Full Cutoff Type 3 LED Luminaire with 10' pole, Dark Bronze Color, 80 LEDs, 38 watts.	0.90	3000K	12.0	2.50	RAR-1-80L-39-3K7-3-UNV-ASQ-DBS PS44S10-125-B3-DBS	Test File RAR-1-80L-39-3K7-3 at 4,992 Lumens, Refer to Detail 1.
R439H (6)	Hubbell Outdoor Ratio Area 1	Full Cutoff Type 4 LED Luminaire with House Side Shield and 12' pole, Dark Bronze Color, 80 LEDs, 38 watts.	0.90	3000K	12.0	0.50	RAR-1-80L-39-3K7-4W-BC-UNV-ASQ-DBS PS44S12-125-B3-DBS	Test File RAR-1-80L-39-3K7-4W-BC at 3,056 Lumens, Refer to Detail 1.
R439H-F (1)	Hubbell Outdoor Ratio Area 1	Full Cutoff Type 4 LED Luminaire with House Side Shield and 12' pole, Dark Bronze Color, 80 LEDs, 38 watts.	0.90	3000K	12.0	2.50	RAR-1-80L-39-3K7-4W-BC-UNV-ASQ-DBS PS44S10-125-B3-DBS	Test File RAR-1-80L-39-3K7-4W-BC at 3,056 Lumens, Refer to Detail 1.
R450 (7)	Hubbell Outdoor Ratio Area 1	Full Cutoff Type 4 LED Luminaire with 12' pole, Dark Bronze Color, 80 LEDs, 50 watts.	0.90	3000K	12.0	0.50	RAR-1-80L-50-3K7-4W-UNV-ASQ-DBS PS44S12-125-B3-DBS	Test File RAR-1-80L-50-3K7-4W-U at 5,871 Lumens, Refer to Detail 1.
R450-F (2)	Hubbell Outdoor Ratio Area 1	Full Cutoff Type 4 LED Luminaire with 12' pole, Dark Bronze Color, 80 LEDs, 50 watts.	0.90	3000K	12.0	2.50	RAR-1-80L-50-3K7-4W-UNV-ASQ-DBS PS44S10-125-B3-DBS	Test File RAR-1-80L-50-3K7-4W-U at 5,871 Lumens, Refer to Detail 1.
R570 (7)	Hubbell Outdoor Ratio Area 1	Full Cutoff Type 5 LED Luminaire with 12' pole, Dark Bronze Color, 160 LEDs, 69 watts.	0.90	3000K	12.0	0.50	RAR-1-160L-70-3K7-5QW-UNV-ASQ-DBS PS44S12-125-B3-DBS	Test File RAR-1-160L-70-3K7-5QW-U at 9,035 Lumens, Refer to Detail 1.
R570-F (1)	Hubbell Outdoor Ratio Area 1	Full Cutoff Type 5 LED Luminaire with 12' pole, Dark Bronze Color, 160 LEDs, 69 watts.	0.90	3000K	12.0	2.50	RAR-1-160L-70-3K7-5QW-UNV-ASQ-DBS PS44S10-125-B3-DBS	Test File RAR-1-160L-70-3K7-5QW-U at 9,035 Lumens, Refer to Detail 1.
B3H (7)	KIM Pavilion Bollard	Type 3 LED Bollard with House Side Shield and Louvers, 12 LEDs, 22 watts.	0.90	3000K	3.25	0.13	PA7R-CT-LV3-HS-12L-020-3K7-42A-DB-UNV	Test File PA7R-LV3-HS-12L-020-3K7 at 604 Lumens, Refer to Detail 2.
B5 (2)	KIM Pavilion Bollard	Type 5 LED Bollard with Louvers, 12 LEDs, 22 watts.	0.90	3000K	3.25	0.13	PA7R-CT-LV5-12L-020-3K7-42A-DB-UNV	Test File PA7R-LV5-12L-020-3K7 at 887 Lumens, Refer to Detail 2.



1 10/16/2024 YG REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24

SITE LIGHTING PLAN
ACTS GWYNEDD ESTATES AL

LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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Martin J. Eustace, III, P.E.
PA Lic. PE048891E

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CHECKED BY: MAE
DATE: 6/21/24
DRAWING No.: D 2373 08B 44

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**CALCULATION OF ADDITIONAL LOD FOR TREE PLANTING
BEYOND PRIMARY LIMITS OF DISTURBANCE**

QUANTITY IN TYPE 'C' SOILS	QUANTITY IN TYPE 'D' SOILS	TREE CALIPER SIZE, INCHES	TREE ROOTBALL DIAMETER FEET	EXCAVATION DIAMETER FEET	LOD DIAMETER FEET	LOD AREA PER TREE, SQUARE FEET	SUBTOTAL TYPE 'C' LOD AREA, SQUARE FEET	SUBTOTAL TYPE 'D' LOD AREA, SQUARE FEET	
13	0	2.5	2.08	4.17	6.17	29.87	388.3	0.0	
65	11	3	2.50	5.00	7.00	38.48	2,501.5	423.3	
19	28	4	3.33	6.67	8.67	58.99	1,120.9	1,651.8	
0	0	5	4.17	8.33	10.33	83.86	0.0	0.0	
TOTAL ADDITIONAL LOD:							4,010.6	2,075.1	

NOTE: REFER TO SHEET 43 FOR LANDSCAPE INSTALLATION REQUIREMENTS FOR TREE INSTALLATION BEYOND PRIMARY LIMIT OF DISTURBANCE.



Landscape Legend

- Existing Deciduous Trees (Surveyed)
- Existing Deciduous Tree (Approximate Location)
- Existing Evergreen Tree (Surveyed)
- Existing Evergreen Tree (Approximate Location)
- LOD Proposed Limit of Disturbance
- Existing Shrubs (Surveyed)
- Proposed Replacement Trees are Shaded
- Typical LOD's for Tree Planting Outside of Primary LOD's
- TPF Proposed Tree Protection Fence
- LeB Existing Soil Limit

NOTE: Refer to Sheet 43 for Proposed Plant Schedule Symbols and Abbreviations.

GRAPHIC SCALE

 0 30 60 120 240
 DRAWING SCALE: 1" = 60'

1 10/18/2024 YG MCCD SUBMISSION SET & REVISED PER TOWNSHIP REVIEW LETTER DATED 9/18/24
PCSM LANDSCAPE PLAN
ACTS GWYNEDD ESTATES AL
 LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

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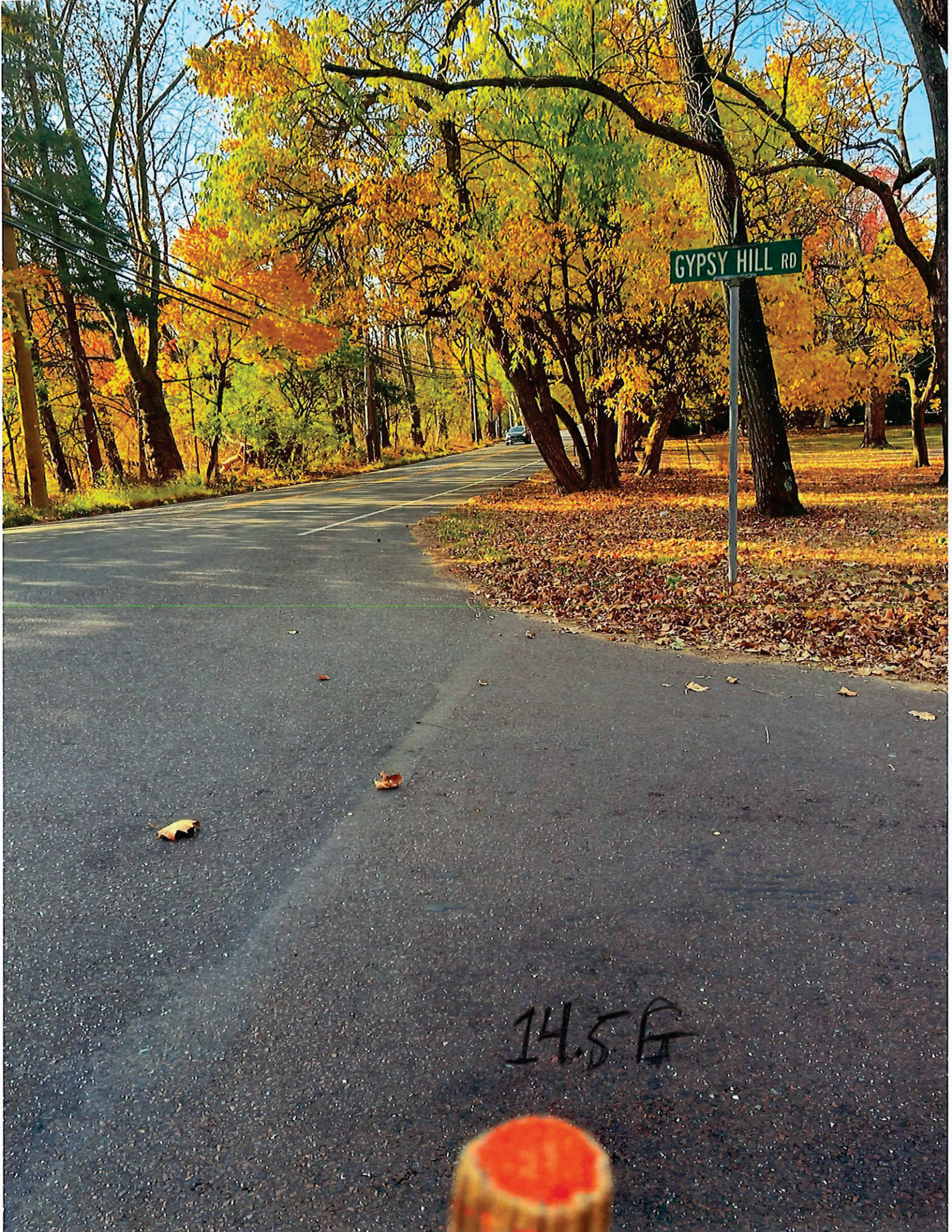
Memo

To: Board of Supervisors
From: Mimi Gleason, Township Manager
Date: November 22, 2024
Re: Gypsy Hill Road & Penllyn Pike intersection



Recommended Motion: To authorize the Public Works Department to work with the owner of 900 Gypsy Hill Road to remove trees near the intersection with Penllyn Pike

Residents asked the Township to consider a stop sign on Penllyn Pike at the intersection with Gypsy Hill Road. Bowman did traffic counts and reviewed the crash history. Chad Dixon will review Bowman's findings with the Board and discuss potential next steps, including consideration of removing trees on a corner property that could improve sight distance for drivers pulling out from Gypsy Hill Road. Pictures of that intersection follow this memo.



GYPSY HILL RD

14.5 ft



Memo

To: Board of Supervisors
From: Mimi Gleason, Township Manager
Date: November 22, 2024
Re: Marion Avenue culvert replacement



Recommended Motion: To authorize the Township Engineer, Solicitor and Staff to proceed with discussions with the owner of 448 Marion Avenue and final design of the culvert replacement project

In July 2023, Gilmore & Associates completed the Houston Creek Flood Study, which included recommendations for mitigating flooding in the residential neighborhood between the Wissahickon School District property and Ambler Yards. A priority recommendation in the study is replacing a driveway bridge on the Brookside Avenue side of the property at 448 Marion Avenue with a box culvert to allow greater stream flow.

Included in the meeting packet is Gilmore's plan and opinion of probably cost for that project. Jim Hersh will review the project with the Board.



OPINION OF PROBABLE COST

PROJECT:	448 Marion Ave - Culvert Replacement				
LOCATION:	Lower Gwynedd Township				
DATE:	November 22, 2024				
	ITEM	UNITS	QUANTITY	UNIT PRICE	TOTAL AMOUNT
I.	<u>EROSION CONTROL & SITE PREP</u>				\$1,392.50
	1. Temporary Stream Diversion System	LS	1	\$500.00	\$500.00
	2. Disposal of Existing Culvert	LS	1	\$500.00	\$500.00
	3. Disposal of Tree Debris	LS	1	\$250.00	\$250.00
	4. North American Green SC150BN Matting	SY	57	\$2.50	\$142.50
III.	<u>CULVERT</u>				\$52,070.00
	1. 2A Stone Base for Culvert	CY	9	\$50.00	\$450.00
	2. Precast Concrete Culvert and Wing Walls	LS	1	\$35,000.00	\$35,000.00
	3. Crane Rental with Operator	LS	1	\$15,000.00	\$15,000.00
	4. R-6 Rip-Rap	CY	54	\$30.00	\$1,620.00
IV.	<u>MISCELLANEOUS</u>				\$6,277.00
	1. Replace Fence	LF	65	\$75.00	\$4,875.00
	2. Replace Paving on Top of Culvert	SY	50	\$20.00	\$1,000.00
	3. Permanent Seeding & Easement Restoration	SY	201	\$2.00	\$402.00
	CONSTRUCTION SUB-TOTAL				\$59,739.50
	CONTINGENCY (10%)				\$5,973.95
	PERMITTING/CONSTRUCTION OVERSIGHT				\$5,000.00
	TOTAL SITE COST ESTIMATE				\$70,713.45

NOTES:

* This opinion of probable cost assumes that Township Public Works labor will be utilized for the following tasks: demolition and removal of debris, site prep & clearing, rip-rap installation, paving, and site restoration. As such, estimates for those items include material costs only.

PENNSYLVANIA ONE CALL SYSTEM, INC.

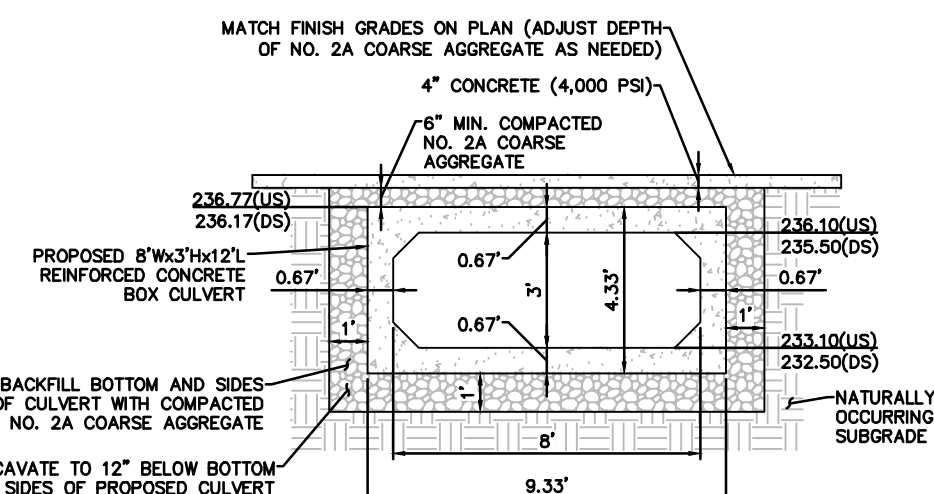
825 Irvn Run Road
West Mifflin, Pennsylvania
15122 - 1078



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776. NON-MEMBERS MUST BE CONTACTED DIRECTLY. PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH.

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUBS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS; THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50. GILMORE & ASSOCIATES INC. HAS NOT OBTAINED A PA-ONE CALL SERIAL NUMBER FOR DESIGN PURPOSES.



PROPOSED CULVERT SECTION
SCALE: 1" = 5'

EXISTING TREES TO REMAIN, PROTECT AS NECESSARY DURING CONSTRUCTION (TYP).

TEMPORARY CONSTRUCTION EASEMENT (1,157 SF)

BOX CULVERT 3'Hx8'Wx12'L INV: 233.10

BOX CULVERT 3'Hx8'Wx12'L INV: 232.50

TEMPORARY CONSTRUCTION EASEMENT (201 SF)

PUMP DISCHARGE ENERGY DISSIPATOR

TEMPORARY CONSTRUCTION EASEMENT (201 SF)

TEMPORARY CONSTRUCTION EASEMENT (201 SF)

TEMPORARY CONSTRUCTION EASEMENT (201 SF)

TEMPORARY CONSTRUCTION EASEMENT (201 SF)



GENERAL SURVEY NOTES:

- 1. PROPERTY AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF LOWER GWYNEDD, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
2. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN MARCH OF 2024, AND THE REFERENCED INFORMATION LISTED HEREON. IT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
3. SUBJECT TO COVENANTS, RESTRICTIONS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED.
4. VERTICAL DATUM IS NAVD83 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
5. HORIZONTAL DATUM IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD 83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.

REFERENCES:

- 1. TAX MAP FOR THE TOWNSHIP OF LOWER GWYNEDD, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA.
2. PLAN ENTITLED "SUBDIVISION PLAN, AMBLER VILLAGE, SECTION No. 3" DATED MARCH 4, 1953, PREPARED BY C. RAYMOND WEIR, REG. PROFESSIONAL ENGINEER OF AMBLER, PENNSYLVANIA, AND RECORDED IN THE MONTGOMERY COUNTY RECORDER OF DEEDS IN PLAN BOOK A001 PG J1002 ON JANUARY 2, 1954.
3. PLAN ENTITLED "SUBDIVISION OF PROPERTY MADE FOR GEORGE H. ROWAN", DATED FEBRUARY 5, 1989, PREPARED BY GEORGE D. HELLMAN, P.E. OF MORRISTOWN, PENNSYLVANIA, AND RECORDED IN THE MONTGOMERY COUNTY RECORDER OF DEEDS IN PLAN BOOK B005 PG 132.
4. DEED BOOKS AS NOTED.

I BRIAN STUDDER DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 PA. C.S.A. SEC. 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS, AND REPORTS HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH CHAPTER 105 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

LEGEND

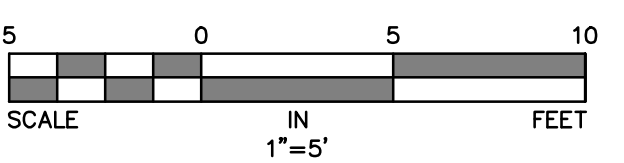
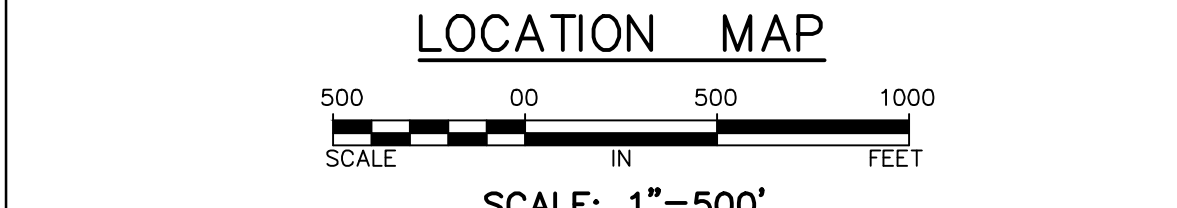
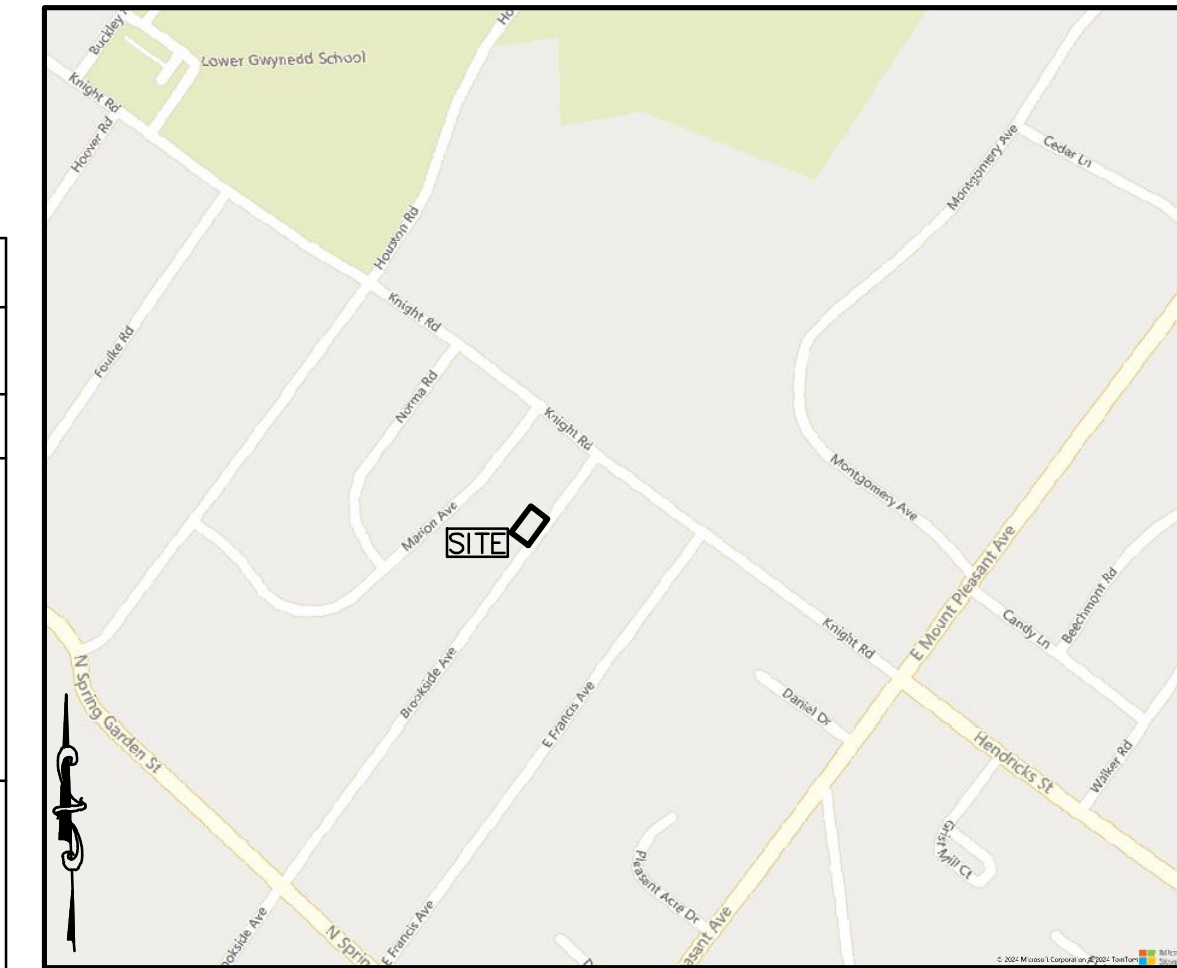
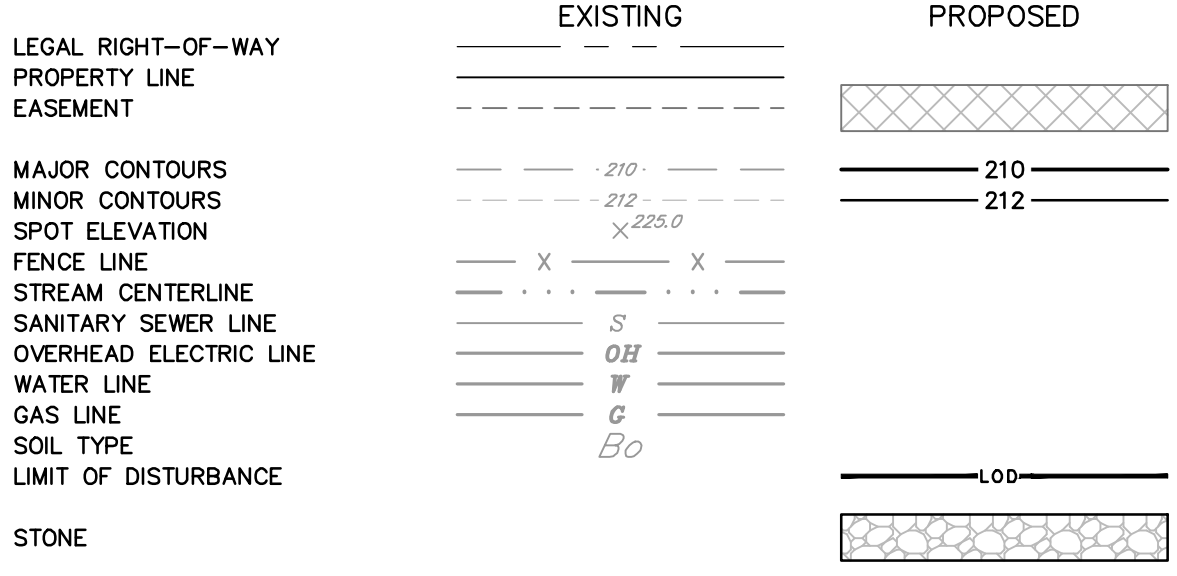


Table with 4 columns: SYMBOL, SOIL NAME, SLOPE, HYDROLOGIC SOIL GROUP. Rows include Bowmansville - Knauers Silt Loams and a list of limitations for construction and their resolutions.

GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES. Logo and contact information.

LEGAL RIGHT-OF-WAY PROPERTY LINE EASEMENT

Table with columns: REV., DESCRIPTION, DATE, BY.

SITE IMPROVEMENTS PLAN BROOKSIDE AVENUE CULVERT REPLACEMENT LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

Gilmore & Associates logo and project details including address, phone, and dates.

RESOLUTION #2024-31

**A RESOLUTION OF LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY,
AUTHORIZING THE SUBMISSION OF A
STATEWIDE LOCAL SHARE ACCOUNT GRANT APPLICATION FOR
THE OXFORD PARK PLAYGROUND IMPROVEMENT PROJECT PHASE 1**

Be it RESOLVED, that Lower Gwynedd Township of County of Montgomery hereby request a Statewide Local Share Assessment grant of \$580,000.00 from the Commonwealth Financing Authority to be used for Oxford Park Playground Improvement Project Phase 1 located in Lower Gwynedd Township.

Be it FURTHER RESOLVED, that the Applicant hereby designates Mimi Gleason, Township Manager, and Jamie Worman, Assistant Township Manager, as the officials to execute all documents and agreements between Lower Gwynedd Township and the Commonwealth Financing Authority to facilitate and assist in obtaining the requested grant.

RESOLVED AND ENACTED this 26th day of November, 2024.

Attest: _____
Mimi Gleason
Secretary

By: _____
Danielle Duckett, Chair
Board of Supervisors

I, Mimi Gleason, duly qualified Secretary of Lower Gwynedd Township, County of Montgomery, PA, hereby certifies that the forgoing is a true and correct copy of a Resolution duly adopted by a majority vote of the Board of Supervisors at a regular meeting held November 26, 2024, and said Resolution has been recorded in the Minutes of Lower Gwynedd Township and remains in effect as of this date.

IN WITNESS THEREOF, I affix my hand and attach the seal of Lower Gwynedd Township, this 26th day of November 2024.

Lower Gwynedd Township
Name of Applicant

Montgomery County
County

Mimi Gleason, Secretary

RESOLUTION #2024-32

**A RESOLUTION OF LOWER GWYNEDD TOWNSHIP, MONTGOMERY COUNTY,
AUTHORIZING THE SUBMISSION OF A
STATEWIDE LOCAL SHARE ACCOUNT GRANT APPLICATION FOR
FUNDING TOWARDS A NEW PUBLIC WORKS FACILITY**

Be it RESOLVED, that Lower Gwynedd Township of County of Montgomery hereby request a Statewide Local Share Assessment grant of \$999,366.00 from the Commonwealth Financing Authority to be used for site work, stormwater management facilities, and the installation of various utilities in preparation for a new public works building located in Lower Gwynedd Township.

Be it FURTHER RESOLVED, that the Applicant hereby designates Mimi Gleason, Township Manager, and Jamie Worman, Assistant Township Manager, as the officials to execute all documents and agreements between Lower Gwynedd Township and the Commonwealth Financing Authority to facilitate and assist in obtaining the requested grant.

RESOLVED AND ENACTED this 26th day of November, 2024.

Attest: _____
Mimi Gleason
Secretary

By: _____
Danielle Duckett, Chair
Board of Supervisors

I, Mimi Gleason, duly qualified Secretary of Lower Gwynedd Township, County of Montgomery, PA, hereby certifies that the forgoing is a true and correct copy of a Resolution duly adopted by a majority vote of the Board of Supervisors at a regular meeting held November 26, 2024, and said Resolution has been recorded in the Minutes of Lower Gwynedd Township and remains in effect as of this date.

IN WITNESS THEREOF, I affix my hand and attach the seal of Lower Gwynedd Township, this 26th day of November 2024.

Lower Gwynedd Township
Name of Applicant

Montgomery County
County

Mimi Gleason, Secretary

**Prepared By &
Return To:**

Neil Andrew Stein, Esquire
Union Meeting Corporate Center
910 Harvest Drive, Suite #200
Blue Bell, PA 19422
nstein@kaplaw.com

Property:

Parcels #39-00-00725-18-1 and #39-00-00725-22-6

ENCROACHMENT LICENSE AGREEMENT

THIS ENCROACHMENT LICENSE AGREEMENT is made this 20 day of November, 2024 between LOWER GWYNEDD TOWNSHIP, 1130 North Bethlehem Pike, Spring House, Pennsylvania 19477 ("Township") and SCOTT N. SLOBOTKIN AND TRACEY I. SLOBOTKIN, 922 Chesterfield Drive, Ambler, Pennsylvania 19002 ("Property Owners") (the Township and Property Owners are sometimes individually referred to as a "Party" and collectively, the "Parties").

BACKGROUND

A. The Property Owners own the property and structures thereon, known as 922 Chesterfield Drive, Ambler, Pennsylvania 19002, Parcel #39-00-00725-18-1 (the "Property").

B. The Township is the owner of a parcel of open space of approximately 4.63 acres, being Parcel #39-00-00725-22-6 (the "Township Property").

C. The Property Owners have erected a shed and part of a driveway, on a portion of the Township Property (the "Improvements"), in approximately the area depicted in Exhibit "1" attached hereto (the "Encroachment" and "Encroachment Location").

D. The Property Owners understand and agree that the Township has and shall for all times hereafter reserve and retain the unfettered right to exclude any/all structures or other encroachments from within the Township Property, in its sole discretion and without recourse.

E. However, in order to accommodate the Property Owners, the Township is willing to consider and agree to grant its permission to allow the Improvements to remain in its present Encroachment Location on the Township Property, at least temporarily, in consideration of and subject to the understandings, agreements, acknowledgments, conditions, and releases as set forth in this Agreement.

NOW, THEREFORE, the Parties, for themselves, their heirs, successors, and assigns, hereby agree as follows:

1. **AUTHORIZATION.** The Township hereby grants the Property Owners permission to keep the Improvements in the Encroachment Location, pursuant to the terms of this Agreement & Release, and solely in the Encroachment Location and also in strict conformity with such final plans and permits as may be approved and issued hereafter by the Township and subject to all conditions thereon as may be deemed necessary and proper in the sole discretion of the Township. This Agreement constitutes a License and does not rise to the level of a real property interest.

2. **REMOVAL (NON-EMERGENCIES)**. Upon written notice provided by the Township to the Property Owners personally, and/or by certified mail, and/or by posting of the Property if the Property Owners are absent or cannot be located, the Property Owners shall temporarily or permanently remove any or all of the Improvements from the Township Property within thirty (30) days of the date of such personal service or posting, or from the date of mailing of such notice. Such requests made to the Property Owners by the Township to remove the Improvements will be made pursuant to the Township's need to access the Township Property for such purposes as determined in good faith by the Township in its sole discretion.

3. **EMERGENCIES**: Notwithstanding the foregoing, in a situation deemed to be an emergency as determined by the Township in its sole discretion, the Improvements shall be removed by the Property Owners upon forty-eight (48) hours' notice (which may be verbal notice), or may be removed without any prior notice, and in either case the Property Owners shall bear all costs of demolition, relocation and/or reconstruction.

4. **FAILURE TO REMOVE**. In the event the Property Owners fail to remove the Improvements when required to do so by this Agreement, or at any time under emergency circumstances as provided in **Paragraph 3**, above, the Township shall have the right to remove the Improvements, and the Property Owner shall reimburse the Township for the costs incurred in removing the Improvements within Thirty (30) days of notice thereof. All such removal costs shall be a municipal lien upon the Property from the date incurred by the Township.

5. **DESTRUCTION, ABANDONMENT AND REMOVAL**. In the event of the destruction or removal of the Improvements, or if it shall fall into disrepair or its use be abandoned, the Property Owners shall apply for permission to reconstruct or repair the Improvements under the then-existing regulations, which the Township may grant or deny in its sole discretion, without appeal or other recourse.

6. **TOWNSHIP RESERVATION OF RIGHTS**. The Property Owners hereby acknowledge and agree that, in granting this License, the Township specifically reserves all rights in, and that the Township has and shall continue at all times hereafter to retain the unfettered right in its sole discretion to exclude any and all structures from within the Township Property, including the Improvements. The Property Owners further acknowledge that this Agreement does not confer, and the Property Owners shall never have or claim any prescriptive, contractual or other legal right of encroachment into the Township Property, any right of possession to any portion of the Township Property, including any claim of adverse possession, or any rights to maintain or reconstruct the Improvements or any other structure therein based on nonconforming or "grandfathered" use of the structure.

7. **INDEMNIFICATION AND RELEASE**. The Property Owners agree to release, indemnify, defend and hold harmless the Township from any and all causes of action, damages, losses, liens, liabilities costs, expenses or claims arising out of the construction of the Improvements over, upon and across the Township Property and the resulting encroachment thereon or the removal therefrom. Any costs incurred or relating to the Improvements, including but not limited to removal costs, shall be borne by the Property Owners, at no cost to the Township. The Property Owners waive and release all rights, causes of action or claims against the Township, and shall hold the Township harmless against any claims based on the construction of the Improvements over, upon and across the Township Property, or arising out of or relating to its destruction, damage, or removal by the Township.

8. **PERPETUAL OBLIGATION.** This Agreement shall be binding upon all owners, successors, and assigns taking title to the Property after the execution of this Agreement, and this Agreement shall run in perpetuity with the Property.

9. **RECORDING.** This Agreement shall be recorded in the public records of Montgomery County, Pennsylvania, by the Township at the Property Owners' sole expense.

10. **BREACH.** In the event that the Property Owners breach this Agreement, the Township shall have the following remedies.

- (a) All remedies provided by Pennsylvania law.
- (b) Money damages for any and all damages caused by the breach.
- (c) Injunctive relief.
- (d) Attorney's fees incurred by the Township or its agents as a result of the breach; and
- (e) Litigation expenses and court costs incurred by Township as a result of the breach.

11. **RISK OF LOSS.** The Property Owners understand and agree that the Township is not responsible for any damage to the Improvements, and the Township shall have no liability for such an event.

12. **AMENDMENT AND WAIVER.** The Parties may, by mutual written agreement, amend this Agreement in any respect. Any agreement on the part of any Party for any such amendment must be in writing. No waiver of any of the provisions of this Agreement shall be deemed, or shall constitute, a waiver of any other provisions, whether or not similar, nor shall any waiver constitute a continuing waiver.

13. **GOVERNING LAW.** This Agreement shall be governed by and construed in accord with the laws of the Commonwealth of Pennsylvania.

14. **COUNTERPARTS.** This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, but all of which shall constitute one and the same instrument.

15. **IMMUNITY.** The Parties acknowledge and agree that, in executing and performing this Agreement, the Township has not waived, nor shall be deemed to have waived, any defense or immunity, including governmental, sovereign and official immunity, which would otherwise be available to it against claims arising in the exercise of governmental powers and functions. By entering into this Agreement, the Parties do not create any obligations, express or implied, other than those set forth herein.

16. **INSURANCE.** The Property Owners shall possess and maintain at all times, general homeowner's liability insurance to protect the Township from any liability, claims, damages, losses or expenses arising from or out of or in any way connected with construction, operation or maintenance of the Improvements, and such insurance shall name the Township as an additional insured.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed on the date first set forth above.

ATTEST:

TOWNSHIP:
LOWER GWYNEDD TOWNSHIP
BOARD OF SUPERVISORS

MIMI GLEASON, TOWNSHIP MANAGER

By: _____
DANIELLE A. DUCKETT, CHAIRPERSON

PROPERTY OWNERS:



SCOTT N. SLOBOTKIN



TRACEY I. SLOBOTKIN

INDIVIDUAL ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA :
: SS
COUNTY OF MONTGOMERY :

On this, the 20 day of November, 2024, before me, the undersigned officer, a Notary Public, personally appeared **SCOTT N. SLOBOTKIN AND TRACEY I. SLOBOTKIN** known to be or satisfactorily proven to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same for the purposes therein contained.

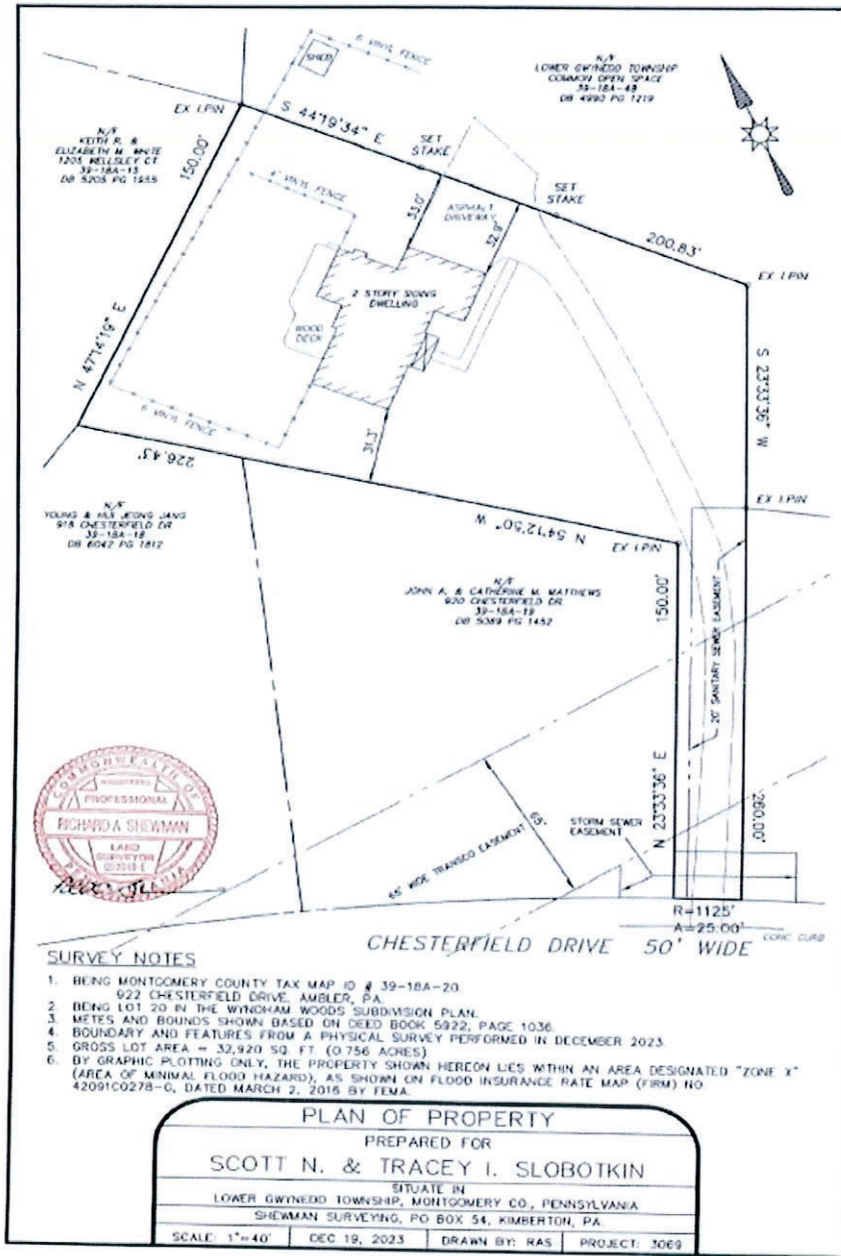
IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Reece Dobson
Notary Public
My Commission Expires: 04/11/28

Commonwealth of Pennsylvania - Notary Seal
Reece Dobson, Notary Public
Montgomery County
My commission expires April 11, 2028
Commission number 1445689



EXHIBIT "1"



SURVEY NOTES

1. BEING MONTGOMERY COUNTY TAX MAP ID # 39-18A-20, 922 CHESTERFIELD DRIVE, AMBLER, PA.
2. BEING LOT 20 IN THE WYNDHAM WOODS SUBDIVISION PLAN.
3. METES AND BOUNDS SHOWN BASED ON DEED BOOK 5922, PAGE 1036.
4. BOUNDARY AND FEATURES FROM A PHYSICAL SURVEY PERFORMED IN DECEMBER 2023.
5. GROSS LOT AREA = 32,920 SQ. FT. (0.756 ACRES)
6. BY GRAPHIC PLOTTING ONLY, THE PROPERTY SHOWN HEREON LIES WITHIN AN AREA DESIGNATED "ZONE X" (AREA OF MINIMAL FLOOD HAZARD), AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) NO. 42091C0278-0, DATED MARCH 2, 2016 BY FEMA.

PLAN OF PROPERTY			
PREPARED FOR			
SCOTT N. & TRACEY I. SLOBOTKIN			
SITUATE IN			
LOWER GWYNEDD TOWNSHIP, MONTGOMERY CO., PENNSYLVANIA			
SHEWMAN SURVEYING, PO BOX 54, KIMBERTON, PA.			
SCALE: 1"=40'	DEC 19, 2023	DRAWN BY: RAS	PROJECT: 3069

Memo

To: Board of Supervisors
From: Mimi Gleason, Township Manager
Date: November 21, 2024
Re: Proposed Right to Know Policy



Recommended Motion: To approve the Right to Know Policy

Lower Gwynedd Township is subject to the [PA Right to Know Law](#). A recent Final Determination issued by the PA Office of Open Records prompted the PA State Association of Township Supervisors (PSATS) to circulate a sample Right to Know (RTK) policy. The Township does not have a specific RTK policy. Instead, we follow the PA Office of Open Records procedures and use the Officer of Open Records request form. Information about [how to submit a RTK request](#) is on the Township's website. We charge \$0.25/page for hard copies provided, although most requests are satisfied electronically with no charge.

The attached Right to Know policy is based on PSATS's recently updated sample policy. The main reasons for adopting it is to make clear that:

- all requests must be submitted in writing on the designated form and
- anonymous or verbal Right to Know requests are prohibited.

To be clear, most RTK requests are not anonymous and under the policy, staff would provide applicable public records that are requested. However, like most municipalities, Lower Gwynedd has received anonymous requests that appear to be generated through automated systems using self-created forms. Under the Right to Know Law, the Township is not required to respond to anonymous or verbal requests; however, this practice should be set forth in a written policy. Staff is requesting that the Board of Supervisors approve the proposed policy, which has been reviewed by the Solicitor.

The Final Determination issued by the PA Office of Open Records is attached, along with the proposed Township Right to Know policy.

Lower Gwynedd Township

Right to Know Policy

Approved by the Board of Supervisors on _____



Right to Know Law

Lower Gwynedd Township complies with the requirements of Pennsylvania Act 3 of 2008, the Right to Know Law. This law ensures that public information and records pertaining to the Township government are open and available, serving as a resource for citizens, public officials, and members of the media.

Public records of the Township shall be available for inspection, retrieval, and duplication at the Township Building during normal business hours as posted on the Township website, with the exception of Township-designated holidays.

Open Records Officer

The Board of Supervisors designates an Open Records Officer for Administration and for Police at their Organization Meeting in January of each year. The names of the Open Records Officers and the form and procedures for submitting a Right to Know request are on the Township website.

Requests

Requests shall be made in writing to the Administration or Police Open Records Officer, as applicable, on the [Standard Right to Know Law Request Form](#) on the website. Requests submitted on the Pennsylvania Office of Open Records' Standard Right-to-Know Request Form will also be accepted. Anonymous or verbal requests will not be considered.

Act 22 of 2017 (specifically, Chapter 67A of the Act) established a new process for requesting audio and video recordings in the possession of law enforcement agencies in Pennsylvania. Act 22 applies to individuals seeking "any audio recording or video recording made by a law enforcement agency." The Right-to-Know Law does not apply to requests for these recordings. Once the completed Act 22 form is filed, the agency has 30 days to respond, although the requester and agency can agree to an extension.

Fees

Fees will be charged in accordance with the schedule in the fee resolution adopted by the Board of Supervisors and posted on the Township website. All fees must be paid before documents are released. Pre-payment before documents is released is required if the total fees are estimated to exceed \$100.

Response

The Open Records Officer shall make a good faith effort to provide the requested public record(s) as promptly as possible and within the Right to Know Law's five-business-day timeframe. If the public records cannot be provided within five business days, the Open Records Officer is permitted to exercise a 30-day extension upon notifying the requester, in accordance with the Right to Know Law. The Open Records Officer shall cooperate with those requesting records to review and/or duplicate original documents while taking reasonable measures to protect original documents from the possibility of theft, damage, and/or modification.

If the Right to Know request is denied, the Open Records Officer will send the requester a letter stating:

- 1) a description of the record requested,
- 2) the specific reasons for the denial, including a citation of supporting legal authority,
- 3) contact information for the Open Records Officer,
- 4) the date of the response, and
- 5) the procedure to appeal the denial.

Contact Information for Appeals

If a written request is denied, the requester has the right to file an appeal in writing to Executive Director, Office of Open Records, 333 Market St., 16th Floor, Harrisburg, PA 17101. Appeals of criminal records shall be made to the District Attorney of Montgomery County at the Montgomery County Courthouse, P.O. Box 311, Norristown, PA 19404.

Appeals Process

Appeals must be filed within 15 business days of the mailing date of the Township's response. The law requires an appeal to include reasons why the record is a public record and to address the reasons for denial that the Township stated in its denial letter. Information on filing an appeal is on the PA Office of Open Records' website at www.openrecords.pa.gov.



pennsylvania
OFFICE OF OPEN RECORDS

FINAL DETERMINATION

IN THE MATTER OF	:	
	:	
FRANK CURRY and FOIABUDDY,	:	
Requester	:	
	:	
v.	:	Docket No.: AP 2024-1311
	:	
SOUTH WESTERN SCHOOL DISTRICT,	:	
Respondent	:	

FACTUAL BACKGROUND

On May 14, 2024, Frank Curry and FOIABuddy (collectively “Requester”) submitted ten requests (“Requests”) to South Western School District (“District”) pursuant to the Right-to-Know Law (“RTKL”), 65 P.S. §§ 67.101 *et seq.*, seeking records related to IT operations, contracts, staff, and IT budgets.

On May 20, 2024, the District denied the Requests, notifying the Requester that they had been unable to confirm that he was a qualified requester under the RTKL, and that his requests would be denied as anonymous unless and until he provided the District with evidence that he is a qualified requester.

On May 21, 2024, the Requester filed an appeal with the OOR, stating only that the District had wrongly denied his Requests and seeking a finding of bad faith. The OOR invited both parties to supplement the record and directed the District to notify any third parties of their ability to participate in this appeal. 65 P.S. § 67.1101(c).

On June 6, 2024, the District submitted a position statement explaining that none of the information provided by the Request or on appeal could confirm that the Requester was a qualified requester under the RTKL. The District additionally submitted exhibits demonstrating how FOIABuddy's system worked and could produce an anonymous or de-anonymized request, arguing that the information in the Requests and on appeal are consistent with FOIABuddy's anonymous requests. In support of this argument, the District submitted the verification of its solicitor, Christopher Harris, who explains how the FOIABuddy system works and attested that the District has printed policies on its website banning anonymous requests.

LEGAL ANALYSIS

The District is a local agency subject to the RTKL. 65 P.S. § 67.302. Records in the possession of a local agency are presumed to be public, unless exempt under the RTKL or other law or protected by a privilege, judicial order or decree. *See* 65 P.S. § 67.305. As an agency subject to the RTKL, the District is required to demonstrate, "by a preponderance of the evidence," that records are exempt from public access. 65 P.S. § 67.708(a)(1). Preponderance of the evidence has been defined as "such proof as leads the fact-finder ... to find that the existence of a contested fact is more probable than its nonexistence." *Pa. State Troopers Ass'n v. Scolforo*, 18 A.3d 435, 439 (Pa. Commw. Ct. 2011) (quoting *Pa. Dep't of Transp. v. Agric. Lands Condemnation Approval Bd.*, 5 A.3d 821, 827 (Pa. Commw. Ct. 2010)).

1. The District was permitted to deny the Request as anonymous

On appeal, the District argues that the Requester is anonymous, and therefore it has no duty to fulfill the Request. Section 702 of the RTKL provides that:

Agencies may fulfill verbal, written or anonymous verbal or written requests for access to records under this act. If the requester wishes to pursue the relief and remedies provided for in this act, the request for access to records must be a written request.

65 P.S. § 67.702. The OOR interprets this section as affording agencies the discretion to fulfill or ignore anonymous requests. A “requester” is defined by the RTKL as “[a] person that is a legal resident of the United States....” *See* 65 P.S. § 67.102. Thus, under the RTKL, a requester must both be a “person” and “a legal resident of the United States.” While not defined by the RTKL, the Statutory Construction Act of 1972 (“SCA”) defines the term “person” to “[i]nclude[] a corporation, partnership, limited liability company, business trust, other association, government entity (other than the Commonwealth), estate, trust, foundation or natural person.” 1 Pa.C.S. § 1991. Finally, Section 703 of the RTKL requires that all written requests under the RTKL “shall include the name and address to which the agency should address its response.” 65 P.S. § 703.

Here, the District argues that it cannot determine whether the Requester is, in fact, “Frank Curry”, a resident of the United States or his contact information because the Requester has used FOIABuddy’s anonymous request function. In support of this argument, the District submitted the attestation of Attorney Harris, who attests that:

3. After reviewing the Requests, it was determined that “Frank Curry” was an anonymous requester and therefore the District denied the requests.
4. I signed up for an account on the FOIA Buddy website using a personal Gmail account.
5. Upon signing up, I received one (1) free credit whereby I could submit one (1) personal request to any agency in the United States.
6. I elected to submit a request to the District.
7. Exhibit A of the Position Statement reflects the blank form used.
8. Exhibit A of the Position Statement provides the form used that I completed and submitted to the District.
9. Exhibit A of the Position Statement also contains an accurate “pop-up” of when I clicked “yes” to the question of anonymity.

10. I submitted the personal request to the District in order to show that personal requests contain more information than “Frank Curry,” the Ashland, PA P.O. Box address, the FOIA Buddy phone number, and the FOIA Buddy email address.

11. The redacted portions of the form contain a personal address, personal phone number, and personal email address.

12. I called the “833-527-8748” number to verify “Frank Curry” was a person and was unable to do so.

13. I was unable to create a “@foiabuddy.com” email account when I signed up on the website.

14. It is still my belief that “Frank Curry” is synonymous with “John Doe” or “anonymous.”

Under the RTKL, statements made under penalty of 18 Pa.C.S. § 4904 may serve as sufficient evidentiary support. *See Sherry v. Radnor Twp. Sch. Dist.*, 20 A.3d 515, 520- 21 (Pa. Commw. Ct. 2011); *Moore v. Office of Open Records*, 992 A.2d 907, 909 (Pa. Commw. Ct. 2010). In the absence of any evidence that the District has acted in bad faith, the District’s evidence “should be accepted as true.” *McGowan v. Pa. Dep’t of Env’tl. Prot.*, 103 A.3d 374, 382-83 (Pa. Commw. Ct. 2014) (citing *Office of the Governor v. Scolforo*, 65 A.3d 1095, 1103 (Pa. Commw. Ct. 2013)).

The District has adopted a policy of fulfilling only RTKL requests made by a legal resident of the United States, and its website notifies requesters that anonymous requests will not be fulfilled. In this case, the District argues that the instant Requests and appeal filings bear the hallmarks of filings which have been made through FOIABuddy’s “anonymous request” functionality. To demonstrate this, the District created a FOIABuddy account and submitted screenshots of the process of submitting a RTKL request, highlighting the option to use a proxy function which is “is designed to conceal your identity by using [FOIA Buddy’s] to submit requests on your behalf” and warns users of other states that use of the proxy system may see their requests

rejected because FOIABuddy has a listed Pennsylvania residency. District's Exhibit A. Additionally, the District notes that the listed phone number simply results in an automated message from FOIABuddy itself, stating that no questions regarding FOIA requests would be returned. It appears, therefore, that none of the contact information presented is that of a regular user of FOIABuddy, but instead simply information generated by the FOIABuddy system itself.

In contrast, the District used FOIABuddy to file an example non-private request with itself, and the FOIABuddy system sent the District a RTKL request containing all of the contact and personal information which the District had entered. As a result, the District's evidence suggests that the Requests in this matter are, in fact, anonymous requests using FOIABuddy's system, which advertises itself as sending RTKL requests out under a proxy identity. Because the District has submitted evidence tending to show that the Requests are anonymous requests, it has met its burden of proof that the Requests are anonymous and it was not required to respond to them.¹ 65 P.S. § 67.708(a)(1); *Del. County v. Schaefer ex rel. Phila. Inquirer*, 45 A.3d 1149 (Pa. Cmmw. Ct. 2012) (explaining that the evidentiary standard is "tantamount to a more likely than not inquiry.")

2. There is no evidence of bad faith

The Requester asks, in addition, that the OOR make a finding of bad faith, arguing that the District's failure to provide the responsive records constitutes bad faith.² Under the RTKL, a finding of bad faith may be appropriate where an agency refuses to comply with its statutory duties under the RTKL. *Uniontown Newspapers, Inc. v. Pa. Dep't of Corr.*, 185 A.3d 1161, 1172 (Pa.

¹ Additionally, on May 22, 2024, when granting the District's request for an extension, the OOR highlighted the argument that the Requester was anonymous and asked the parties to brief it by June 6, 2024. However, the Requester has not participated on appeal, nor argued that any of the District's position or evidence is inaccurate.

² Although the OOR may make a finding of bad faith, only a court may impose related penalties. Specifically, Section 1304(a) of the RTKL states that a court "may award reasonable attorney fees and costs of litigation...if the court finds...the agency receiving the...request willfully or with wanton disregard deprived the requester of access to a public record...or otherwise acted in bad faith..." 65 P.S. § 67.1304(a). Similarly, Section 1305(a) authorizes a court to "impose a civil penalty of not more than \$ 1,500 if an agency denied access to a public record in bad faith." 65 P.S. § 67.1305.

Commw. Ct. 2018), aff'd, 243 A.3d 19 (Pa. 2020); *see also Office of the Dist. Atty. of Phila. v. Bagwell*, 155 A.3d 1119, 1140-41 (Pa. Commw. Ct. 2017) (“An example of bad faith is a local agency’s failure to comply with the mandate of Section 901 of the RTKL, which requires that a local agency make a good faith search for information responsive to a request and determination of whether that information is public.”). Bad faith involves failing to perform a detailed search and review of records to ascertain if the requested material exists or if any exclusion applies prior to denial of access. *See Uniontown*, 185 A.3d at 1172.

The OOR has made a finding of bad faith where an agency fails to provide evidence that it conducted a good-faith search, repeatedly ignored deadlines set by the OOR and the by RTKL and declined to address the OOR’s requests for clarification. *See Towne v. Pittsburgh Water and Sewer Auth.*, OOR Dkt. AP 2021-0292, 2021 PA O.O.R.D. LEXIS 307. The OOR has also found that an agency acted in bad faith where it demonstrated a pattern of invoking extensions but failing to respond to requests or participate in the appeals. *See Hayden v. City of Reading*, OOR Dkt. AP 2018-0244, 2018 PA O.O.R.D. LEXIS 402.

Here, the OOR concludes that the Requests were anonymous requests which the District was not required to respond to under the RTKL. Because the District promptly notified the Requester of this issue, it does not appear that the District has acted in bad faith, nor have the District’s tactics on appeal delayed the resolution of the Requests in any way. Therefore, the OOR cannot conclude that the District has acted in bad faith in responding to the Requests.

CONCLUSION

For the foregoing reasons, the Requester’s appeal is **denied**, and the District is not required to take any further action. This Final Determination is binding on all parties. Within thirty days of the mailing date of this Final Determination, any party may appeal to the York County Court of

Common Pleas. 65 P.S. § 67.1302(a). All parties must be served with notice of the appeal. The OOR also shall be served notice and have an opportunity to respond as per Section 1303 of the RTKL, 65 P.S. § 67.1303, but as the quasi-judicial tribunal that adjudicated this matter, the OOR is not a proper party to any appeal and should not be named as a party.³ All documents or communications following the issuance of this Final Determination shall be sent to oor-postfd@pa.gov. This Final Determination shall be placed on the website at: <http://openrecords.pa.gov>.

FINAL DETERMINATION ISSUED AND MAILED: June 20, 2024

/s/ Jordan Davis

SENIOR APPEALS OFFICER
JORDAN C. DAVIS

Sent via OOR portal to: Frank Curry;
Jeff Mummert;
Christopher Harris, Esq.

³ *Padgett v. Pa. State Police*, 73 A.3d 644, 648 n.5 (Pa. Commw. Ct. 2013).



PROJECT	WORK PERFORMED LAST PERIOD (October 22 nd to November 26 th)	WORK TO BE PERFORMED THIS PERIOD (November 26 th to December 24 th)
GENERAL TOWNSHIP PROJECTS		
1. NPDES – MS4 Reporting	<ul style="list-style-type: none"> No work completed this period. 	<ul style="list-style-type: none"> Monitor permit status and perform work as necessary.
2. Misc. Consulting Services	<ul style="list-style-type: none"> Present woodlands evaluations to the P&R board and discuss tree removal / invasive species budgeting with Township Staff. Coordination on sidewalk / trail existing connections and community nodes plan with Township Staff. Plan and Opinion of Probable Cost for 448 Marion Culvert Replacement. 	<ul style="list-style-type: none"> 448 Marion Culvert is on 11/26 BOS for discussion. Revise sidewalk / trail existing connection plan per staff comments and give to P&R Board to review ahead of their January 2025 meeting.
3. Old Bethlehem Pike Bridge Replacement / Streambank Stabilization	<ul style="list-style-type: none"> Project is out to bid and will be opened first week in December. 	<ul style="list-style-type: none"> Anticipate evaluation of bids and potential award at 12/10 BOS meeting.
4. Road Repaving Program	<ul style="list-style-type: none"> Paving is complete for 2024. Final project payments and closeout documents to liquid fuels. 	<ul style="list-style-type: none"> Monitor project and perform work as necessary.
5. Park Master Plans (Ingersoll, Pen-Ambler, Oxford) DCED Grant.	<ul style="list-style-type: none"> Continue design work for next phase of improvements for Ingersoll Park. Revised OPC for LSA grant application to fund remainder of Oxford Park – Phase 1 project. Portion of phase 1 is funded by recently received DCED C2P2 Grant (\$250,000). 	<ul style="list-style-type: none"> Working towards having a proposal and layout design from M&W Precast to be presented to BOS at the 12/10 meeting for Concession/Restroom/Press Box building at Ingersoll Park.
PRIVATE DEVELOPMENT PROJECTS		
1. Saint Charles Seminary	<ul style="list-style-type: none"> Punch list construction observation. 	<ul style="list-style-type: none"> Monitor project status and perform work as needed.

PROJECT	WORK PERFORMED LAST PERIOD (October 22 nd to November 26 th)	WORK TO BE PERFORMED THIS PERIOD (November 26 th to December 24 th)
2. Precision Watches	<ul style="list-style-type: none"> No work performed this period. 	<ul style="list-style-type: none"> Monitor project status and perform work as needed.
3. Hunt Seat Drive	<ul style="list-style-type: none"> Construction observation. 	<ul style="list-style-type: none"> Monitor project status and perform work as needed.
4. Goddard School	<ul style="list-style-type: none"> No work performed this period. 	<ul style="list-style-type: none"> Monitor project status and perform work as needed.
5. Gwynedd Mercy Academy High School	<ul style="list-style-type: none"> Construction observation. Working towards CO for the project. 	<ul style="list-style-type: none"> Monitor project status and perform work as needed.
6. GMU – Healthcare Innovation Campus	<ul style="list-style-type: none"> Construction observation and administration. 	<ul style="list-style-type: none"> Construction observation. Monitor project status and perform work as necessary.
7. SHIP Building 14 Parking & Substation Land Development	<ul style="list-style-type: none"> Construction observation. 	<ul style="list-style-type: none"> Monitor project status and perform work as necessary.
8. 776 Johns Lane (Hughes Subdivision)	<ul style="list-style-type: none"> Construction observation. 	<ul style="list-style-type: none"> Monitor project status and perform work as needed.
9. ACTS (Gwynedd Estates)	<ul style="list-style-type: none"> Conditional Use plan for storm pipe encroachment into the wetland buffer recommended by PC 10/16. 	<ul style="list-style-type: none"> CU and amended final plan will need to be heard by BOS on 11/26.
10. ACTS (Spring House Estates)	<ul style="list-style-type: none"> No work performed this period. 	<ul style="list-style-type: none"> Monitor project status and perform work as needed.

**LOWER GWYNEDD TOWNSHIP
PROJECT STATUS REPORT
November 2024**

SPRING HOUSE INTERSECTION PROJECT – PHASE 2

- Traffic signal modifications to revise the phasing for left-turn movements on northbound Bethlehem Pike and westbound Norristown Road has been completed.
- 30-day test period for the traffic signal ended on 9/27/2024. PennDOT issued the final acceptance letter on 10/8/2024.
- Remaining utility poles within the project limits have been removed.
- PennDOT permit was closed out on 10/16/2024.
- Montgomery County permit was closed out on 10/22/2024.
- Final payment application sent to contractor on 11/13/2024.
- Final contract total including all change orders \$54,834.15 less than original project bid.
- Montgomery County reached out to Bowman on 11/20/2024 for additional remediation on areas showing ponding; Bowman is currently coordinating with contractor to address.
- Bowman coordinating with PennDOT to close out the grant.

BETHLEHEM PIKE AND DAGER ROAD TRAFFIC SIGNAL POLE REPLACEMENTS

- Replace two (2) traffic signal poles at the intersection based on recent traffic signal maintenance inspection report.
- Project has been awarded to Armour & Sons for the construction work. Notification of award sent to the contractor on 10/9/2024.
- Construction anticipated for Spring 2025.

WELSH ROAD TRAFFIC SIGNAL UPGRADES

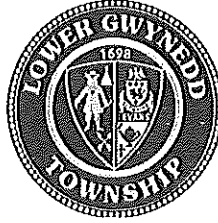
- Traffic signal upgrades for the intersections with Evans Road and Darden Drive/Gwynedd Crossing.
- Township awarded GLG grant of \$324,640 with 20% local match requirement of \$81,160.
- Township authorized Bowman for design/permitting/construction services on 10/8/2024.
- Estimated schedule for design/permitting/bidding = 9 – 12 months, heavily dependent on PennDOT review times.
- 1st PennDOT submission made on 11/13/2024.

SIDEWALK AND TRAIL PLAN

- Compiled preliminary inventory of existing trail crossings of roads in the township.
- Meeting scheduled with Parks and Recreation Committee for January 2025.

PENLLYN PIKE AND TREWELLYN AVENUE/OLD PENLLYN PIKE TRAFFIC SIGNAL UPGRADES

- Traffic signal modernization improvement project.
- Township awarded DCED LSA grant of \$451,312 with local match of \$112,828.
- Township waiting for DCED to provide grant agreement to execute and begin work.



1130 N. BETHLEHEM PIKE • P.O. BOX 625 • SPRING HOUSE, PA 19477-0625 • 215-646-5302 • FAX 215-646-3357

www.lowergwynedd.org

Finance Memorandum

Date: November 21, 2024

To: Mimi Gleason, Township Manager

From: Melinda Haldeman, CPA Finance Director

A handwritten signature in black ink, appearing to read "MH", is written over the name Melinda Haldeman.

RE: October 2024 LGT Financial Packet:

- ❖ Revenue and Expense Graphs as of October 31, 2024
- ❖ Fund Balances as of October 31, 2024
- ❖ Summary of Cash and Investments as of October 31, 2024
- ❖ YTD Budget Report with Prior Years Actuals thru October 31, 2024

The following are items I wish to bring to your attention:

- ❖ I have added a Revenue and an Expense Graph comparing Actual through October 31, 2024, to Annual Budget. I have grouped the funds as I did in the Budget presentation: Operating Funds, Sewer Funds, and Capital Funds. Notes at the bottom of each graph will explain anomalies if any.
- ❖ I have added a Summary of Cash and Investments report to the monthly financial packet. This report shows the Cash Balances by Fund as of October 31, 2024, and shows the amount of deposits per Banking Institution and the Balances compared to the Reserves per Fund Balance Policy.
- ❖ All cash account reconciliations are current through October 31, 2024
- ❖ All ARPA monies must be obligated by December 31, 2024, and paid out as of December 31, 2026. The current amount left to spend as of October 31, 2024, is \$8,734.90.

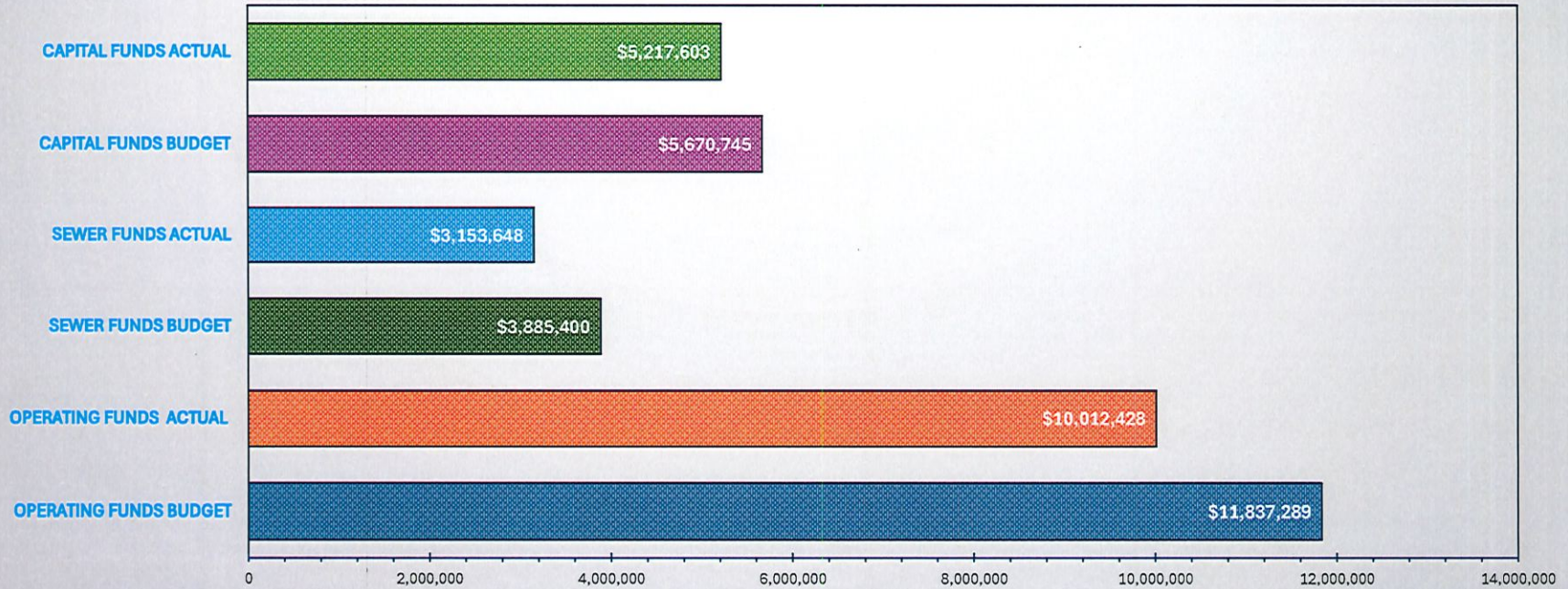
REVENUE AND EXPENSE GRAPHS:

CAPITAL FUNDS

SEWER FUNDS

OPERATING FUNDS

**Revenue Actual to Budget
YTD Thru October 31, 2024**

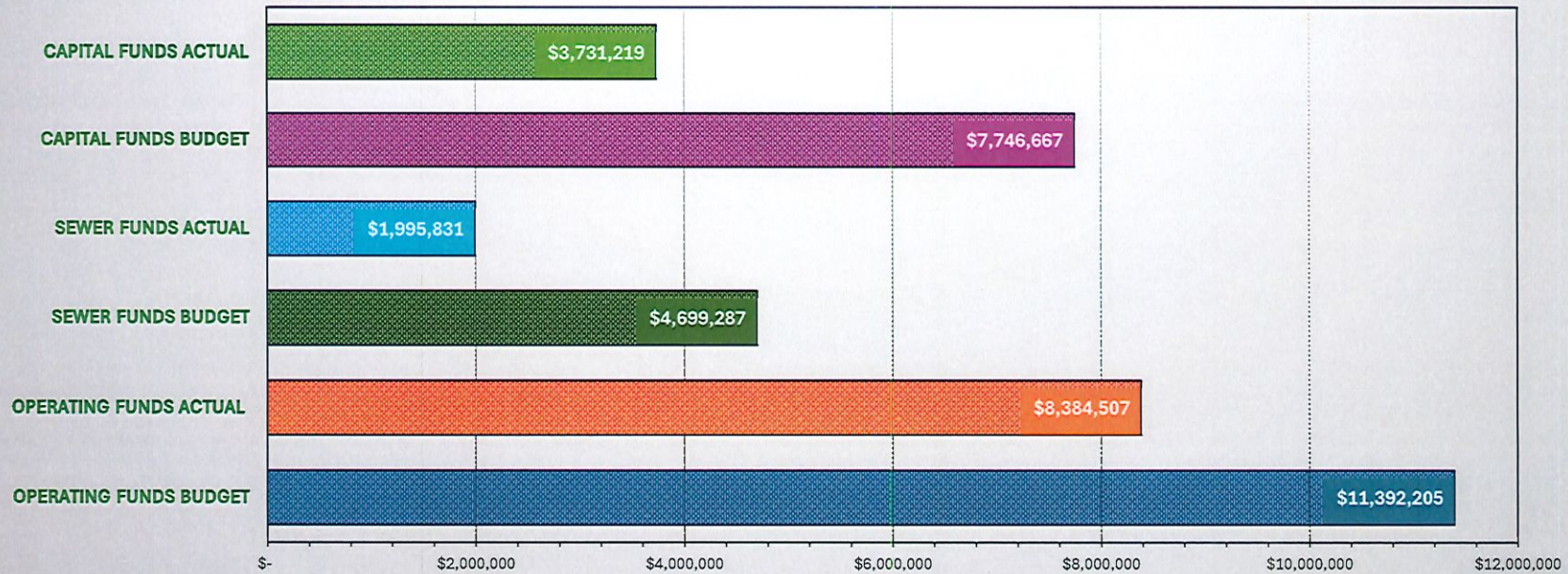


Capital Funds Revenue: Actual Revenues are 92% of Budget. Unbudgeted transfer in from GF for prior year reserves of 1.2M increased Revenue. Sale of Ingersol House was not Budgeted.

Sewer Funds Revenue: Actual Revenues are 81% of Budget. 4th Qtr sewer bill revenue was booked in October.

Operating Funds Revenue: Actual Revenue is 84% of Budget and we are on target.

**Expenses Actual to Budget
YTD Thru October 31, 2024**



Capital Funds Expenses: Actual Expenditures are 48% of Budget. Timing of budgeted projects moved forward.

Sewer Funds Expenses: Actual Expenditures are 42% of Budget. Ambler Capital Project was Budgeted 1M, of which only 95k was invoiced to us by Ambler. Last Qtr Bill for Treatment has not been received.

Operating Funds Expenses: Actual Expenses are 75% of Budget and are on target. In December we have Budgeted Transfers and accruals

FUND BALANCE
AND
SUMMARY OF CASH AND INVESTMENTS

Lower Gwynedd Township
Fund and Cash Balances as of October 31, 2024

FUND #	FUND	FUND BALANCE @		FUND BALANCE @
		01/01/2024 FINAL	(INCREASE)DECREASE THRU 10/31/2024	
01	GENERAL	-8,012,322.99	-1,418,544.80	-9,430,867.79
02	STREET LIGHT	-29,226.63	-11,471.21	-40,697.84
03	FIRE PROTECTION	-61,793.14	-206,711.76	-268,504.90
04	FIRE HYDRANT	-59,525.99	3,772.91	-55,753.08
05	RECREATION	23,901.46	5,033.91	28,935.37
	GENERAL OPERATING FUNDS SURPLUS	-8,138,967.29	-1,627,920.95	-9,766,888.24
08	SEWER OP	-5,763,141.16	-976,666.90	-6,739,808.06
09	SEWER CAPITAL	-4,371,454.29	-181,150.17	-4,552,604.46
	SEWER FUNDS SURPLUS	-10,134,595.45	-1,157,817.07	-11,292,412.52
16	ACQ OPEN SPACE	-2,250,870.84	-102,682.48	-2,353,553.32
30	CAPITAL RESERVE	-4,214,533.23	-2,125,803.27	-6,340,336.50
31	STORMWATER MNGMNT	-795,605.31	10,485.07	-785,120.24
33	TRAFFIC IMPACT	-1,819,129.36	792,947.22	-1,026,182.14
35	HIGHWAY AID	-400,571.72	-61,331.34	-461,903.06
	CAPITAL FUNDS	-9,480,710.46	-1,486,384.80	-10,967,095.26

YTD SURPLUS ALL FUNDS:	-4,272,122.82
------------------------	---------------

NEGATIVE BALANCES ARE DEPICTED IN RED

FUND BALANCE: THE FUND BALANCE IS THE CULMINATION OF INCOME NETTED AGAINST EXPENSES FROM THE INCEPTION OF THE FUND. WHEN (REVENUE) EXCEEDS EXPENSES, THE FUND BALANCE WILL BE A (CREDIT).

Summary of Cash and Investments
10/31/2024

10/31/2024

FUND #		Cash Balance
01	GENERAL	9,546,534.36
02	STREET LIGHT	42,029.76
03	FIRE PROTECTION	293,748.65
04	FIRE HYDRANT	67,679.94
05	RECREATION	61,849.30
	GENERAL OPERATING FUNDS CASH	\$ 10,011,842.01
08	SEWER OP	3,489,576.81
09	SEWER CAPITAL	4,561,993.00
	SEWER FUNDS CASH	\$ 8,051,569.81
16	ACQ OPEN SPACE	2,353,553.32
30	CAPITAL RESERVE	5,150,146.71
31	STORMWATER MNGMNT	835,250.05
33	TRAFFIC IMPACT	1,504,213.42
35	HIGHWAY AID	461,903.06
	CAPITAL FUNDS CASH	\$ 10,305,066.56
	Total Cash	\$ 28,368,478.38

Includes ARPA

<u>Banking Institution</u>	<u>10/31/2024 Cash Balance</u>
PLIGIT	24,640,377.42
TRUIST	3,667,313.76
CITADEL	60,787.20
	\$ 28,368,478.38

<u>Reserves per Fund Balance Policy</u>	<u>Reserves Per Policy 2024</u>	<u>10/31/2024 Cash Balance</u>
General Fund Reserves	2,573,045.00	9,546,534.36
Sewer Fund Reserves	1,296,890.00	3,489,576.81
Sewer Capital Reserves	1,000,000.00	4,561,993.00

YTD BUDGET REPORT WITH ACTUALS
2021/2022/2023/2024

11/21/2024
11:37:36

Lower Gwynedd Township
YTD BUDGET REPORT WITH PRIOR YEARS
THRU OCTOBER 2021/2022/2023/2024
FOR PERIOD 10 OF 2024

PAGE 1
glactrpt
ANNUAL 2024
BUDGET
CY REV
BUDGET

ACCOUNTS FOR:
01 GENERAL FUND

	PRIOR YR3 ACTUALS 2021	PRIOR YR2 ACTUALS 2022	LAST YR ACTUALS 2023	CURRENT YR ACTUALS 2024	BUDGET
REVENUE					
301 REAL ESTATE TAXES	-967,204.45	-1,046,731.67	-1,071,102.20	-1,070,785.11	-1,075,000.00
310 LOCAL TAX ACT 511	-5,126,705.30	-6,363,160.56	-6,206,476.97	-6,161,297.81	-7,435,000.00
321 BUSINESS LICENSES & PRMTS	-202,717.04	-204,600.87	-201,497.45	-193,194.39	-257,200.00
331 FINES	-8,888.13	-6,029.33	-8,078.90	-9,888.63	-11,500.00
341 INTEREST EARNINGS	-5,974.13	-46,831.22	-246,079.06	-334,156.38	-330,000.00
342 RENTS & ROYALTIES	-176,587.70	-181,885.31	-186,721.39	-189,976.70	-281,529.00
354 ST. CAPITAL & OP. GRANTS	.00	.00	-753.10	-2,081.68	-2,500.00
355 STATE SHARED REV & ENTLMT	-373,009.82	-426,781.19	-484,911.20	-524,938.38	-486,117.00
358 LOCAL GOVT ENTITLEMENT	-20,219.76	-24,290.85	.00	-17,705.38	-19,000.00
361 PERMITS/DEVELOPMENT	-545,674.82	-499,765.36	-506,264.89	-451,204.70	-583,500.00
362 PUBLIC SAFETY	-153,817.67	-164,146.18	-171,198.48	-182,370.49	-190,973.00
363 HGHWS & STS	-3,810.00	-3,900.00	-3,990.00	-4,080.00	-4,080.00
380 MISCELLANEOUS REVENUE	-2,594.27	-1,860.72	-1,681.03	-1,217.36	-5,000.00
387 DIVIDENDS/MISC REV	-73,710.64	-25,097.14	-16,441.00	.00	-30,000.00
392 INTERFUND OPERATING TRANS	.00	-4,164.00	.00	.00	-10,394.00
EXPENSES					
401 EXECUTIVE	592,170.27	478,508.94	692,827.79	850,715.25	960,619.00
402 FINANCIAL ADMIN	214,362.74	195,916.39	335,844.82	258,132.23	415,092.00
403 TAX COLLECTION	78,371.20	88,148.72	89,175.71	91,038.84	112,310.00
409 BUILDNGS & PLANT	180,520.44	201,020.02	201,211.23	234,071.64	289,044.00
410 POLICE	2,791,018.88	3,046,701.50	3,402,790.62	3,481,411.33	4,674,355.96
411 FIRE	109,891.47	.00	134,431.76	137,086.34	137,473.00
412 AMBULANCE	33,896.00	.00	30,000.00	30,000.00	30,000.00
414 PLANING & ZONING	510,950.33	457,686.42	482,082.84	587,270.38	819,964.00
430 PW-HIGHWAY RDS STS	677,559.06	586,020.87	659,610.40	628,728.29	924,165.00
487 EMPLOYEE BENEFITS	649,644.05	298,830.87	357,940.98	43,083.87	584,158.00
492 INTERFUND OPERATING TRANS	765,000.00	1,790,000.00	600,000.00	1,382,814.04	1,345,000.00
TOTAL GENERAL FUND	-1,057,529.29	-1,856,410.67	-2,119,279.52	-1,418,544.80	-429,612.04
TOTAL REVENUES	-7,660,913.73	-8,999,244.40	-9,105,195.67	-9,142,897.01	-10,721,793.00
TOTAL EXPENSES	6,603,384.44	7,142,833.73	6,985,916.15	7,724,352.21	10,292,180.96
TOTAL 01 GENERAL FUND	-1,057,529.29	-1,856,410.67	-2,119,279.52	-1,418,544.80	-429,612.04

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ACCOUNTS FOR:	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
02 STREET LIGHT FUND					
301 REAL ESTATE TAXES	-15,801.91	-16,567.98	-18,220.74	-16,467.69	-19,000.00
341 INTEREST EARNINGS	-13.57	-224.65	-1,026.77	-1,419.95	-1,100.00
434 PW -STREET LGHTNG	7,420.89	11,252.45	8,970.28	6,416.43	13,935.00
TOTAL STREET LIGHT FUND	-8,394.59	-5,540.18	-10,277.23	-11,471.21	-6,165.00
TOTAL REVENUES	-15,815.48	-16,792.63	-19,247.51	-17,887.64	-20,100.00
TOTAL EXPENSES	7,420.89	11,252.45	8,970.28	6,416.43	13,935.00
TOTAL 02 STREET LIGHT FUND	-8,394.59	-5,540.18	-10,277.23	-11,471.21	-6,165.00

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ACCOUNTS FOR:	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
03 FIRE PROTECTION FUND					
301 REAL ESTATE TAXES	-181,482.39	-196,096.80	-201,681.22	-201,888.95	-202,700.00
341 INTEREST EARNINGS	-22.75	-1,232.69	-4,839.41	-3,704.84	-5,500.00
392 INTERFUND OPERATING TRANS	-165,000.00	-165,000.00	.00	-165,000.00	-165,000.00
480 MISC EXPENDITURES	171,247.03	184,663.46	.00	139,486.33	203,700.00
489 OTHER MISC EXP	124,509.28	145,550.00	141,121.00	24,395.70	165,000.00
TOTAL FIRE PROTECTION FUND	-50,748.83	-32,116.03	-65,399.63	-206,711.76	-4,500.00
TOTAL REVENUES	-346,505.14	-362,329.49	-206,520.63	-370,593.79	-373,200.00
TOTAL EXPENSES	295,756.31	330,213.46	141,121.00	163,882.03	368,700.00
TOTAL 03 FIRE PROTECTION FUND	-50,748.83	-32,116.03	-65,399.63	-206,711.76	-4,500.00

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ACCOUNTS FOR:	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
04 FIRE HYDRANT FUND					
301 REAL ESTATE TAXES	-37,172.14	-40,426.66	-39,794.08	-37,196.88	-41,650.00
341 INTEREST EARNINGS	-19.87	-639.60	-2,599.04	-2,736.58	-3,100.00
411 FIRE	32,574.72	33,401.07	39,160.62	43,706.37	50,000.00
TOTAL FIRE HYDRANT FUND	-4,617.29	-7,665.19	-3,232.50	3,772.91	5,250.00
TOTAL REVENUES	-37,192.01	-41,066.26	-42,393.12	-39,933.46	-44,750.00
TOTAL EXPENSES	32,574.72	33,401.07	39,160.62	43,706.37	50,000.00
TOTAL 04 FIRE HYDRANT FUND	-4,617.29	-7,665.19	-3,232.50	3,772.91	5,250.00

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ACCOUNTS FOR:	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
05 RECREATION FUND					
301 REAL ESTATE TAXES	-354,139.32	-392,587.09	-393,693.80	-398,570.42	-395,500.00
341 INTEREST EARNINGS	-126.03	-1,972.06	-9,268.92	-778.73	-12,000.00
361 PERMITS/DEVELOPMENT	-5,500.00	-6,152.50	-9,500.00	-16,252.00	-22,096.00
367 RECREATION	-9,293.00	-17,972.00	-37,035.00	-25,516.00	-67,850.00
392 INTERFUND OPERATING TRANS	.00	.00	.00	.00	-180,000.00
437 PW REPR TOOL&MAC	5,395.66	12,251.24	9,181.64	7,956.28	11,000.00
451 CULTURE-RECREATION	144,507.32	162,855.40	187,957.01	189,769.66	286,066.00
452 PARTICIPANT RECREATION	.00	.00	7,030.41	.00	19,770.00
453 RECREATION EVENTS	8,737.33	14,853.74	15,379.62	19,935.51	22,500.00
454 PARKS	243,009.11	255,170.17	310,935.57	183,712.58	300,479.00
486 INSURANCE	12,045.92	4,222.36	13,510.12	29,535.84	17,603.00
487 EMPLOYEE BENEFITS	11,809.77	12,023.38	13,809.42	15,241.19	9,972.00
TOTAL RECREATION FUND	56,446.76	42,692.64	108,306.07	5,033.91	-10,056.00
TOTAL REVENUES	-369,058.35	-418,683.65	-449,497.72	-441,117.15	-677,446.00
TOTAL EXPENSES	425,505.11	461,376.29	557,803.79	446,151.06	667,390.00
TOTAL 05 RECREATION FUND	56,446.76	42,692.64	108,306.07	5,033.91	-10,056.00

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ACCOUNTS FOR:	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
08 SEWER FUND					
341 INTEREST EARNINGS	-723.81	-14,655.87	-59,919.56	-20,926.18	-70,000.00
361 PERMITS/DEVELOPMENT	.00	-186.66	-50.00	.00	-100.00
364 SANITATION	-2,714,339.25	-2,688,929.29	-2,724,434.04	-2,831,714.40	-2,834,300.00
383 SPECIAL ASSESSMENTS	-1,140.04	.00	-900.00	.00	-1,000.00
392 INTERFUND OPERATING TRANS	.00	.00	.00	.00	-800,000.00
401 EXECUTIVE	13,507.03	6,188.59	-1,610.76	155.05	15,000.00
402 FINANCIAL ADMIN	18,478.63	8,162.27	16,294.24	17,847.75	27,500.00
408 ENGINEERING	8,583.23	3,841.06	4,000.00	.00	5,000.00
409 BUILDNGS & PLANT	60,534.00	62,350.00	63,600.00	63,600.00	130,000.00
429 PW-WASTEWTR COLL	900,267.91	1,134,738.38	1,228,268.07	1,621,080.59	2,991,188.00
486 INSURANCE	8,242.96	3,870.60	1,685.32	3,299.90	2,507.00
487 EMPLOYEE BENEFITS	95,396.88	84,958.68	87,359.89	69,990.39	171,342.00
492 INTERFUND OPERATING TRANS	600,000.00	604,164.00	.00	100,000.00	15,065.00
TOTAL SEWER FUND	-1,011,192.46	-795,498.24	-1,385,706.84	-976,666.90	-347,798.00
TOTAL REVENUES	-2,716,203.10	-2,703,771.82	-2,785,303.60	-2,852,640.58	-3,705,400.00
TOTAL EXPENSES	1,705,010.64	1,908,273.58	1,399,596.76	1,875,973.68	3,357,602.00
TOTAL 08 SEWER FUND	-1,011,192.46	-795,498.24	-1,385,706.84	-976,666.90	-347,798.00

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ACCOUNTS FOR:	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
09 SEWER CAPITAL RESERVE					
341 INTEREST EARNINGS	-1,087.73	-37,702.58	-159,826.03	-201,008.18	-180,000.00
392 INTERFUND OPERATING TRANS	-600,000.00	-600,000.00	.00	-100,000.00	.00
409 BUILDNGS & PLANT	5,378.50	9,149.75	.00	18,174.80	56,685.00
429 PW-WASTEWTR COLL	35,802.00	28,131.99	35,781.00	39,615.78	46,000.00
439 CONSTRUCTION & REBUILDING	18,963.67	72,191.25	73,473.98	62,067.43	439,000.00
492 INTERFUND OPERATING TRANS	.00	.00	.00	.00	800,000.00
TOTAL SEWER CAPITAL RESERVE	-540,943.56	-528,229.59	-50,571.05	-181,150.17	1,161,685.00
TOTAL REVENUES	-601,087.73	-637,702.58	-159,826.03	-301,008.18	-180,000.00
TOTAL EXPENSES	60,144.17	109,472.99	109,254.98	119,858.01	1,341,685.00
TOTAL 09 SEWER CAPITAL RESERVE	-540,943.56	-528,229.59	-50,571.05	-181,150.17	1,161,685.00

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ACCOUNTS FOR:	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
16 ACQUISITION OF OPEN SPAC					
341 INTEREST EARNINGS	-568.32	-20,422.35	-93,093.48	-102,682.48	-118,000.00
454 PARKS	600.00	25.00	4,462.98	.00	10,000.00
TOTAL ACQUISITION OF OPEN SPAC	31.68	-20,397.35	-88,630.50	-102,682.48	-108,000.00
TOTAL REVENUES	-568.32	-20,422.35	-93,093.48	-102,682.48	-118,000.00
TOTAL EXPENSES	600.00	25.00	4,462.98	.00	10,000.00
TOTAL 16 ACQUISITION OF OPEN SPAC	31.68	-20,397.35	-88,630.50	-102,682.48	-108,000.00

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ACCOUNTS FOR:	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
30 CAPITAL RESERVE FUND					
341 INTEREST EARNINGS	-6,534.15	-48,892.74	-191,898.65	-331,650.60	-230,007.00
351 FEDERAL GRANTS	.00	-603,593.36	-250,000.00	-310,980.00	.00
354 ST. CAPITAL & OP. GRANTS	.00	.00	.00	-935,219.77	-1,316,067.00
391 FIXED ASSETS PROCEEDS	.00	-47,187.00	.00	-709,980.00	-20,000.00
392 INTERFUND OPERATING TRANS	-500,000.00	-725,000.00	-600,000.00	-1,217,814.04	-200,000.00
401 EXECUTIVE	.00	.00	82,130.00	362,036.63	762,852.00
407 DATA PROCESSING	.00	5,926.78	18,572.00	17,069.68	64,315.00
409 BUILDNGS & PLANT	82,117.53	38,956.10	20,894.29	31,237.48	386,000.00
410 POLICE	21,233.52	41,754.25	129,831.00	136,823.44	242,000.00
430 PW-HIGHWAY RDS STS	20,976.30	.00	35,781.00	119,951.41	110,000.00
439 CONSTRUCTION & REBUILDING	113,660.30	100,829.70	47,296.57	603,308.36	1,177,000.00
454 PARKS	34,343.21	137,536.63	90,316.58	109,414.14	716,500.00
492 INTERFUND OPERATING TRANS	.00	.00	33,655.00	.00	.00
TOTAL CAPITAL RESERVE FUND	-234,203.29	-1,099,669.64	-583,422.21	-2,125,803.27	1,692,593.00
TOTAL REVENUES	-506,534.15	-1,424,673.10	-1,041,898.65	-3,505,644.41	-1,766,074.00
TOTAL EXPENSES	272,330.86	325,003.46	458,476.44	1,379,841.14	3,458,667.00
TOTAL 30 CAPITAL RESERVE FUND	-234,203.29	-1,099,669.64	-583,422.21	-2,125,803.27	1,692,593.00

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ACCOUNTS FOR:	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
31 STORMWATER MANAGEMENT					
341 INTEREST EARNINGS	-142.12	-3,267.89	-14,030.17	-36,308.07	-20,000.00
354 ST. CAPITAL & OP. GRANTS	.00	.00	.00	-64,497.00	-158,920.00
387 DIVIDENDS/MISC REV	-7,166.50	-85,769.50	-66,749.50	-34,727.50	-260,435.00
446 STORMWATER MANAGEMENT	32,399.01	71,969.84	70,791.93	146,017.64	478,000.00
TOTAL STORMWATER MANAGEMENT	25,090.39	-17,067.55	-9,987.74	10,485.07	38,645.00
TOTAL REVENUES	-7,308.62	-89,037.39	-80,779.67	-135,532.57	-439,355.00
TOTAL EXPENSES	32,399.01	71,969.84	70,791.93	146,017.64	478,000.00
TOTAL 31 STORMWATER MANAGEMENT	25,090.39	-17,067.55	-9,987.74	10,485.07	38,645.00

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ACCOUNTS FOR:	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
33 TRAFFIC IMPACT FUND					
341 INTEREST EARNINGS	-446.20	-13,527.41	-67,156.79	-79,097.90	-81,000.00
354 ST. CAPITAL & OP. GRANTS	.00	2,417.50	.00	-1,004,454.28	-2,416,316.00
361 PERMITS/DEVELOPMENT	-19,892.92	-79,975.00	.00	.00	-50,000.00
392 INTERFUND OPERATING TRANS	-100,000.00	-900,000.00	.00	.00	-800,000.00
433 PW -TRAFFIC	242,695.99	49,128.52	427,841.69	1,870,675.38	2,690,000.00
439 CONSTRUCTION & REBUILDING	.00	.00	12,673.09	5,824.02	665,000.00
TOTAL TRAFFIC IMPACT FUND	122,356.87	-941,956.39	373,357.99	792,947.22	7,684.00
TOTAL REVENUES	-120,339.12	-991,084.91	-67,156.79	-1,083,552.18	-3,347,316.00
TOTAL EXPENSES	242,695.99	49,128.52	440,514.78	1,876,499.40	3,355,000.00
TOTAL 33 TRAFFIC IMPACT FUND	122,356.87	-941,956.39	373,357.99	792,947.22	7,684.00

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ACCOUNTS FOR:	PRIOR YR3 ACTUALS	PRIOR YR2 ACTUALS	LAST YR ACTUALS	CURRENT YR ACTUALS	CY REV BUDGET
35 HIGHWAY AID FUND					
341 INTEREST EARNINGS	-292.08	-6,490.32	-24,706.93	-21,979.18	-36,000.00
355 STATE SHARED REV & ENTLMT	-348,150.90	-359,978.98	-368,867.51	-368,213.97	-370,000.00
392 INTERFUND OPERATING TRANS	.00	.00	-33,655.00	.00	.00
430 PW-HIGHWAY RDS STS	36,264.99	37,144.48	6,527.77	27,200.56	30,000.00
439 CONSTRUCTION & REBUILDING	370,035.07	232,979.88	296,793.60	301,661.25	415,000.00
TOTAL HIGHWAY AID FUND	57,857.08	-96,344.94	-123,908.07	-61,331.34	39,000.00
TOTAL REVENUES	-348,442.98	-366,469.30	-427,229.44	-390,193.15	-406,000.00
TOTAL EXPENSES	406,300.06	270,124.36	303,321.37	328,861.81	445,000.00
TOTAL 35 HIGHWAY AID FUND	57,857.08	-96,344.94	-123,908.07	-61,331.34	39,000.00
GRAND TOTAL	-2,645,846.53	-5,358,203.13	-3,958,751.23	-4,272,122.82	2,038,725.96

Lower Gwynedd Township



PAID INVOICES REPORT

WARRANT: 112624

TO FISCAL 2024/11 01/01/2024 TO 12/31/2024

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
18 21ST CENTURY MEDIA NEWSPAPER, LLC	167751	11/07/24	69501		103751	P	11/26/24	01414 340	LEGAL NOTICES	1,253.62
	INVOICE:	2658174								
VENDOR TOTALS				24,547.71	YTD INVOICED			26,466.93	YTD PAID	1,253.62
4098 ALTOMARE PRECAST INC.	167845	10/28/24	69597		103752	P	11/26/24	01430 370	R&M PW	1,115.00
	INVOICE:	24-1216								
VENDOR TOTALS				1,115.00	YTD INVOICED			1,115.00	YTD PAID	1,115.00
3976 ANTHONY GULLO	167828	11/21/24	69580		103753	P	11/26/24	01430 320	COMMUNICATION	168.75
	INVOICE:	112124								
	167828	11/21/24	69580		103753	P	11/26/24	08429 320	COMMUNICATIONS	56.25
	INVOICE:	112124								
VENDOR TOTALS				225.00	YTD INVOICED			365.97	YTD PAID	225.00
2738 ARBOR VALLEY TREE SURGEONS, INC.	167792	11/06/24	69543		103754	P	11/26/24	31446 450	CONTRACTED SERVICES	4,569.16
	INVOICE:	2442								
VENDOR TOTALS				57,731.66	YTD INVOICED			57,731.66	YTD PAID	4,569.16
3210 ARMOUR & SONS ELECTRIC, INC.	167808	11/07/24	69560		103755	P	11/26/24	01430 370	R&M PW	3,085.39
	INVOICE:	910041486								
VENDOR TOTALS				35,249.02	YTD INVOICED			35,249.02	YTD PAID	3,085.39
3431 ASPHALT MAINTENANCE SOLUTIONS, LLC	167812	11/04/24	69564		103756	P	11/26/24	30439 000	INFRASTRUCTURE REBUILDING	349,165.29
	INVOICE:	FINAL APPL PMT 1								
VENDOR TOTALS				349,165.29	YTD INVOICED			349,165.29	YTD PAID	349,165.29
3319 BUCKS COUNTY WATER & SEWER AUTHORITY	167810	11/15/24	69562		103757	P	11/26/24	08429 450	CONTRACTED SERVICES	4,300.00
	INVOICE:	2024-011								
VENDOR TOTALS				60,385.00	YTD INVOICED			68,985.00	YTD PAID	4,300.00
2523 CLINTON SNYDER	167789	11/01/24	69540		103758	P	11/26/24	01430 320	COMMUNICATION	168.75
	INVOICE:	112124								
	167789	11/01/24	69540		103758	P	11/26/24	08429 320	COMMUNICATIONS	56.25
	INVOICE:	112124								

Lower Gwynedd Township



PAID INVOICES REPORT

WARRANT: 112624

TO FISCAL 2024/11 01/01/2024 TO 12/31/2024

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
VENDOR TOTALS		436.49 YTD INVOICED						436.49 YTD PAID		225.00
4097	CORBO LANDSCAPING INC.									
	167805	11/04/24	69557		1021	M	11/26/24	30401 900	EXPENDITURES - ARPA FUNDS	8,734.90
	INVOICE: 26282	ARPA								
	167843	11/04/24	69595		103759	P	11/26/24	31446 450	CONTRACTED SERVICES	17,440.10
	INVOICE: 26282									
	167844	11/05/24	69596		103759	P	11/26/24	31446 450	CONTRACTED SERVICES	1,400.00
	INVOICE: 26283									
VENDOR TOTALS		27,575.00 YTD INVOICED						27,575.00 YTD PAID		27,575.00
2803	CURT LIVEZEY									
	167795	11/08/24	69546		103760	P	11/26/24	01430 320	COMMUNICATION	168.75
	INVOICE: 112124									
	167795	11/08/24	69546		103760	P	11/26/24	08429 320	COMMUNICATIONS	56.25
	INVOICE: 112124									
VENDOR TOTALS		355.46 YTD INVOICED						509.07 YTD PAID		225.00
3676	DANIEL FANTINI									
	167824	11/21/24	69576		103761	P	11/26/24	01430 320	COMMUNICATION	126.56
	INVOICE: 112124									
	167824	11/21/24	69576		103761	P	11/26/24	08429 320	COMMUNICATIONS	42.19
	INVOICE: 112124									
VENDOR TOTALS		168.75 YTD INVOICED						168.75 YTD PAID		168.75
2149	DAVID PAUL GEORGE									
	167785	11/07/24	69535		103762	P	11/26/24	01430 320	COMMUNICATION	168.75
	INVOICE: 112124									
	167785	11/07/24	69535		103762	P	11/26/24	08429 320	COMMUNICATIONS	56.25
	INVOICE: 112124									
VENDOR TOTALS		265.00 YTD INVOICED						989.46 YTD PAID		225.00
129	DAVID H LIGHTKEP, INC.									
	167767	10/31/24	69517		103763	P	11/26/24	01430 220	SUPPLIES PW	580.95
	INVOICE: 103124									
VENDOR TOTALS		988.41 YTD INVOICED						988.41 YTD PAID		580.95
3614	DEJANA TRUCK & UTILITY EQUIPMENT CO., LLC									
	167817	08/01/24	69569		103764	P	11/26/24	01430 262	REPAIRS VEHICLES/TOOLS/MA	1,287.45
	INVOICE: R21489									
VENDOR TOTALS		16,745.99 YTD INVOICED						16,745.99 YTD PAID		1,287.45
25	DEL-VAL INTERNATIONAL TRUCKS, INC.									
	167752	11/19/24	69502		103765	P	11/26/24	01430 262	REPAIRS VEHICLES/TOOLS/MA	142.94

Lower Gwynedd Township



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VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
INVOICE: 13373811										
VENDOR TOTALS		5,061.26 YTD INVOICED			8,477.21 YTD PAID			142.94		
3756 DELCO SOLUTIONS, LLC	167826	11/15/24	69578		103766	P	11/26/24	01401 430	TECHNOLOGY	195.00
INVOICE: 4790										
VENDOR TOTALS		2,340.00 YTD INVOICED			2,535.00 YTD PAID			195.00		
125 DENNEY ELECTRIC SUPPLY	167766	10/30/24	69516		103767	P	11/26/24	09429 740	CAPITAL PURCHASES	339.21
INVOICE: S102322692.001										
167766		10/30/24	69516		103767	P	11/26/24	30430 700	CAPITAL PURCHASE, HIGHWAY	339.22
INVOICE: S102322692.001										
VENDOR TOTALS		1,148.67 YTD INVOICED			1,188.63 YTD PAID			678.43		
3483 ECKERT SEAMANS CHERIN & MELLOTT, LLC	167815	11/12/24	69567		103768	P	11/26/24	01401 314	LEGAL SERVICES	2,567.50
INVOICE: 1838739										
VENDOR TOTALS		26,552.50 YTD INVOICED			41,736.50 YTD PAID			2,567.50		
4078 EDWIN CARRERO	167838	11/21/24	69590		103769	P	11/26/24	01430 320	COMMUNICATION	56.25
INVOICE: 112124										
167838		11/21/24	69590		103769	P	11/26/24	08429 320	COMMUNICATIONS	18.75
INVOICE: 112124										
VENDOR TOTALS		275.00 YTD INVOICED			275.00 YTD PAID			75.00		
3048 ELLIOTT AUTO SUPPLY CO., INC.	167809	10/22/24	69561		103770	P	11/26/24	01430 220	SUPPLIES PW	250.29
INVOICE: 112124										
167809		10/22/24	69561		103770	P	11/26/24	01430 262	REPAIRS VEHICLES/TOOLS/MA	344.45
INVOICE: 112124										
167809		10/22/24	69561		103770	P	11/26/24	08429 262	R&M EQUIP/VEHICLES	58.05
INVOICE: 112124										
VENDOR TOTALS		8,251.06 YTD INVOICED			9,484.00 YTD PAID			652.79		
4070 ENRIQUE CRESPO	167833	11/21/24	69585		103771	P	11/26/24	01430 320	COMMUNICATION	84.38
INVOICE: 112124										
167833		11/21/24	69585		103771	P	11/26/24	08429 320	COMMUNICATIONS	28.12
INVOICE: 112124										
VENDOR TOTALS		134.00 YTD INVOICED			134.00 YTD PAID			112.50		
2867 FERGUSON HOLDINGS, INC.										

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TO FISCAL 2024/11 01/01/2024 TO 12/31/2024

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
	167797	10/07/24	69548		103772	P	11/26/24	01430 370	R&M PW	357.03
	INVOICE:	0713849								
	VENDOR TOTALS			357.03	YTD INVOICED			357.03	YTD PAID	357.03
4094	GENO NAVE									
	167839	11/21/24	69591		103773	P	11/26/24	01430 320	COMMUNICATION	84.38
	INVOICE:	112124								
	167839	11/21/24	69591		103773	P	11/26/24	08429 320	COMMUNICATIONS	28.12
	INVOICE:	112124								
	VENDOR TOTALS			112.50	YTD INVOICED			112.50	YTD PAID	112.50
67	GENUINE PARTS COMPANY									
	167763	10/01/24	69513		103774	P	11/26/24	01430 220	SUPPLIES PW	127.29
	INVOICE:	518116								
	VENDOR TOTALS			1,593.61	YTD INVOICED			1,604.99	YTD PAID	127.29
3626	GEORGE DAVID FRITZ									
	167841	10/16/24	69593		103775	P	11/26/24	01410 262	VEHICLE MAINTENANCE	545.70
	INVOICE:	1-GS24818								
	VENDOR TOTALS			5,836.28	YTD INVOICED			5,836.28	YTD PAID	545.70
26	GLASGOW, INC									
	167753	10/31/24	69503		103776	P	11/26/24	01430 370	R&M PW	181.20
	INVOICE:	261742								
	VENDOR TOTALS			1,137.54	YTD INVOICED			1,137.54	YTD PAID	181.20
436	GWYNEDD MERCY ACADEMY HIGH									
	167781	11/07/24	69531		103777	P	11/26/24	01310 100	REAL ESTATE TRANSFER TAX	33,437.44
	INVOICE:	112124								
	VENDOR TOTALS			33,437.44	YTD INVOICED			33,437.44	YTD PAID	33,437.44
3613	HEALTH MATS COMPANY									
	167816	11/01/24	69568		103778	P	11/26/24	01409 370	R&M ALL BLDNGS	71.35
	INVOICE:	26192								
	VENDOR TOTALS			784.85	YTD INVOICED			856.20	YTD PAID	71.35
380	HEIDELBERG MATERIALS US, INC.									
	167779	11/07/24	69529		103779	P	11/26/24	01430 370	R&M PW	169.21
	INVOICE:	4563850								
	VENDOR TOTALS			6,153.24	YTD INVOICED			6,945.07	YTD PAID	169.21
3358	KEYSTONE MUNICIPAL SERVICES, INC.									
	167811	10/30/24	69563		103780	P	11/26/24	01414 311	PROF SERV- UCC INSPECTING	7,227.00

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TO FISCAL 2024/11 01/01/2024 TO 12/31/2024

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
INVOICE: 38181										
VENDOR TOTALS		153,464.25 YTD INVOICED			174,597.75 YTD PAID			7,227.00		
417 LARRY DORN	167780	11/07/24	69530		103781	P	11/26/24	01430 320	COMMUNICATION	168.75
INVOICE: 112124										
167780	11/07/24	69530		103781	P	11/26/24	08429 320	COMMUNICATIONS	56.25	
INVOICE: 112124										
VENDOR TOTALS		453.95 YTD INVOICED			453.95 YTD PAID			225.00		
3963 LEADSONLINE PARENT LLC	167827	11/17/24	69579		103782	P	11/26/24	01410 222	DETECTIVE OPERATING SUPPL	2,567.00
INVOICE: 414662										
VENDOR TOTALS		5,060.00 YTD INVOICED			5,060.00 YTD PAID			2,567.00		
2643 LUBRICATING AND LIFTS EQUIPMENT LLC	167790	11/05/24	69541		103783	P	11/26/24	01430 262	REPAIRS VEHICLES/TOOLS/MA	357.00
INVOICE: 20314										
VENDOR TOTALS		1,087.50 YTD INVOICED			1,087.50 YTD PAID			357.00		
4000 MARK MANJARDI	167830	11/15/24	69582		103784	P	11/26/24	01414 314	PROF SERV- LEGAL (ZHB)	400.00
INVOICE: 111524										
167831	11/13/24	69583		103784	P	11/26/24	01414 314	PROF SERV- LEGAL (ZHB)	235.00	
INVOICE: 111324										
VENDOR TOTALS		7,375.00 YTD INVOICED			7,375.00 YTD PAID			635.00		
3646 MCDONALD UNIFORM COMPANY, INC.	167820	11/06/24	69572		103785	P	11/26/24	01410 238	UNIFORMS	469.05
INVOICE: 237046										
167821	11/06/24	69573		103785	P	11/26/24	01410 238	UNIFORMS	534.59	
INVOICE: 234013										
167822	11/08/24	69574		103785	P	11/26/24	01410 238	UNIFORMS	296.29	
INVOICE: 236676										
167823	07/29/24	69575		103785	P	11/26/24	01410 238	UNIFORMS	294.49	
INVOICE: 233665										
VENDOR TOTALS		21,837.51 YTD INVOICED			24,699.64 YTD PAID			1,594.42		
122 MELFIKO, INC.	167765	11/08/24	69515		103786	P	11/26/24	01401 460	VOLUNTEER BOARD COMMISSIO	242.88
INVOICE: 94439										
VENDOR TOTALS		445.28 YTD INVOICED			445.28 YTD PAID			242.88		
85 MOTOROLA SOLUTIONS, INC.										

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	167764	11/08/24	69514		103787	P	11/26/24	30410 705	POLICE PCCD GRANT EXP	7,416.00
	INVOICE:	1411134326								
	VENDOR TOTALS		21,946.00	YTD INVOICED				30,803.08	YTD PAID	7,416.00
2416 NICK FINORE	167786	11/07/24	69536		103788	P	11/26/24	01430 238	CLOTHING & UNIFORMS	300.00
	INVOICE:	112124								
	VENDOR TOTALS		300.00	YTD INVOICED				300.00	YTD PAID	300.00
140 NORTH WALES WATER AUTHORITY	167768	11/08/24	69518		103789	P	11/26/24	08429 360	UTILITIES	15.87
	INVOICE:	85091769	110824							
	167769	11/08/24	69519		103789	P	11/26/24	05454 360	UTILITIES	26.45
	INVOICE:	59057996	110824							
	167770	11/08/24	69520		103789	P	11/26/24	05454 360	UTILITIES	15.87
	INVOICE:	06346012	110824							
	167771	11/08/24	69521		103789	P	11/26/24	08429 360	UTILITIES	15.87
	INVOICE:	13691066	110824							
	167772	11/08/24	69522		103789	P	11/26/24	05454 360	UTILITIES	204.41
	INVOICE:	73994984	110824							
	167773	11/08/24	69523		103789	P	11/26/24	05454 360	UTILITIES	15.87
	INVOICE:	04271047	110824							
	167774	11/08/24	69524		103789	P	11/26/24	01409 360	UTILITIES	15.87
	INVOICE:	08863528	110824							
	167775	11/08/24	69525		103789	P	11/26/24	01409 360	UTILITIES	15.87
	INVOICE:	85344233	110824							
	167776	11/08/24	69526		103789	P	11/26/24	01409 360	UTILITIES	760.96
	INVOICE:	07240779	110824							
	167777	11/08/24	69527		103789	P	11/26/24	08429 360	UTILITIES	15.87
	INVOICE:	12763862	110824							
	167778	11/07/24	69528		103790	P	11/26/24	08429 450	CONTRACTED SERVICES	1,330.25
	INVOICE:	SALES0002548								
	VENDOR TOTALS		74,655.64	YTD INVOICED				78,030.89	YTD PAID	2,433.16
469 NYCO CORPORATION	167782	11/12/24	69532		103791	P	11/26/24	01430 262	REPAIRS VEHICLES/TOOLS/MA	90.44
	INVOICE:	B2405696								
	VENDOR TOTALS		1,183.72	YTD INVOICED				1,523.22	YTD PAID	90.44
4050 ODALYS CUMMINS	167832	11/08/24	69584		103792	P	11/26/24	01414 314	PROF SERV- LEGAL (ZHB)	680.00
	INVOICE:	110824								
	VENDOR TOTALS		2,380.00	YTD INVOICED				2,380.00	YTD PAID	680.00
596 PA ONE CALL SYSTEM, INC.	167783	10/31/24	69533		103793	P	11/26/24	08429 450	CONTRACTED SERVICES	459.68

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VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
INVOICE: 0001073951										
VENDOR TOTALS		2,245.59 YTD INVOICED						2,707.97 YTD PAID		459.68
3700 PA TURNPIKE TOLL BY PLATE	167825	11/01/24	69577		103794	P	11/26/24	01410 220	OPERATING SUPPLIES	7.10
INVOICE: 137595904-1										
VENDOR TOTALS		504.50 YTD INVOICED						517.10 YTD PAID		7.10
665 PAUL B. MOYER & SONS	167784	11/07/24	69534		103795	P	11/26/24	01430 262	REPAIRS VEHICLES/TOOLS/MA	5.54
INVOICE: 6030024										
VENDOR TOTALS		5,137.07 YTD INVOICED						5,202.06 YTD PAID		5.54
5 PECO - PAYMENT PROCESSING										
	167728	11/01/24	69478		103796	P	11/26/24	02434 379	R/M GWYNEDD RESERVE DISTR	7.68
INVOICE: 9503468000 110124										
	167729	11/06/24	69479		103796	P	11/26/24	02434 382	R/M GWYNN OAKS DISTRICT	7.68
INVOICE: 6075873000 110624										
	167730	11/14/24	69480		103796	P	11/26/24	01430 360	UTILITIES	9.10
INVOICE: 2793920100 111424										
	167731	11/01/24	69481		103796	P	11/26/24	05454 360	UTILITIES	13.40
INVOICE: 0548354000 110124										
	167732	11/01/24	69482		103796	P	11/26/24	05454 360	UTILITIES	26.94
INVOICE: 3270531222 110124										
	167733	11/06/24	69483		103796	P	11/26/24	02434 381	R/M WALNUT FARMS DISTRICT	27.01
INVOICE: 0457866000 110624										
	167734	11/11/24	69484		103796	P	11/26/24	08429 360	UTILITIES	32.08
INVOICE: 3372985000 111124										
	167735	11/04/24	69485		103796	P	11/26/24	05454 360	UTILITIES	33.93
INVOICE: 6865873000 110424										
	167736	11/14/24	69486		103796	P	11/26/24	05454 360	UTILITIES	35.75
INVOICE: 3978998000 111424										
	167737	11/06/24	69487		103796	P	11/26/24	02434 378	R/M CEDAR HILL EST DISTRI	38.51
INVOICE: 0671309000 110624										
	167738	11/04/24	69488		103796	P	11/26/24	08429 360	UTILITIES	40.86
INVOICE: 3161783000 110424										
	167739	11/11/24	69489		103796	P	11/26/24	02434 373	R/M TREWELLYN ESTATE DIST	46.44
INVOICE: 5486784000 111124										
	167740	11/01/24	69490		103796	P	11/26/24	05454 360	UTILITIES	46.49
INVOICE: 4325804000 110124										
	167741	11/14/24	69491		103796	P	11/26/24	01409 360	UTILITIES	46.54
INVOICE: 2971145000 111424										
	167742	11/04/24	69492		103796	P	11/26/24	05454 360	UTILITIES	51.77
INVOICE: 5210869000 110424										
	167743	11/01/24	69493		103796	P	11/26/24	05454 360	UTILITIES	56.40
INVOICE: 8946494000 110124										
	167744	11/14/24	69494		103796	P	11/26/24	05454 360	UTILITIES	158.25
INVOICE: 5759811222 111424										

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	167745	11/01/24	69495		103796	P	11/26/24	01409 360	UTILITIES	209.42
	INVOICE:	701952333	110124							
	167746	11/13/24	69496		103796	P	11/26/24	08429 360	UTILITIES	223.08
	INVOICE:	0251100100	111324							
	167747	11/06/24	69497		103796	P	11/26/24	01430 360	UTILITIES	227.06
	INVOICE:	5028407000	110624							
	167748	11/04/24	69498		103796	P	11/26/24	05454 360	UTILITIES	549.80
	INVOICE:	4161911222	110424							
	167749	11/04/24	69499		103796	P	11/26/24	08429 360	UTILITIES	682.90
	INVOICE:	5166383000	110424							
	167750	11/04/24	69500		103796	P	11/26/24	01409 360	UTILITIES	1,707.44
	INVOICE:	1665558000	110424							
	VENDOR TOTALS		69,568.93	YTD INVOICED				82,597.90	YTD PAID	4,278.53
2798	PENN DETROIT DIESEL ALLISON. LLC									
	167793	11/08/24	69544		103797	P	11/26/24	08429 370	R&M PUMP STATIONS/SEWER L	1,079.42
	INVOICE:	4669573								
	167794	11/08/24	69545		103797	P	11/26/24	01409 370	R&M ALL BLDNGS	388.50
	INVOICE:	4669574								
	VENDOR TOTALS		16,927.97	YTD INVOICED				18,640.59	YTD PAID	1,467.92
2919	PFM ASSET MANAGEMENT LLC									
	167798	09/30/24	69549		103798	P	11/26/24	01410 311	PROF. SERVICES - PENSION,	3,660.76
	INVOICE:	14495863								
	167798	09/30/24	69549		103798	P	11/26/24	01402 310	PROFESSIONAL SERVICES	1,162.46
	INVOICE:	14495863								
	VENDOR TOTALS		40,337.71	YTD INVOICED				49,066.35	YTD PAID	4,823.22
4072	PILOT THOMAS LOGISTICS, LLC									
	167834	10/31/24	69586		103799	P	11/26/24	01410 374	FUEL/ GASOLINE/ DIESEL	989.23
	INVOICE:	1043163-IN								
	167834	10/31/24	69586		103799	P	11/26/24	01430 374	FUEL/ GASOLINE/ DIESEL	775.82
	INVOICE:	1043163-IN								
	167835	11/07/24	69587		103799	P	11/26/24	01410 374	FUEL/ GASOLINE/ DIESEL	940.38
	INVOICE:	1048568-IN								
	167836	10/03/24	69588		103799	P	11/26/24	01410 374	FUEL/ GASOLINE/ DIESEL	6.53
	INVOICE:	1017522-IN FUELTX								
	167837	09/11/24	69589		103799	P	11/26/24	01410 374	FUEL/ GASOLINE/ DIESEL	6.55
	INVOICE:	W218445-IN FUELTX								
	VENDOR TOTALS		11,589.81	YTD INVOICED				11,589.81	YTD PAID	2,718.51
3458	REMCO, INC.									
	167813	11/05/24	69565		103800	P	11/26/24	01409 370	R&M ALL BLDNGS	641.27
	INVOICE:	760882								
	167814	11/11/24	69566		103800	P	11/26/24	01409 370	R&M ALL BLDNGS	8,504.29
	INVOICE:	763035								

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VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
VENDOR TOTALS		37,903.44 YTD INVOICED			39,910.41 YTD PAID			9,145.56		
3992 ROBERT COLLINS	167829	11/21/24	69581		103801	P	11/26/24	01430 320	COMMUNICATION	168.75
	INVOICE:	112124								
	167829	11/21/24	69581		103801	P	11/26/24	08429 320	COMMUNICATIONS	56.25
	INVOICE:	112124								
VENDOR TOTALS		324.90 YTD INVOICED			520.02 YTD PAID			225.00		
51 SANDI FEIGHT-HICKS	167762	09/24/24	69512		103802	P	11/26/24	05453 141	FALL FEST	33.99
	INVOICE:	092424								
VENDOR TOTALS		33.99 YTD INVOICED			33.99 YTD PAID			33.99		
2460 SANG CHUL LEE	167787	11/02/24	69537		103803	P	11/26/24	01410 238	UNIFORMS	135.00
	INVOICE:	2853								
VENDOR TOTALS		867.75 YTD INVOICED			929.70 YTD PAID			135.00		
2856 SEALMASTER	167796	09/13/24	69547		103804	P	11/26/24	01430 370	R&M PW	375.99
	INVOICE:	INV2082291								
VENDOR TOTALS		1,745.23 YTD INVOICED			1,745.23 YTD PAID			375.99		
4096 IDSC HOLDINGS LLC	167842	11/13/24	69594		103805	P	11/26/24	09429 740	CAPITAL PURCHASES	8,495.63
	INVOICE:	ARV/63105522								
	167842	11/13/24	69594		103805	P	11/26/24	30430 700	CAPITAL PURCHASE, HIGHWAY	8,495.62
	INVOICE:	ARV/63105522								
VENDOR TOTALS		16,991.25 YTD INVOICED			16,991.25 YTD PAID			16,991.25		
2725 THOMAS J. MORRIS III	167791	11/07/24	69542		103806	P	11/26/24	01410 220	OPERATING SUPPLIES	625.65
	INVOICE:	125046								
VENDOR TOTALS		6,835.80 YTD INVOICED			11,153.28 YTD PAID			625.65		
3641 TRAISSR, LLC	167819	10/31/24	69571		103807	P	11/26/24	01414 430	TECHNOLOGY	2,250.00
	INVOICE:	3037								
VENDOR TOTALS		16,800.00 YTD INVOICED			20,200.00 YTD PAID			2,250.00		
3625 TREETOP PRODUCTS, INC.	167818	11/06/24	69570		103808	P	11/26/24	01430 220	SUPPLIES PW	1,358.81

PAID INVOICES REPORT

WARRANT: 112624

TO FISCAL 2024/11 01/01/2024 TO 12/31/2024

VENDOR NAME	DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
INVOICE: INVTRE30095										
VENDOR TOTALS		1,358.81 YTD INVOICED			2,703.95 YTD PAID			1,358.81		
40	VERIZON									
167754	11/12/24	69504			103809	P	11/26/24	08429 320	COMMUNICATIONS	33.36
	INVOICE:	2156160540	111224							
167756	11/12/24	69506			103809	P	11/26/24	08429 320	COMMUNICATIONS	35.90
	INVOICE:	2156282913	111224							
167757	11/07/24	69507			103809	P	11/26/24	08429 320	COMMUNICATIONS	39.58
	INVOICE:	2155428926	110724							
167758	11/07/24	69508			103809	P	11/26/24	08429 320	COMMUNICATIONS	39.58
	INVOICE:	2152831193	110724							
167759	11/07/24	69509			103809	P	11/26/24	08429 320	COMMUNICATIONS	47.00
	INVOICE:	2155428927	110724							
167760	07/11/24	69510			103809	P	11/26/24	01409 320	COMMUNICATIONS	45.30
	INVOICE:	2152835268	111124							
167760	07/11/24	69510			103809	P	11/26/24	01409 320	COMMUNICATIONS	50.42
	INVOICE:	2152835268	111124							
167760	07/11/24	69510			103809	P	11/26/24	01409 320	COMMUNICATIONS	50.68
	INVOICE:	2152835268	111124							
167760	07/11/24	69510			103809	P	11/26/24	01409 320	COMMUNICATIONS	52.08
	INVOICE:	2152835268	111124							
167761	09/10/24	69511			103809	P	11/26/24	01409 320	COMMUNICATIONS	343.22
	INVOICE:	2156282630	111024							
167761	09/10/24	69511			103809	P	11/26/24	01409 320	COMMUNICATIONS	343.03
	INVOICE:	2156282630	111024							
167761	09/10/24	69511			103809	P	11/26/24	01409 320	COMMUNICATIONS	343.18
	INVOICE:	2156282630	111024							
VENDOR TOTALS		9,263.65 YTD INVOICED			10,009.92 YTD PAID			1,423.33		
3202	VERIZON BUSINESS NETWORK SERVICES, INC.									
167802	11/08/24	69553			103810	P	11/26/24	01409 320	COMMUNICATIONS	1,146.22
	INVOICE:	Z1035069								
VENDOR TOTALS		13,358.49 YTD INVOICED			14,001.68 YTD PAID			1,146.22		
3092	VERIZON WIRELESS									
167800	11/01/24	69551			103811	P	11/26/24	01401 320	COMMUNICATION	309.52
	INVOICE:	9977704655								
167800	11/01/24	69551			103811	P	11/26/24	01410 320	COMMUNICATIONS	762.61
	INVOICE:	9977704655								
167800	11/01/24	69551			103811	P	11/26/24	01430 320	COMMUNICATION	128.75
	INVOICE:	9977704655								
167800	11/01/24	69551			103811	P	11/26/24	05451 320	COMMUNICATION	66.91
	INVOICE:	9977704655								
167800	11/01/24	69551			103811	P	11/26/24	08429 320	COMMUNICATIONS	329.40
	INVOICE:	9977704655								

PAID INVOICES REPORT

WARRANT: 112624

TO FISCAL 2024/11 01/01/2024 TO 12/31/2024

VENDOR NAME DOCUMENT	INV DATE	VOUCHER	PO	CHECK NO	T	CHK DATE	GL ACCOUNT	GL ACCOUNT DESCRIPTION	
VENDOR TOTALS		18,913.44 YTD INVOICED			21,719.77 YTD PAID			1,597.19	
3204 VICTORY GARDEN'S, INC.									
167803	11/07/24	69554		103812	P	11/26/24	01430 370	R&M PW	100.00
INVOICE: 886782									
167804	11/11/24	69556		103812	P	11/26/24	01430 370	R&M PW	50.00
INVOICE: 886645									
167806	11/06/24	69558		103812	P	11/26/24	01430 370	R&M PW	100.00
INVOICE: 888101									
167807	11/06/24	69559		103812	P	11/26/24	01430 370	R&M PW	100.00
INVOICE: 886707									
VENDOR TOTALS		3,275.00 YTD INVOICED			3,275.00 YTD PAID			350.00	
2511 WEST PUBLISHING CORPORATION									
167788	11/01/24	69539		103813	P	11/26/24	30410 705	POLICE PCCD GRANT EXP	157.50
INVOICE: 851035263									
VENDOR TOTALS		1,665.00 YTD INVOICED			1,965.00 YTD PAID			157.50	
								REPORT TOTALS	506,770.38

	COUNT	AMOUNT
TOTAL PRINTED CHECKS	63	498,035.48
TOTAL MANUAL CHECKS	1	8,734.90

** END OF REPORT - Generated by Mary Trocino **



Statement

*3044
prepaid
10/17/24
wire 500*

Account Name: BILLING ACCOUNT 030522 Card Number: xxxx-xxxx-xxxx-0522
 Company Name: LOWER GWYNEDD TOWNSHIP Account Limit: \$ 20,000.00
 Employee ID: 772190000032397 Available Credit: \$ 15,961.55
 Statement Date (MM/DD/YYYY): 09/27/2024 Currency: U.S. DOLLAR
 Payment Due Date (MM/DD/YYYY): 10/24/2024

Statement Summary:

Report any items which do not agree with your records within 30 days of the statement date.

Previous Balance: \$ 5,590.04
 Payments: \$ -5,590.04
 Adjustments: \$ 0.00
 Net Purchases: \$ 4,038.45
 Cash Advance: \$ 0.00
 Fees: \$ 0.00
 Other Charges: \$ 0.00
New Account Balance: \$ 4,038.45

APF #63 AP.P #

Transaction Summary:

Trans Date	Posting Date Trans ID	Description	Pre-Tax Amount Auth #	Total Tax	Trans Amount
Card Number xxxx-xxxx-xxxx-0522 BILLING ACCOUNT 030522					
09/04	09/04 549004002	AUTOMATIC PYMT RECEIVED	\$ -5,590.04	\$ 0.00	\$ -5,590.04
			TOTAL CREDITS xxxx-xxxx-xxxx-0522		\$ -5,590.04
			TOTAL DEBITS xxxx-xxxx-xxxx-0522		\$ 0.00
Card Number xxxx-xxxx-xxxx-6350 FEIGHT-HICKS, SANDI L					
09/04	09/05 549241427	TWINKLE PHOTO BOOTH DRESHER PA <i>05453.141</i>	\$ 649.00 030291	\$ 0.00	\$ 649.00 ✓
09/13	09/16 550936682	PAYPAL WECONSERVE 7172194074 PA <i>01401.460</i>	\$ 70.75 038281	\$ 4.25 (e)	\$ 75.00 ✓
09/18	09/19 551722140	PAYPAL WECONSERVE 4029357733 PA <i>01401.460</i>	\$ 9.43 035844	\$ 0.57 (e)	\$ 10.00 ✓
09/20	09/23 552301965	RENTAL WORLD-LANSDALE LANSDALE PA <i>05453.141</i>	\$ 451.70 033505	\$ 27.10 (e)	\$ 478.80 ✓
09/21	09/23 552301887	SQ DOG BITES HOT DOGS LANSDALE PA <i>05453.141</i>	\$ 7.50 027781	\$ 0.50	\$ 8.00 ✓
09/21	09/23 552301964	SQ BROOD COFFEE TRUCK PHILADELPHIA PA <i>05453.141</i>	\$ 43.18 089527	\$ 12.73	\$ 55.91 ✓
09/21	09/23 552301888	SQ FATBOZZZ BBQ AND C NORRISTOWN PA <i>05453.141</i>	\$ 238.84 022622	\$ 16.16	\$ 255.00 ✓
			TOTAL CREDITS xxxx-xxxx-xxxx-6350		\$ 0.00
			TOTAL DEBITS xxxx-xxxx-xxxx-6350		\$ 1,531.71

Card Number xxxx-xxxx-xxxx-2252 KENNY, PAUL D

08/30	08/30	JONES & BARTLETT LEARN 8008320034 MA	\$ 96.96	\$ 6.06 (e)	\$ 103.02	✓
	548412683	01410.420	027717			
09/05	09/06	NU CPS REGISTRATION EVANSTON IL	\$ 275.23	\$ 24.77 (e)	\$ 300.00	✓
	549521505	01410.420	038038			
09/17	09/18	QUALIFICATION TARGETS HAMMOND WI	\$ 224.52	\$ 0.00	\$ 224.52	✓
	551498531	01410.220	008774			
09/18	09/19	DUNKIN #340169 MONTGOMERYVI PA	\$ 64.77	\$ 3.89 (e)	\$ 68.66	✓
	551722141	01410.420	053338			
09/18	09/20	FBI LEEDA INC 877-7727712 PA	\$ 734.41	\$ 60.59	\$ 795.00	✓
	551955394	01410.420	096652			

TOTAL CREDITS xxxx-xxxx-xxxx-2252 \$ 0.00
TOTAL DEBITS xxxx-xxxx-xxxx-2252 \$ 1,491.20

Card Number xxxx-xxxx-xxxx-6926 WORMAN, JAMIE P.

09/14	09/16	WWW.ELMWOODPARKZOO.COM 610-277-3825 PA	\$ 28.30	\$ 1.70 (e)	\$ 30.00	✓
	550936683	01401.420	015252			
09/18	09/19	GIANT 6510 SPRING HOUSE PA	\$ 25.04	\$ 0.52	\$ 25.56	✓
	551722212	01401.460	053204			
09/18	09/20	IL GIARDINO PIZZA CAFE SPRING HOUSE PA.	\$ 118.02	\$ 7.08 (e)	\$ 125.10	✓
	551955396	01401.460	053284			
09/21	09/23	EIG CONSTANTCONTACT.CO WALTHAM MA	\$ 88.00	\$ 0.00	\$ 88.00	✓
	552301966	01401.450	070800			
09/26	09/27	PSATS ENOLA PA	\$ 117.92	\$ 7.08 (e)	\$ 125.00	✓
	553104890	01401.420	020686			
09/26	09/27	PSATS ENOLA PA	\$ 117.92	\$ 7.08 (e)	\$ 125.00	✓
	553104889	01401.420	067961			

TOTAL CREDITS xxxx-xxxx-xxxx-6926 \$ 0.00
TOTAL DEBITS xxxx-xxxx-xxxx-6926 \$ 518.66

Card Number xxxx-xxxx-xxxx-3833 ZOLLERS, FRED

09/17	09/18	MICHAELS STORES 5181 NORTH WALES PA	\$ 14.15	\$ 0.85 (e)	\$ 15.00	✓
	551498532	01401.200	065724			
09/18	09/20	STAPLES 00100818 NORTH WALES PA	\$ 63.98	\$ 0.00	\$ 63.98	✓
	551955395	01430.220	035571			
09/23	09/24	SHERWIN-WILLIAMS705079 SPRING HOUSE PA	\$ 267.90	\$ 0.00	\$ 267.90	✓
	552418924	01430.220	026269			
09/25	09/26	FSP KAFMO DAUPHIN PA	\$ 141.51	\$ 8.49 (e)	\$ 150.00	✓
	552939482	01430.460	036434			

TOTAL CREDITS xxxx-xxxx-xxxx-3833 \$ 0.00
TOTAL DEBITS xxxx-xxxx-xxxx-3833 \$ 496.88

VENDOR #	NAME	ADDRESS	CITY	ST	ZIP
4082	JOHN PANIZZA/GENTERRA CORP.	556 HOPWOOD ROAD	COLLEGEVILLE	PA	19426
4083	LONGO ELECTRICAL-MECHANICAL, INC.	1 HARRY SHUPE BOULEVARD	WHARTON	NJ	07885
4085	PITNEY BOWES BANK, INC - RESERVE ACCOUNT	PO BOX 981023	BOSTON	MA	02298-1023
4086	DINA BOYD	3 DANBRIDGE ROAD	HORSHAM	PA	19044
4087	CAROLINA HERITAGE	1409 CAROLINA PLACE	DOWNINGTON	PA	19335
4088	MINUTEMAN SECURITY TECHNOLOGIES, INC.	LOCKBOX PO BOX 4772	CAROL STREAM	IL	60197-4772

**LOWER GWYNEDD TOWNSHIP
SUPERVISOR LIAISON REPORT OF
VOLUNTEER COMMISSION MEETING HIGHLIGHTS**

Board/Commission	Environmental Advisory Council
Members/Terms	5-7 residents, 3-year terms appointed by the BOS
Meeting Schedule	2 nd Wednesday of each month, 7:00 pm
Supervisor Liaison(s)	Tessie McNeely, Danielle Duckett
Staff Liaison	Sandi Feight-Hicks
Minute Taker	Jen O'Brien

MEETING HIGHLIGHTS

Meeting Date	Wednesday, November 13, 2024
Decisions/Recommendations	
<ul style="list-style-type: none"> Starting in 2025, the EAC will dedicate monthly meetings to workshops to gain input from all the EAC. This will allow more dedicated time to discuss topics and not exclude members from the discussion with sub-committees. Jan: Organization, Feb: SUP, March: Normal, April: RF100. 	
Major Discussion Items	
<ul style="list-style-type: none"> Melinda Wolff gave a thorough presentation of the tour members took of Republic Recycling Center. EAC recommend an recycling page be added to Spring Newsletter. Going Green Award discussion award title for 2024, staff will work on timing for award at BoS meeting. Programming Planning Guidebook, was attached, EAC was asked to review it once more. 	

Next Meeting	January, 2025
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NOTE: This form notes significant highlights from a public board or commission meeting; it does not supplement or replace the official minutes of the meeting. Minutes are posted on the Township's website on the "Meetings" page. This form is included in the Board of Supervisor's meeting packet, which also is posted on the "Meetings" page.

**LOWER GWYNEDD TOWNSHIP
SUPERVISOR LIAISON REPORT OF
VOLUNTEER COMMISSION MEETING HIGHLIGHTS**

Board/Commission	Parks & Recreation Board
Members/Terms	7 residents, 5-year terms appointed by the BOS
Meeting Schedule	3 rd Tuesday of the Month, 6:00 p.m.
Supervisor Liaison(s)	Janine Martin
Staff Liaison	Sandi Feight-Hicks
Minute Taker	Harry Hellerman, Secretary

MEETING HIGHLIGHTS

Meeting Date	Tuesday, November 19, 2024
Decisions/Recommendations	
•	
Major Discussion Items	
•	

Next Meeting	Tuesday, January 21, 2025
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NOTE: This form lists significant highlights from a public board or commission meeting; it does not supplement or replace the official minutes of the meeting. Minutes are posted on the Township’s website on the “Meetings” page. This form is included in the Board of Supervisor’s meeting packet, which also is posted on the “Meetings” page.