

**LOWER GWYNEDD TOWNSHIP
PLANNING COMMISSION
MEETING AGENDA
September 16, 2026
Public Meeting**

To join the meeting via Zoom:

<https://us02web.zoom.us/j/84988374603?pwd=WytrkeCGJn2bQOGCWacWsGExPwFOM.1>

Call #: 1-646-876-9923

Meeting ID: 849 8837 4603

Passcode: 701858

1. Call To Order 7:00 p.m.
2. Review Minutes for Approval from June 17, 2026
3. **Waiver of Land Development:**
 - a. **1345 Sumneytown Pike – Parking Lot Expansion** **#26-13WLD**
Gwynedd Mercy Academy High School
4. **Subdivision:**
 - a. **813 Plymouth Rd.** **#26-12SUBD**
CDHB Ventures, LLC.
5. **Conditional Use:**
 - a. **BET – 321 Norristown Rd.** **#26-06CU**
BT 309, LLC

Adjournment

2026 Planning Commission Members:

Craig Melograno
Rich Valiga
Danielle Porreca
Maureen Nunn
Craig Adams
Michael Mrozinski
Bob Sawyer

August 28, 2026

Received
AUG 28 2026
Lower Gwynedd TWP

#26-13 WLD

Jamie Worman, Zoning Officer
Lower Gwynedd Township
1130 N. Bethlehem Pike
Spring House, PA 19477

Reference: Gwynedd Mercy Academy High School
Parking Expansion – Waiver of Land Development

Dear Jamie:

Gwynedd Mercy Academy High School has been evaluating our operations plan for this calendar year as well as academic years in the future. An issue we are dealing with is traffic congestion and campus safety. Our leadership feels that providing additional “off driveway” parking experiences would greatly improve current concerns.

Our engineers, Woodrow and Associates, have prepared a site plan which identifies how we envision this parking expansion to be accomplished. We were hopeful that the Board of Supervisors would acknowledge the de minimis impact on the public, therefore, waiving full compliance with of a land development application and review process. Again, the parking lot requires no expansion of public facilities, no impact on existing traffic patterns relative to our access to either Evans Road or Sunneystown Pike and will accommodate those things that may be important to the Township including stormwater collection, conveyance, and treatment; erosion control measures; and lighting. A professional services agreement has been executed and funded allowing your engineering team to review the plans.

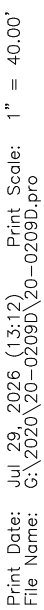
Thank you in advance for your anticipated collaboration in this matter. Please feel free to call either myself or our engineers with any questions.

Sincerely,

Denise Marbach

Denise Marbach
President

Cc: Timothy P. Woodrow, P.E. – Woodrow & Associates, c



EXISTING FEATURES and SURVEY NOTES:

1. The metes and bounds illustrated on this plan was prepared from documents of record and without reliance on any other source. The accuracy of the metes and bounds of all other data that might be listed is in a Title Report. This data has not been verified by field survey, and it is to be used for planning purposes only. All Bearings shown reflect rotation from Deed Bearing Basis to match the bearings in South Zone 4702, South Zone 4703, South Zone 4704, and South Zone 4705.
2. Topographic and existing features illustrated on this plan was prepared from documents of record and field verified within the limits of the Proposed Project construction area only. Site elevations are referenced to the National Mean Sea Level.
3. This plan was prepared utilizing the following references:
- a. Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - b. Existing SALS classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 - c. Vertical datum reference provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South Zone 4703) horizontal, NAD83 vertical datum.
 - d. Aerial imagery used for this plan was prepared by NearMap, Inc. Imagery from flight dated March 03, 2022 and October 04, 2025.
4. Plan prepared by Aton Engineering titled "Subdivision Plan" prepared for Gwynedd Mercy College dated 04/09/1985, last revised 10/25/1987.
5. Plan prepared by Chambers Assoc., Inc. titled "Record Plan" prepared for Sisters of Mercy dated 04/09/1998 last revised 08/12/1998.
6. Plan prepared by Woodrow & Assoc., Inc. titled "Minor Subdivision Record Plan" prepared for Sisters of Mercy dated 05/08/2020 last revised 10/12/2020.
7. h. Plan prepared by Control Aspect, Inc. titled "ALTA/NPSLS Land Title Survey" prepared for Gwynedd Mercy University, dated 01/21/2021 (No revision).
8. i. Plan prepared by Woodrow & Assoc., Inc. titled "School Building Expansion" prepared for Gwynedd Mercy University, dated 01/21/2021, last revised Nov. 06, 2023 (068).
9. Wetland limits shown taken from reference plan note #3.b, above. No field verification of illustrated mapping has been performed with the preparation of this plan.
10. FEMA Flood Zone (graphic plotting only): This site is located primarily within Flood Plain Zone "X" (Zone A) determined by the site outside the 1% annual chance (floodplain) and Flood Plain Zone "1" (Zone 1) determined by the site floor with the 1% annual chance flood. Zone 1 is the Federal Flood Insurance Mitigation and areas protected by levees from 1% annual chance flood as illustrated on Community Flood Insurance Study 4209 (1978-0), effective from March 04, 2010 as prepared by the Federal Emergency Management Agency.
11. All persons dealing on this site shall comply with the requirements of Section 5 of PA Act 287 of 1988, the PA Act 287, which requires that the person dealing on this site pay an ad valorem tax on any building (does not include state holidays or weekends). Dial 8-1-1 or go to www.paonline.org.
12. Existing subsurface utility information illustrated on these plans was based upon visual field observations and/or surface site survey information. This information provided is representative subsurface conditions only at locations where the information was obtained. Where there is no exposure or implied agreement that subsurface utility connections exist between explored locations. Accordingly, the contractor shall be responsible for any utility location purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.
13. Subject property is Zoned A – Residential District as noted on the official Zoning Map.
8. Right-of-way widths for Sunnyslope Pike and Evans Road taken from recorded plans (see note 10 above).
9. Yard Setbacks: Setbacks illustrated are reflective of a recorded plan prepared by Chambers Assoc., Inc. titled "Record Plan" prepared for Sisters of Mercy dated 04/09/1998 last revised 08/12/1998.

CONSTRUCTION DESIGN NOTES

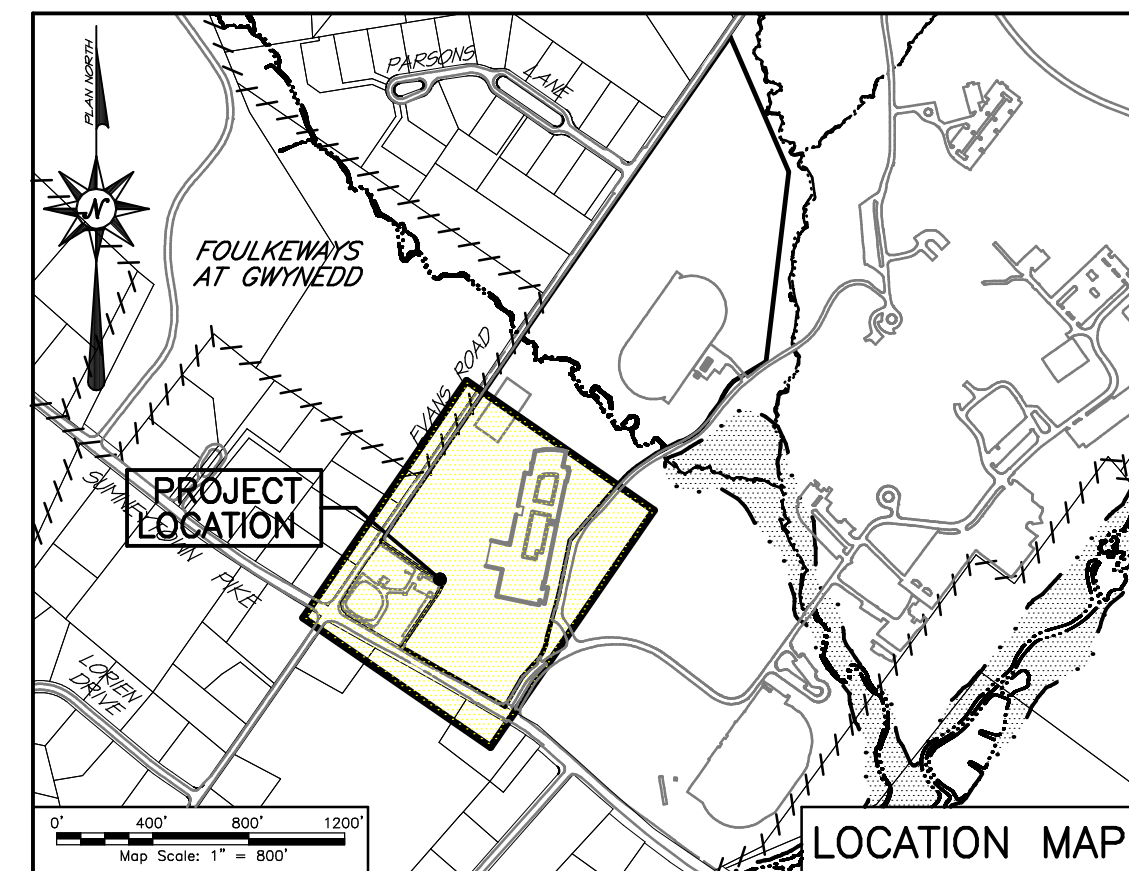
11. The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
12. Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work.
13. Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except lawns or suitable low ground cover.
14. Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications and Standards Drawings (latest edition).
15. Any/all storm water management (s/s) and detention facilities shown on these plans are a basis for and perpetual part of the storm water management system for this Township, and as such, are to be protected, maintained and preserved in accordance with the approved final plans. The Township Engineer and/or design engineer shall enter upon such lands from time to time for the purpose of inspection of said storm water management system in order to determine that the same are being properly maintained.
16. A minimum of six (6) inches of clean loessal shall be provided on all lawn and planting areas.
17. Site grading shall be performed in accordance with these plans. The contractor shall be responsible for removing and replacing all soil, yielding or unsuitable materials and replacing with suitable material. The acceptable moisture content of the soil shall be determined by the use of a minimum density per A.S.T.M. Test D-1557; moisture content at time of placement shall be no more than 2% above and 2% below the optimum moisture content. The contractor shall submit a test report prepared by a qualified soils engineer, registered within the state where work is performed, to the Township Engineer and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans.
18. Subbase material for sidewalks, curb, or asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved material. The compacted subbase shall be as determined by modified proctor method.
19. The minimum slope in grassed areas shall not be less than 2% and the minimum in paved areas shall not be less than 1%.
20. Erosion control matting shall be provided on all earth slopes at 3:1 or greater.
21. Any trees removed, damaged, or destroyed during construction related activities shall be replaced.

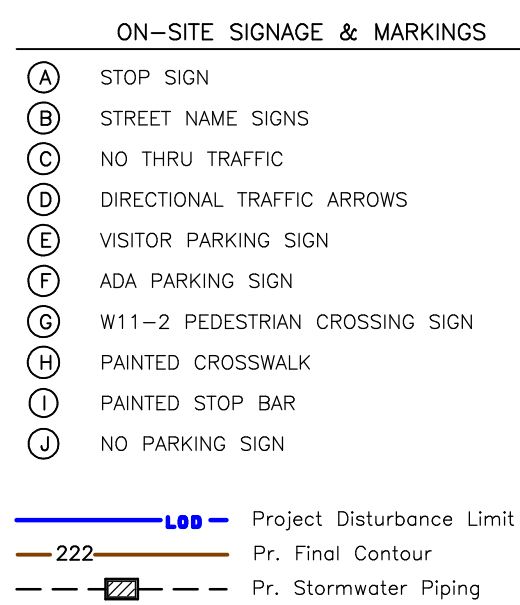
Zoning District: A – Residential District				
Item:	Section:	Requirement:	PROPOSED Site:	
Permitted Use	1257.02.(b)	EDUCATIONAL USE [1]	EDUCATIONAL USE	
Min Lot Area	1257.02.(b)	20 Acres	42,039.1 Acres	
Min Lot Width	1257.03.(b)	200 Ft.	120.0 Ft.	
Front Yard	1257.04.(a)	75 Ft.	366.1 Ft. 269.6 Ft.	
Side Yard	1257.04.(b)(2)	100 Ft. (Non-Residential)	131.4 Ft.	
Rear Yard	1257.04.(c)	75 Ft.	46.9 Ft. [3]	
Highway Setback	1298.12	150 Ft. [2]	366.1 Ft.	
Bldg Coverage (Max)	1257.05.(a)(3)	20 %	64.2 %	
Lot Impervious (Max)	1257.05.(b)(2)	45 % (Non-Residential)	236.2 % 23.70 %	
Bldg Height (Max)	1257.06.(a)	45 Ft. / 2.5 Stories	312.8 Ft. 4'-	
Accey Height (Max)	1257.06.(b)	14 Ft. / 1 Story	<14 Ft. (1 Story) [4]	
Parking Quantity	1257.07 1294.01.(b)(1)	1 Space for every (3) seats for assembly	On-Site Spaces: 239	275
		184 Spaces Req'd [5]	Shared Spaces: 34	74
			TOTAL Spaces:	314

- [1] Educational Use permitted by SPECIAL EXCEPTION subject to area requirements.
- [2] In every single-family residential district, any lot that abuts a highway shall have the setback requirement for that respective yard doubled in size. For purposes of this section, the following roads shall be considered highways: Sunnyside Pike.
- [3] Existing Non-Conforming Item.
- [4] Building Heights noted are outside grade to roof peak.
- [5] Assembly seating capacity is 550 seats / 3 spaces per seat = required parking capacity of 184 spaces

PLAN SHEET INDEX:

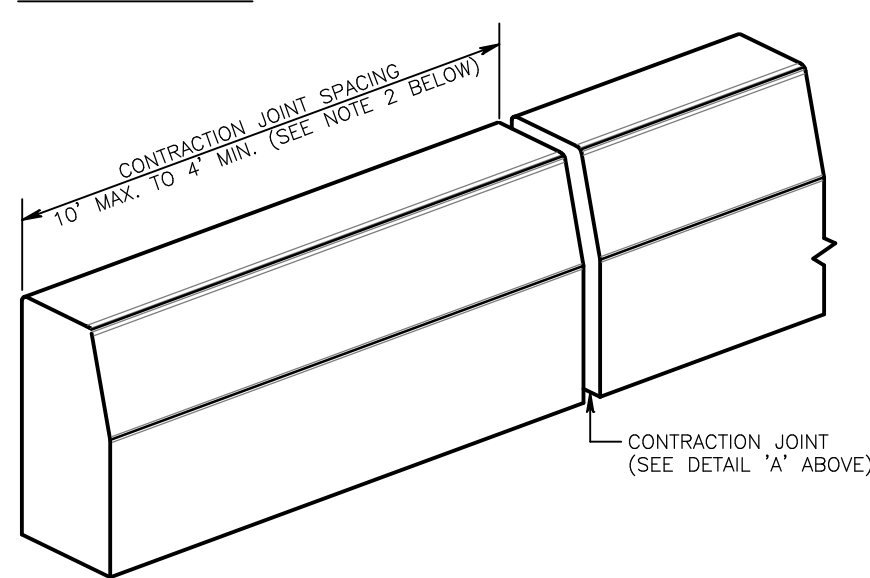
Sheet No:	Sheet No:
1 of 4	PARKING AREA EXPANSION LAYOUT PLAN
2 of 4	GRADING & EROSION CONTROL PLAN
3 of 4	EROSION CONTROL SPECIFICATION & DETAILS
4 of 4	GENERAL CONSTRUCTION DETAILS





2 of 4

Limit(s) of Disturbance:	
Parking Area SA-1:	23,750 Sq. Ft.
TOTAL AREA:	23,750 Sq. Ft. (0.55 Ac.)

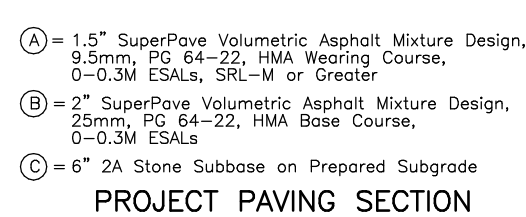


1. MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 830 FOR PLAIN CEMENT CONCRETE CURB. SECTION 840 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE 3/4" MIN PREMOLED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.

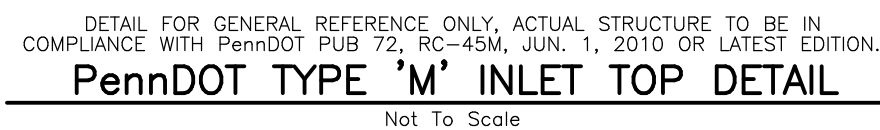
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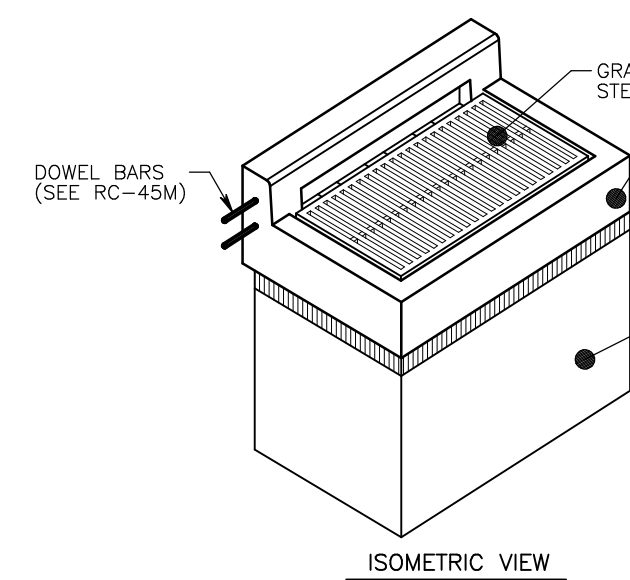
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ISOMETRIC VIEW

DETAIL FOR GENERAL REFERENCE ONLY, ACTUAL STRUCTURE TO BE IN
COMPLIANCE WITH PennDOT PUB 72, RC-45M, JUN. 1, 2010 OR LATEST EDITION.

Not To Scale

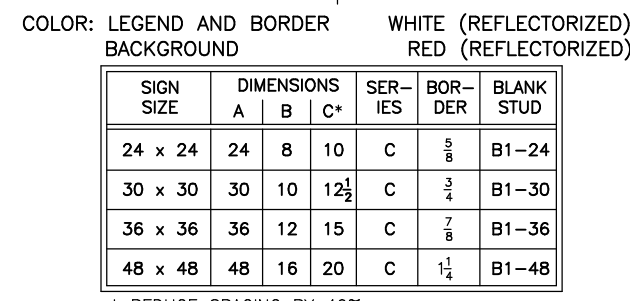


1. CONSTRUCT INLET BOXES IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLICATION 408, SECTION 714 and PUBLICATION 72 (RC-34).
2. PROVIDE STANDARD INLET BOXES AND COVER ADJUSTMENT SLABS WITH A 24" x 45 1/4" OPENING TO ACCOMMODATE STANDARD TOP COMPONENTS.

Not To Scale



Not To Scale



(R1-1) STOP SIGN DETAIL



NOT TO SCALE



1. THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL ENSURE DESIGN IS PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING ALL MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS, SITE SPECIFIC SOIL PARAMETERS, ETC.
- A. SOME SITE LOCATIONS AND/OR CONDITIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
- B. THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING ASIDE FROM THE LIGHT FIXTURE INCLUDING (BUT NOT LIMITED TO) CAMERAS, SIGNAGE, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.
2. ALL REBAR SHALL HAVE A YIELD STRENGTH OF 60psi, AND MAINTAIN A 3" MIN. CLEARANCE FROM SURFACES.

NOT TO SCALE



September 11, 2026

File No. 26-00897

Mimi Gleason, Township Manager
Lower Gwynedd Township
1130 N Bethlehem Pike, P.O. Box 625
Spring House, PA 19477

Reference: 1345 Sumneytown Pike
Gwynedd Mercy Academy High School – Parking Area Expansion
Land Development Waiver Request – Review 1
TMP No. 39-00-03957-00-9

Dear Ms. Gleason:

Pursuant to your request, Gilmore & Associates, Inc. performed a review of the plans, entitled Parking Plan for the Gwynedd Mercy at 1345 Sumneytown Pike. Upon review, we offer the following comments for consideration by the Lower Gwynedd Township Board of Supervisors.

I. Submission

- A. Parking Lot Expansion Layout Plan, consisting of 1 through 4 of 4, dated March 18, 2026, as prepared by Woodrow & Associates, Inc. for Gwynedd Mercy Academy High School.

II. General Information

The subject tract, situated in the A Residential Zoning District, currently contains an existing high school with several accessory buildings, athletic fields, parking areas and access drives. The Applicant proposes removing six (6) existing parking spaces to install an additional parking area to the with 42 new spaces for a total of 36 additional parking spaces. Additional improvements include minor grading, concrete curb and new stormwater piping and inlets within the parking area. The proposed improvements will add approximately 11,760 square feet of additional impervious surface areas. We note that the recently installed stormwater management facilities have capacity to control the runoff from the added impervious surface areas.

III. Review Comments

A. Zoning Ordinance

We defer all comments with respect to the Lower Gwynedd Township Zoning Ordinance to the Township's Zoning Officer.

B. Subdivision and Land Development Ordinance (SALDO)

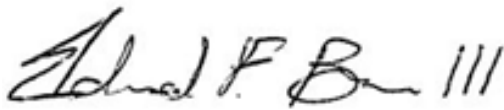
It is our understanding that an application was processed as a waiver of land development. As such, the following comments are for the Board's consideration when evaluating how to process the Application. In the event some form of a waiver of land development was approved, then the Board should condition the approval on compliance with the recommendations contained in this letter that the Supervisors feel have merit. In the event, a waiver of land development was not granted, our office reserves the right to perform a comprehensive review of the Subdivision and Land Development Ordinance, and the Applicant will need to comply with additional regulations contained in the ordinance and/or obtain waivers from the ordinance requirements not specifically mentioned below:

1. We note that the existing stormwater facilities appear to have enough capacity to control the runoff from the added impervious surface areas. The Applicant shall ensure that the peak rate requirements for the site are still satisfied with the additional flow.
2. It appears that the new spaces are immediately adjacent to the exiting spaces along the construction access drive. The applicant should consider the possibility of a planting strip between the two parking areas.
3. We note that the existing parking lot contains parking lot lights. However, it does not appear that any new lighting is proposed for this parking area. The Applicant shall discuss with the Board whether additional lighting is needed in the new parking area. In the event that it is determined that lighting is necessary, then a full lighting plan shall be submitted for review.
4. It appears that the existing access drive to the west of the proposed parking area will serve as the construction access. However, we note that the site distance onto Sumneytown Pike appears limited. The applicant shall ensure that the construction access provides enough sight distance for safety of all vehicles. Alternate construction access may need to be explored.
5. We defer to the Township Solicitor to determine whether a land development agreement will be required with the waiver of land development request.
6. The Applicant shall discuss with the Board whether additional landscaping can be provided for the proposed parking lot.
7. The Applicant should consider additional silt sock in the area to the southeast of the proposed storm pipe and storm inlet within the grass area.
8. The Applicant is responsible for any other required approvals, permits, etc. (i.e., MCPC, MCCD, PADEP, Municipal Authority, Fire Marshal, etc.) as applicable. Copies of these permits and approvals should be submitted to the Township.

As mentioned above, we recommend that since a waiver of the land development process was granted that it be conditioned upon the applicant satisfying the comments in this letter.

If you have any questions regarding the above, please contact this office.

Sincerely,



Edward Brown, P.E.,
Project Manager
Gilmore & Associates, Inc.

EB/ee/sl

cc: Jamie Worman, Assistant Township Manager
Patty Sexton-Furber, Building Codes Administrator
Neil A. Stein, Esq., Kaplin Stewart
Al Comly, Township Fire Marshal
Timothy P. Woodrow, Woodrow & Associates, Inc
Chad Dixon, AICP, PP, Bowman
James Hersh, P.E., Vice President, Gilmore & Associates, Inc.



September 10, 2026

Ms. Mimi Gleason
Township Manager
Lower Gwynedd Township
1130 N. Bethlehem Pike
Spring House, PA 19477

RE: **Traffic Review – Waiver of Land Development Plans**
Gwynedd Mercy Academy High School – 1345 Sumneytown Pike
Lower Gwynedd Township, Montgomery County, PA
Project No. 314087-01-029

Dear Mimi:

Per your request, Bowman Consulting Group (Bowman) has completed our traffic engineering review of the proposed site modifications to the Gwynedd Merch Academy High School Campus located at 1345 Sumneytown Pike in Lower Gwynedd Township, Montgomery County, PA. It is our understanding that the proposed site modifications will consist of constructing a parking area that contains 42 parking spaces. It should be noted that as part of the parking area construction, 6 existing parking spaces will be removed, so the net increase in parking spaces for the site is 36. Access to the site will continue to be provided via the existing site driveways along Sumneytown Pike and Evans Road (S.R. 2016).

The following document was reviewed in preparation of our review:

- Waiver of Land Development Plans – Gwynedd Mercy Academy High School (Parking Area Expansion), prepared by Woodrow & Associates, Inc., dated March 18, 2026.

Based on our review of the submitted document noted above, Bowman offers the following comments for consideration by the Township and action by the applicant.

1. The parking spaces in the western parking row of the proposed parking area should be aligned with the 16 parking spaces in the eastern parking row of the existing adjacent parking area.
2. The existing "Stop" sign on the southbound approach of the eastern driveway leading to/from the parking area on the southwestern corner of the school at its intersection with Reiley's Way should be shown on the plans. A stop bar should be added to the plans at this "Stop" sign location.
3. A "Stop" sign and stop bar should be shown on the plans at the following locations:
 - On the northbound approach of the drive aisle leading to/from the existing parking area to the west of the proposed parking area at its intersection with the drive aisle to the south of Reiley's Way.
 - On the westbound approach of the drive aisle to the south of Reiley's Way at its intersection with the drive aisle leading to/from the building in the southwestern corner of the property.

- On the westbound approach of the drive aisle in the parking area on the southwestern corner of the school at its intersection with the western drive aisle in this parking area.
4. A stop bar should be shown on the plans at all existing and proposed "Stop" sign locations throughout the site.
 5. The proposed development is subject to the Transportation Impact Fee of \$3,865 per "new" weekday afternoon peak hour trip. The applicant must confirm whether the proposed site modifications are expected to generate additional trips to/from the site during the weekday afternoon peak hour.
 6. A response letter must be provided with the resubmission detailing how the aforementioned comments have been addressed, and where each can be found in the resubmission materials (i.e., page number(s)) to assist in the re-review process. Additional comments may follow upon review of any resubmitted materials.

If you or the Township have any questions, or require clarification, please contact me.

Sincerely,



Chad Dixon, AICP, PP
Senior Project Manager

CED/BMJ

cc: Jamie Worman, Assistant Township Manager
Patty Sexton-Furber, Building Codes Administrator
James Hersh, P.E., Gilmore & Associates, Inc.
Neil Stein, Esquire, Solicitor
Al Comly, Township Fire Marshal
Denise Marbach, Gwynedd Mercy Academy High School
Tim Woodrow, P.E., Woodrow & Associates, Inc.

V:\314087 - Lower Gwynedd Township\314087-01-029 (TRN) - GMAHS Parking Expansion\Engineering\Submissions\2026-08-28 WLD\Review\2026-09-10 Review Letter - Gwynedd Mercy.docx



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

September 10, 2026

File No. 26-00910

Mimi Gleason, Township Manager
Lower Gwynedd Township
1130 N Bethlehem Pike, P.O. Box 625
Spring House, PA 19477

Reference: 813 Plymouth Road
TMP #39-00-03589-00-8
Minor Subdivision Plan

Dear Ms. Gleason:

Pursuant to your request, Gilmore & Associates, Inc. performed a review of the Minor Subdivision submission for the above-referenced project. Upon review we offer the following comments for consideration by the Lower Gwynedd Township Board of Supervisors:

I. Submission

- A. Minor Subdivision Plans, consisting of two (2) sheets, dated August 21, 2026, prepared by Woodrow & Associates, Inc., for 831 Plymouth Road.

II. Project Description

The subject tract (TMP# 39-00-03589-00-8), located in the A Residential Zoning District, includes an existing two (2) story dwelling with a detached garage, associated driveway and a pool and pool house in the rear yard. The remainder of the tract is comprised of lawn and several trees in the rear yard. The gross area of the tract is approximately 2.40 acres. The property contains two separate gated entrances to Plymouth Road.

This project proposes the subdivision of the existing lot into two (2) individual lots. Each lot will be roughly 1.4 acres in size. Each Lot will access from Plymouth Road. Lot B will utilize the existing secondary entrance from Lot A, so that an additional driveway cut along Plymouth Road will not be needed. At the time of building permit application, the Applicant will be required to submit fully engineered plot plans containing on-site stormwater designs which comply with all applicable Lower Gwynedd Township Ordinances.

III. Review Comments

A. Zoning Ordinance

The following zoning variances have been granted at the August 13, 2026 Zoning Heard Board Meeting with conditions:

1. A variance was granted from ordinance section §1298.21(c), to permit more than two flag lot access strips to be located adjacent to each other. The proposed subdivision will create three (3) flag lot access strips adjacent to each other.

We note the following comments related to the Lower Gwynedd Township Zoning Ordinance.

1. §1257.03(a)(3) – Where both a public sewer and a public water supply are available, a lot area of not less than 40,000 square feet shall be provided for every dwelling or other building. Whenever public sewer or public water supply is available, connection to the public utility is required as a condition of this subsection. We note that the Applicant intends to utilize the 40,000 square foot lot minimum for the proposed subdivision. However, the plans do not indicate whether the existing lot is currently connected to public water. If the current property is not connected, then a proposed connection will be required with this application.
2. §1298.21(e) – A driveway serving a flag lot shall have a minimum stabilized width of 20 feet and a paved width of 16 feet for its entire length. We note that it appears that the applicant plans to utilize the existing driveway access for the new lot. However, the existing driveway appears to be roughly 12 feet in width and the existing gate is approximately 16 feet in width. We note that the Applicant will be required to widen the driveway. Additionally, we defer to the Fire Marshal regarding the existing width of the gate for emergency vehicles.

B. Subdivision and Land Development Ordinance

We offer the following comments with respect to the current Lower Gwynedd Township Subdivision and Land Development Ordinance:

1. §1230.09 – The Township Board of Supervisors may grant a waiver of the requirements of one or more provisions of this ordinance provided the Applicant proves undue hardship. All waivers shall be formally requested from the Township and shall be in writing and shall accompany and be part of the application for development. The Record Plan should list the waivers, applicable section numbers, and the date granted as applicable, including any conditions.
2. §1230.23 – The Applicant is responsible for all required approvals, permits, etc. (e.g., Montgomery County Conservation District, Fire Marshal, PADEP, etc.). We note that Plymouth Road is a County owned roadway. As such, the applicant will be required to obtain a highway occupancy permit from Montgomery County for any work within the right-of-way, including any widening or utility connections.
3. §1230.24 – The Applicant shall address the following general plan issues:
 - a. The plans shall identify any waiver requests on the Record Plans.
 - b. We note that the review comments below may require additional details to be added to the plans. As such, any applicable landscaping, trail, sidewalk, etc. details shall be added to the plans, or will be required to be included in the building permit plan.
4. §1230.26(c) – At the time of the building permit submission, the stormwater ownership and maintenance statement as required by this section shall be added to the plans.
5. §1230.30 – Legal descriptions shall be provided to our office for review and approval for each of the two new lots. Additionally, the existing sanitary lateral for Lot A will now cross the property line of the new Lot B. The applicant will be required to provide an easement with legal descriptions to allow the existing lateral to cross the new property line.
6. §1230.33 – At the time of the building permit, the Applicant shall include a full erosion and sediment control plan for the proposed dwelling. Additionally, a note shall be added to the plans stating that the Applicant will be required to obtain an NPDES permit from the Montgomery County Conservation District for Lot B in the event that proposed disturbance is greater than 1 acre. The Township should be copied on all future correspondence with the Conservation District.

7. §1230.37 (c), (d) & (e) – Plymouth Road is classified as an intercommunity road, which requires an 80-foot Ultimate right-of-way and a minimum of 34-foot cartway. We note that the plans appear to meet the 40-foot halfway width for the ultimate right-of-way, however, the applicant will be required to provide additional cartway width or a waiver would be required.
8. §1230.41(i) – Any trees, greater than six-inches (6”), are to be removed as part of subdivision or land development, and shall be replaced at a 1 to 1 caliper inch ratio. We note that the plans do not show any tree removal at this time, however, aerial images appear to show that some trees may be located within the building area and/or driveway of Lot B. The applicant shall identify the trees to be removed, so that an accurate tree replacement count can be quantified.
9. §1230.42(a)(1) – Street trees shall be provided for all subdivisions at a frequency of at least two shade trees per 40 feet of street length. The plans shall be revised to show the proposed street tree locations or a waiver would be required.
10. §1230.42(b) – The Applicant is required to plant three (3) shade trees per dwelling. If the Applicant intends to wait until such time as the application for the building permit plans, then the deferral from this section of the ordinance shall be added to the record plan.
11. §1230.43 - In accordance with Lower Gwynedd Township Ordinance No. 496, at least 75% of the plantings proposed as part of a subdivision and land development shall be native. A planting plan shall be provided at the time of the building permit plan and shall denote species which are native, so that compliance with this Ordinance can be demonstrated.
12. §1230.45(a) §1230.60(a) – Pedestrian trails are required in all subdivisions and land developments in locations as determined by the Board of Supervisors. In addition, sidewalks shall be provided along both sides of existing and new streets. We note that sidewalks are not currently located along Plymouth Road. However, Plymouth Road is identified in the Township Trail and Sidewalk Strategic Plan as a priority connection from the Gwynedd Valley SEPTA station to Dekalb Pike. As such, we defer to the Board of Supervisors to determine whether trails and/or sidewalks are warranted, or a waiver would be required.
13. §1230.53(a)(1) – All applicants for residential subdivision approval for 10 or fewer single-family residential lots shall, concurrent with the submission of a final plan of subdivision, submit and tender to the Township a fixed park and recreation area fee of \$1,000 for each of the proposed dwelling units.
14. §1230.58 – The applicant is required to install street lights on Plymouth Road at locations determined at the Board of Supervisors. We defer to the Board of Supervisors to determine whether street lights are warranted for this project.
15. §1230.61(a) – Curbs shall be provided along both sides of all existing and proposed streets, or a waiver would be required.
16. §1230.62 – The Applicant shall obtain a “will serve” letter from the water supplier for the new lot. A copy of the letter shall be provided to the Township. Additionally, the plans shall be submitted to the water supplier for review/approval.
17. §1230.63 – The Applicant should conceptually consider how Lot B will be serviced by public utilities. If these new utilities will cross Lot A, then additional easements may be required.
18. §1230.63(c) – The Applicant shall submit the necessary PADEP Planning Module application to the Township for review. Additionally, the Applicant will be required to enter into a construction and tapping agreement with the Township for the proposed sanitary connection(s). The

document will be prepared by the Township Sewer Solicitor and should be executed prior to the start of construction of the new dwelling.

19. §1236.12(a) – Fees for residential development. The applicant for any new residential subdivision or land development shall be required to pay a recreation impact fee of \$500 per new dwelling unit.
20. We defer to the Township Solicitor to determine whether a financial security agreement and land development agreement will be required at the time of the building permit for Lot B.

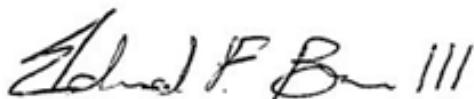
C. Stormwater Management Ordinance

We offer the following comments with respect to the current Lower Gwynedd Township Stormwater Management Ordinance:

1. §1241.106 – At the time of the building permit application for Lot B, the Applicant will be required to provide all applicable stormwater management controls in accordance with the Lower Gwynedd Township Stormwater Management Ordinance, including but not limited to, peak rate control, water quality volume and groundwater recharge. A note shall be added to the Record Plans.
2. §1241.704 – At the time of the building permit for Lot B, the Applicant will be required to enter into a Stormwater Ownership & Maintenance Agreement with the Township for the proposed on-site stormwater improvements. The document will be prepared by the Township Solicitor and should be executed prior to issuance of a building permit. A note stating this requirement shall be added to the Record Plan.
3. In accordance with Lower Gwynedd Township Resolution 2005-16, the Applicant is required to pay a Stormwater Management Facility fee in the amount of \$500 per 1000 cubic feet of storage volume within the proposed BMP's. This fee will be calculated upon submission of the building permit plans containing the proposed stormwater measures. A note stating this requirement is to be added to the plans.

Should you have any questions, please feel free to contact our office.

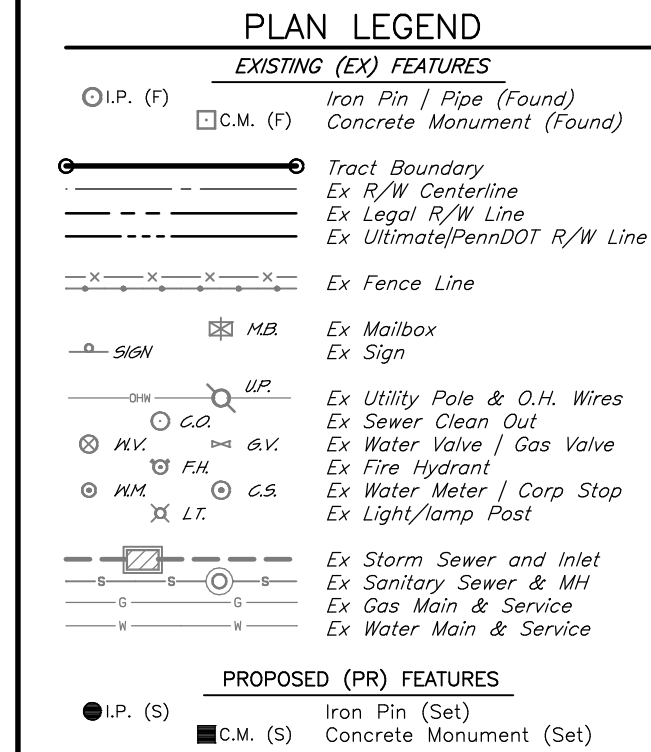
Sincerely,



Edward Brown, P.E.
Project Manager
Gilmore & Associates, Inc.

EB/sl

cc: Jamie Worman, Assistant Township Manager
Patty Sexton-Furber, Building Codes Administrator
Neil A. Stein, Esq., Kaplin Stewart
Tim Woodrow, P.E., Woodrow & Associates, Inc.
Corbett Hall, Applicant
Chad Dixon, P.E., Bowman
James Hersh, P.E., Vice President, Gilmore & Associates, Inc.



MCPC No.: _____

PROCESSED and REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date: _____

For the Director

Montgomery County Planning Commission

BOARD OF SUPERVISORS CERTIFICATE
Approved by the Township Board of Supervisors of the Township of Lower Gwynedd on this _____ day of _____, 20____.

Twp. Secretary: **MIMI GLEASON** Chair: _____

PLANNING COMMISSION CERTIFICATE
Recommended for approval by the Planning Commission of the Township of Lower Gwynedd on this _____ day of _____, 20____.

Chair: _____

TOWNSHIP ENGINEER CERTIFICATE
Reviewed by the Township Engineer of the Township of Lower Gwynedd on this _____ day of _____, 20____.

Township Engineer: _____

Zoning District: A – Residential District				
Item	Section	Requirement	PROPOSED LOT A	PROPOSED LOT B (Flag)
Permitted Use	1257.02.(a)(2)	(1) Single-Family Detached Dwelling	(1) <i>Exist. Single-Family Detached Dwelling</i>	(1) Single-Family Detached Dwelling
(Min) Lot Area	1257.03(a)(2) 1296.21(g)	40,000 S.F. 60,000 S.F.	58,824.60 Sq. Ft. (NET R/W)	66,274.02 Sq. Ft. (NET R/W) 60,062.78 Sq. Ft. (NET ACCESS)
(Min) Lot Width	1257.03(b)	200 Ft.	259 Ft. ☉ F.Y.	202 Ft. ☉ F.Y.
(Min) Front Yard	1257.04(a)	75 Ft. 112 Ft.	45.5 Ft. (EXIST)	112.5 Ft.
(Min) Side Yard	1257.04(b)(1)	50 Ft. Each Side	75.8 Ft. 72.2 Ft. (EXIST)	50 Ft. Each Side
(Min) Rear Yard	1257.04(c)	75 Ft.	147.1 Ft.	75 Ft.
(Min) Accessory Yard	1257.04(c)	20 Ft. (Garage) 25 Ft. (Pool)	>20 Ft. >25 Ft.	>10 Ft. (Accessory) >25 Ft. (Pool)
(Max) Bldg Coverage	1257.05(a)(3)	20 %	8.2± % (4,801 Sq. Ft.)	<20 %
(Max) Lot Impervious	1257.05(b)(1)	25 %	24.99± % (14,700 Sq. Ft.)	<25 %
(Max) Bldg Height	1257.06(a)	45 Ft. / 2.5 Stories	23.8± Ft. / 2 Story (EXIST)	<45 Ft. / 2.5 Stories
(Max) Acscsy Height	1257.06(b)	14 Ft. / 1 Story	12.7 Ft. & 20.1 Ft. (EXIST)	<14 Ft. / 1 Story
Parking Quantity	1257.07	2 Spaces / Dwlg Unit	2+ Spaces	>2 Spaces

SURVEYOR'S CERTIFICATION
I, KEITH A. HOUSER, P.L.S., do hereby certify that I am a Registered Professional Land Surveyor, licensed in compliance with the laws of the Commonwealth of Pennsylvania; that this plan correctly represents a survey made by myself or under my supervision and that all dimensional and geodetic details shown are correct.

[1] Existing Lot is served by public water and public sanitary sewer.	FLAG LOT PROVISIONS (Per ZG 2998.291:)
[2] Per 1298.21(a)(g): Required lot area and front yard dimension of flag lots shall be 150% of the min. otherwise specified for the zoning district in which the lot is located.	[5] 1298.21(a)(1)(A): Number of flag lots permitted – For subdivisions of up to (3) Lots – (1) flag lot is permitted.
[3] Per 1298.21(f): Front yard of any flag lot must include buffer plantings along the full width of the lot.	[6] 1298.21(c): No more than (2) flag lot access strips may be located adjacent to each other.
[4] Per 1298.03(b): Accessory uses and structures:	[7] 1298.21(d): The access strip serving any flag lot shall have a min. width of 50-FT. and shall not exceed 300-FT. in length.
Permitted Residential Uses, Private garages, private greenhouses, private storage spaces, shelters for domestic pets, private storage sheds, private storage sheds (including pool houses), private tennis courts, private stables and horse occupancies, provided that:	[8] 1298.21(e): A driveway serving a flag lot shall have a min. stabilized width of 20-FT. and a paved width of 16-FT. for flag lots 14-FT. shall not exceed a 10% grade, shall be paved, and shall be capable of supporting a vehicle with a gross vehicle weight of 80,000 pounds.
(1) Accessory buildings shall be clearly subordinate to the principal building and separated from all other buildings and/or structures on the lot by at least 10 ft. All accessory structures shall be located entirely within the permissible building area (exclusive of all mandatory setback lines), but not to the front of the main building and shall be located at least 10 ft. behind the rearmost portion of the main building to utilize an accessory structure setback as follows:	[V] VARIANCE GRANTED:
A. Accessory structures that are 500 Sq. Ft. or less in gross floor area and no more than 15 ft. in height may be located 10 ft. from any side or rear property line.	1. 1298.21(c): For Proposed Flag lot access strip adjacent to (2) Existing access strips.
Variance granted without conditions at the August 13, 2026 Lower Owego Zoning Hearing Board meeting. Application #26-202	

PROVISIONS (Per ZO 1298.21):

(1)(A): Number of flag lots permitted – For subdivisions of up to (3) lots – (1) flag lot is permitted.

(-): No more than (2) flag lot access strips may be located adjacent to each other.

(-): The access strip serving any flag lot shall have a min. width of 50-Ft. and shall not exceed 300-Ft. in length.

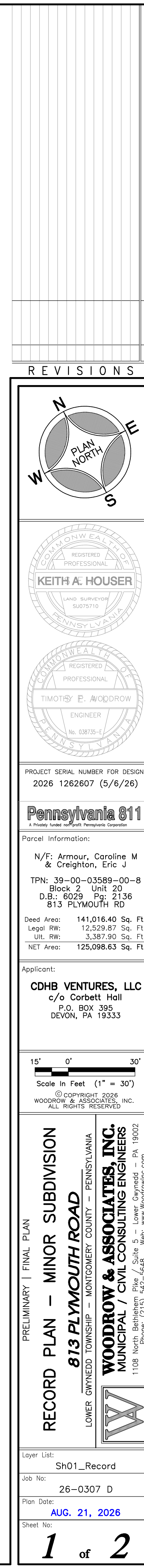
(-): A driveway serving a flag lot shall have a min. stabilized width of 20-Ft. and a paved width of 16-Ft. for its entire length, shall be unobstructed for a height of 14-Ft. shall not exceed a 10% grade, shall be paved, and shall be capable of supporting a vehicle with a gross vehicle weight of 80,000 pounds.

1. 1298.21(c): For Proposed Flag lot access strip adjacent to (2) Existing access strips.

Variance granted without conditions at the August 13, 2026 Lower Gwynedd Zoning Hearing Board meeting. Application 26-20Z

This application is for a Minor (2-Lot) Subdivision.
No construction is proposed with this application.

Any future construction will require application &
submission for approval to Lower Gwynedd Township.



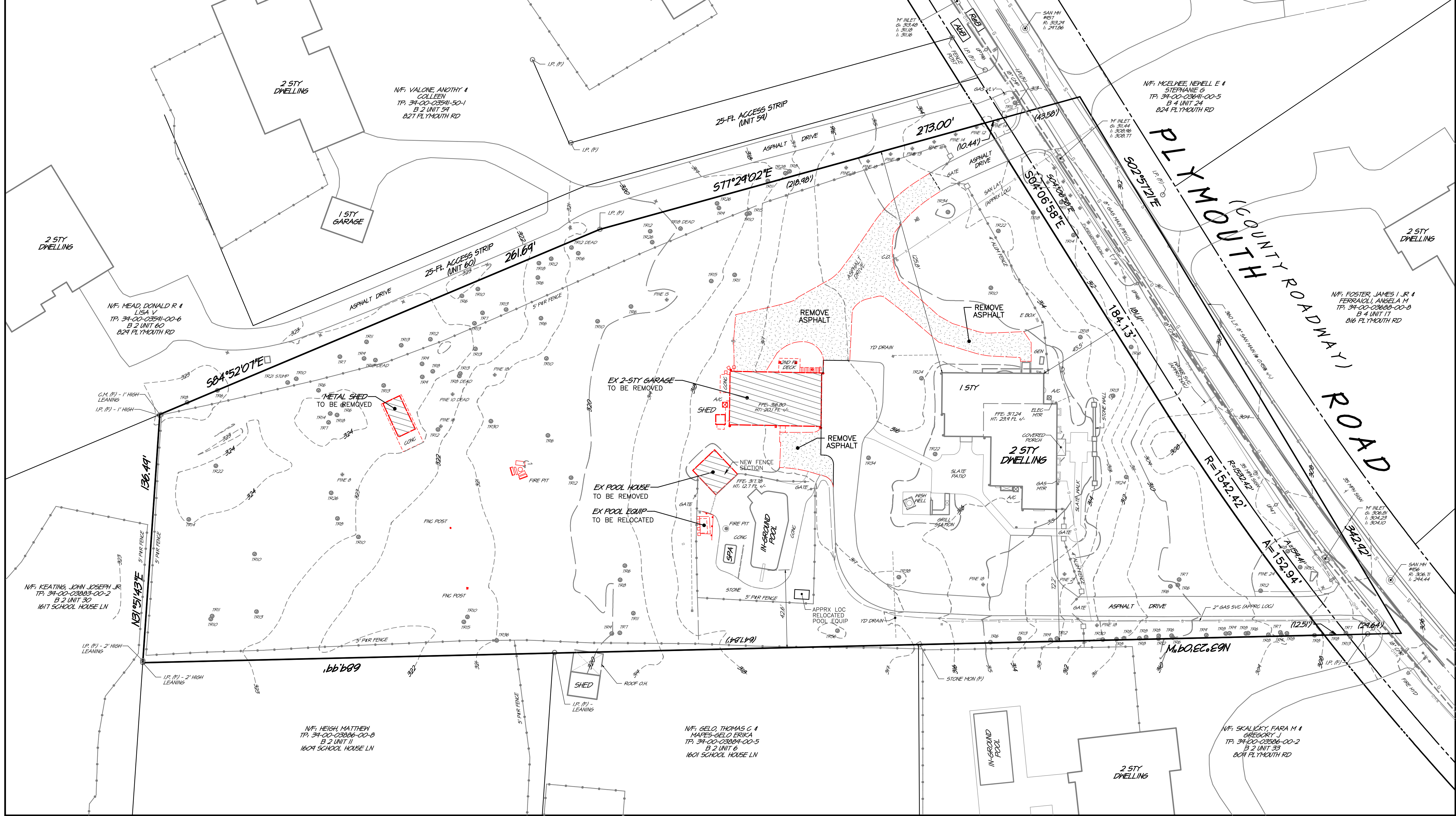
EXISTING FEATURES AND SURVEY NOTES:

1. A field metes and bounds survey was performed under the supervision of Keith A. Houser, PLS, Surveyor for the State of Pennsylvania. The survey was performed on 08/28/2018 and reflects a bearing of -09 deg 37 Min 09 Sec, from Deed Bearing Back to match Pennsylvania State Zone 3702a State Plane Coordinate Bearing Back. Field Survey performed May 2026.
2. Horizontal datum based on NAD 1983, SPC 83 Pennsylvania (South), GEOID model g2003008 using Topcon Total Station.
3. A topographic and existing features survey was performed under the supervision of Keith A. Houser, PLS, State Benchmark is the point of cut nail in utility pole #46 BP in front of the subject property having an elevation of 311.33'. Field Survey performed May 2026.
4. Vertical datum references provided by the PA Spatial Data Access system (PSDA). PAMAP data is based on PA State Plane (North) datum, NAVD83 vertical datum. See Vertical Datum Using Topcon Topnet Live Virtual Network System.
5. This plan was prepared utilizing the following references:
 - a. Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - b. Existing SMC classifications and mapping has been plotted from maps obtained from the USDA National Wetlands Inventory (NWI) (https://www.fws.gov/nwis/decades) dated Dec. 15, 2017, and last revised July 25, 2018. Recorded in the Montgomery County Office for Recording of Deeds and Mortgages bk A-51 pg 93 dated March 21, 1989.
 - c. Aerial imagery used for base plan reference provided by NextMap, Inc. Imagery from flight dates of April 7, 2026.
 - d. Montgomery County – Geospatial Data Hub, providing supporting information for Tax Parcel(s), Municipal Boundaries & Zoning District Boundaries, and Suits Limits.
6. Existing Preliminary/Final/Plat Minor Subdivision – Record Plan 1617, Schopplough Lane, dated 08/28/1989, and last revised 06/16, 1990. Recorded in the Montgomery County Office for Recording of Deeds and Mortgages bk A-51 pg 442 dated March 21, 1989.
7. Plan entitled Plan of Subdivision prepared for Robert Held, Inc. by Umler & Walter, Inc. dated Sept. 16, 1987, and last revised Sept. 17, 1989. Recorded in the Montgomery County Office for Recording of Deeds and Mortgages bk A-51 pg 442 dated March 21, 1989.
8. Plan entitled Plan of Subdivision prepared for Robert Held, Inc. by Umler & Walter, Inc. dated Sept. 16, 1987, and last revised Sept. 17, 1989. Recorded in the Montgomery County Office for Recording of Deeds and Mortgages bk A-51 pg 448 dated Feb. 26, 1990.
9. There has been no field investigation performed to verify any existence of any wetlands, waters of the U.S. or Commonwealth Flood Plain Zone "X" on this site.
10. This site is located within Flood Plain Zone "X" (areas determined to be outside the 0.2% annual chance flood elevation as illustrated on Community Panel Number 42091-C-0259-0, effective dated March 2, 2016) as prepared by the Federal Emergency Management Agency. No computations have been made to determine the flood elevation for this site.
11. All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 of 1988, as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging or excavation on state utility lines (i.e. gas, electric, water, sewer, etc.) or on any power/public utility lines (i.e. gas, electric, water, sewer, etc.). See www.pennstatecouncil.org.
12. Existing subsurface utility information illustrated on these plans was based upon visual field locations obtained from a utility survey operation(s). The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no express warranty that the information is correct or complete. The information is provided for informational purposes only. Utility information shown should not be relied upon for construction purposes. It is incumbent upon the client to verify subsurface utilities prior to excavation.
13. Right-of-Way of way width per deed reference, recorded plan, and PennDOT Highway data. Ultimate right-of-way for Plymouth Road identified as 80'-11" in width.
14. Subject property is zoned "A" Residential District as noted on the official Zoning Map.
15. This project shall be served by public sanitary sewer by Lower Gwynedd Township and water services by North Wales Water Authority.

DEVELOPMENT NOTES:

1. The contractor shall ensure that all necessary permits and approvals have been obtained prior to any construction of any type of any structure.
2. Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work.
3. Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except lawns or suitable low ground cover.
4. Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications for Highway Construction.
5. Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basis and perpetual part of the storm water management system for this Municipality, and as such, are hereby accepted by the Municipality and shall be maintained, improved, repaired, replaced, and/or its agents may reserve the right and privilege to enter upon such lands from time to time for the purpose of inspection, repair, and/or improvement of the storm water management system in order to determine the need for and/or the design of any storm water conveyance system.

Print Date: Aug 19, 2026 (05:17) a Print Scale: 1" = 30.00'



PLAN LEGEND

EXISTING (EX) FEATURES

- I.P. (F) Iron Pin / Pipe (Found)
- C.M. (F) Concrete Monument (Found)
- Tract Boundary
- Ex R/W Centerline
- Ex Legal R/W Line
- Ex Ultimate/PennDOT R/W Line
- Ex Fence Line
- Ex Mailbox
- Ex Sign
- Ex Utility Pole & O.H. Wires
- Ex Sewer Clean Out
- Ex Water Valve / Gas Valve
- Ex Fire Hydrant
- Ex Water Meter / Corp Stop
- Ex Light/Sign Post
- Ex Storm Sewer and Inlet
- Ex Sanitary Sewer & MH
- Ex Gas Main & Service
- Ex Water Main & Service

PROPOSED (PR) FEATURES

- I.P. (S) Iron Pin (Set)
- C.M. (S) Concrete Monument (Set)

EX. SITE IMPERVIOUS

	Existing Site:
BUILDING(S):	5,298 Sq. Ft.
HARDSCAPE (Deck/Patio/Walls):	4,198 Sq. Ft.
IMPERVIOUS (Asphalt):	11,678 Sq. Ft.
POOL / SPA SURFACE	801 Sq. Ft.
GROSS SITE TOTAL:	21,975 Sq. Ft.
REMOVAL AREA:	- 8,580 Sq. Ft.
NET TOTAL AREA:	13,395 Sq. Ft.

PROJECT SOILS DATA

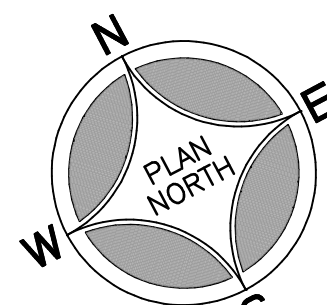
Soils Type:	Slopes:	Depth to Restrictive Feature:	Depth to Water Table:	Hydrologic Soil Group:
AbB Abbotstown silt loam	3 to 8 percent	18-22" to Fragipan 40-60" to Lithic Bedrock	6 to 18"	D
ReB Readington silt loam	3 to 8 percent	20-36" to Fragipan 40-60" to Lithic Bedrock	18 to 36"	C

GENERAL PLAN NOTES

EXISTING FEATURES and SURVEY NOTES:

- A field metes and bounds survey was performed under the supervision of Keith A. Houser, PLS. Survey performed without the benefit of a full Title Report. Bearings shown reflect a rotation of -09 Deg 37 Min 09 Sec. Deed Bearing Basis to match Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis. Field Survey performed May 2026.
Horizontal datum based on NAD 1983, SPC 83 Pennsylvania (South), GEOID Model g2003u08 using Topcon Topnet Live Virtual Network System.
- A topographic and existing features survey was performed under the supervision of Keith A. Houser, PLS. Site Benchmark is the top of cut nail in utility pole #46 PP in front of the subject property having an elevation of 311.33. Field Survey performed May 2026.
Vertical datum references provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD88 vertical datum. Site Vertical Datum using Topcon Topnet Live Virtual Network System.
- This plan was prepared utilizing the following references:
 - Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 - Aerial imagery used for base plan reference provided by NearMap, Inc. Imagery from flight dated April 7, 2026.
 - Montgomery County - Geospatial Data Hub, providing supporting information for Tax Parcel(s), Municipal Boundaries and Zoning District Boundaries, and Soils Limits.
 - Plan entitled Preliminary/Final Plan Minor Subdivision - Record Plan 1617 Schoolhouse Lane prepared for Jennifer A. L. Gabora by Woodrow and Associates, Inc., dated Dec. 15, 2017, and last revised July 25, 2018. Recorded in the Montgomery County Office for Recording of Deeds plan bk 50 pg 93 dated Feb. 7, 2019.
 - Plan entitled Plan of Subdivision prepared for Robert Held, Inc. by Urwiler & Walter, Inc. dated Sept. 16, 1987, and last revised Feb. 17, 1989. Recorded in the Montgomery County Office for Recording of Deeds plan bk A-50 pg 442 dated March 21, 1989.
 - Plan entitled Plan of Subdivision prepared for Robert Held, Inc. by Urwiler & Walter, Inc. dated Aug. 14, 1989, and last revised Jan. 16, 1990. Recorded in the Montgomery County Office for Recording of Deeds plan bk A-51 pg 488 dated Feb. 26, 1990.
- There has been NO field investigation performed to verify any existence of any wetlands, waters of the U.S., or Commonwealth or Alluvial Soils at the time of the site survey.
- This site is located within Flood Plain Zone "X" (area determined to be the 0.2% annual chance floodplain) as illustrated on Community Panel Number 42091-C-0259-G, effective date March 2, 2016 as prepared by the Federal Emergency Management Agency. No computational floodplain study has been performed for this plan.
- All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.paonecall.org.
- Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied agreement that subsurface utility connections exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.
- Right(s)-of-way width per deed reference, recorded plan, and PennDOT Highway data. Ultimate right-of-way for Plymouth Road identified as 80'-ft in width.
- Subject property is zoned 'A' Residential District as noted on the official Zoning Map.
- This project shall be served by public sanitary sewer by Lower Gwynedd Township and water services by North Wales Water Authority.

REVISIONS



SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2026 1262607 (5/6/26)

Pennsylvania 811
A History United with Pennsylvania Corporation

Parcel Information:

N/F: Armour, Caroline M
& Creighton, Eric J

TPN: 39-00-03589-00-8
Block 2 Unit 20
D.B.: 6029 Pg. 2136
813 PLYMOUTH RD

Deed Area: 141,016.40 Sq. Ft.
Legal RW: 12,529.87 Sq. Ft.
Util. RW: 3,387.90 Sq. Ft.
NET Area: 125,098.63 Sq. Ft.

Applicant:

CDHB VENTURES, LLC
c/o Corbett Hall
P.O. BOX 395
DEVON, PA 19333

15' 0' 30'
Scale in Feet (1" = 30')

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WOODROW & ASSOCIATES, INC.

MUNICIPAL / CIVIL CONSULTING ENGINEERS
LOWER GWYNEDD TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 342-3948 Web: www.woodrowinc.com

PRELIMINARY / FINAL PLAN
EXISTING FEATURES SURVEY and
DEMOLITION PLAN
813 PLYMOUTH ROAD
LOWER GWYNEDD TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
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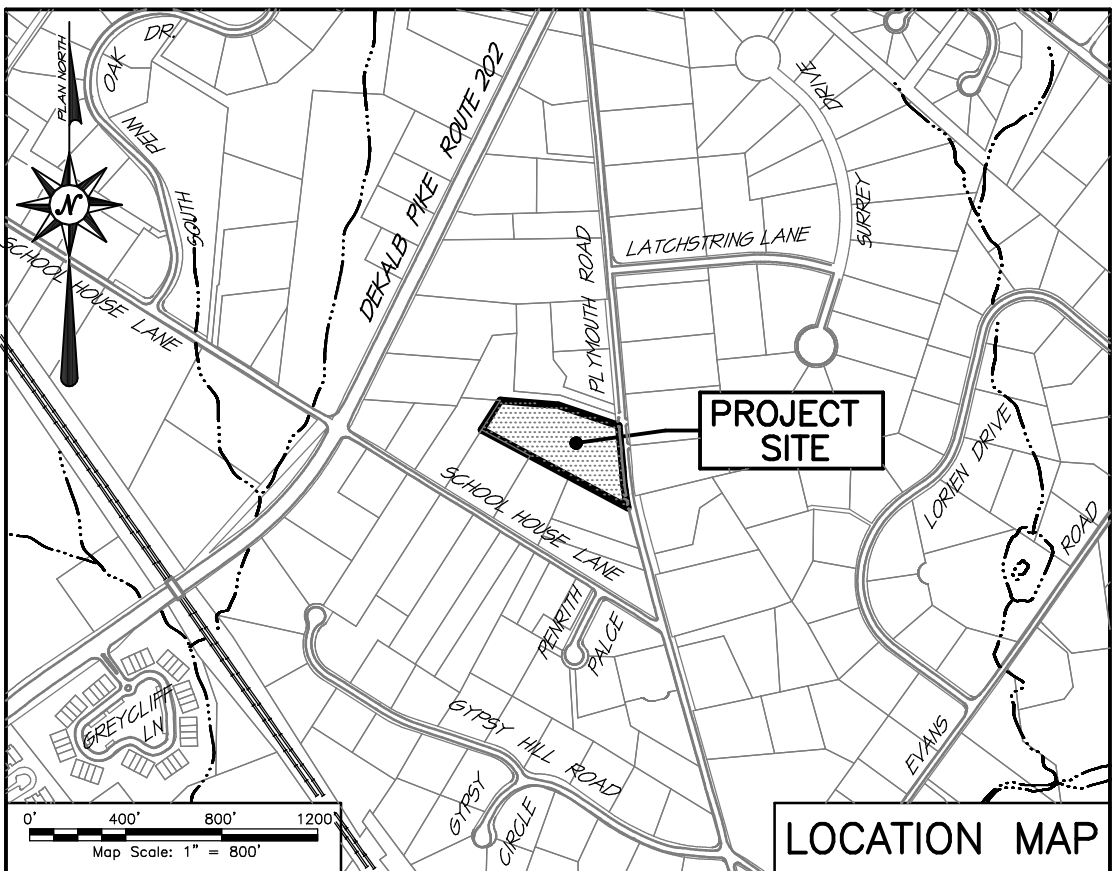
Layer List: Sh02_Survey

Job No: 26-0307 D

Plan Date: AUG. 21, 2026

Sheet No:

2 of 2





September 10, 2026

Ms. Mimi Gleason
Township Manager
Lower Gwynedd Township
1130 N. Bethlehem Pike
Spring House, PA 19477

RE: **Traffic Review – Preliminary Subdivision Plans**
813 Plymouth Road
Lower Gwynedd Township, Montgomery County, PA
Project No. 314087-01-028

Dear Mimi:

As requested, on behalf of Lower Gwynedd Township, Bowman Consulting Group (Bowman) has completed a traffic review for the proposed subdivision to be located at 813 Plymouth Road in Lower Gwynedd Township, Montgomery County, PA. It is our understanding that the proposed subdivision involves subdividing Parcel #39-00-03589-00-8 into two lots (Lot A and Lot B). The existing single-family home will remain on Lot A while there is currently no development proposed on Lot B. Access to Lot A will continue to be provided via its existing southern driveway along Plymouth Road while access to future development on Lot B will be provided via the existing northern driveway for Lot A.

The following document was reviewed in preparation of our comments:

- Preliminary Subdivision Plans – 813 Plymouth Road, prepared by Woodrow & Associates, Inc., dated August 21, 2026.

Based on our review of the document listed above, Bowman offers the following comments for consideration by the Township and action by the applicant's team:

1. According to **Section 1230.37(c)** of the **Subdivision and Land Development Ordinance**, Plymouth Road should have a minimum cartway width of 34 feet. The plans currently show an approximate 28 to 30-foot cartway width along the Lot A and Lot B site frontages of Plymouth Road.
2. Sight distance measurements should be shown on the plans at the driveway locations for Lot A and Lot B along Plymouth Road as required in **Section 1230.38(a)** of the **Subdivision and Land Development Ordinance**.
3. According to **Section 1230.45(a)** of the **Subdivision and Land Development Ordinance**, sidewalk is required along both sides of all existing and new streets. The plans currently do not show any sidewalk along the Lot A and Lot B site frontages of Plymouth Road.
4. According to **Section 1230.61(a)** of the **Subdivision and Land Development Ordinance**, curbing is required along both sides of all existing and proposed streets. The plans currently do not show any curbing along the Lot A and Lot B site frontages of Plymouth Road.
5. According to **Section 1298.21(e)** of the **Zoning Ordinance**, a driveway serving a flag lot shall have a minimum paved width of 16 feet for its entire length. The plans show an approximate 12-foot width along the existing northern driveway that will provide future access to Lot B.

6. The Township Fire Marshal should review the proposed subdivision for the accessibility and circulation needs of emergency apparatus.
7. The driveway flare on the northern side of the existing northern driveway that will provide future access to Lot B extends across the property line for the adjacent property as shown on the plans. The applicant must provide documentation that the owner of the adjacent property to the north is aware of this condition. Montgomery County will require similar documentation.
8. The proposed development will be subject to the transportation impact fee of \$3,865 per "new" weekday afternoon peak hour trip and the applicant will be required to pay a Transportation Impact Fee. Based on a review of the submitted materials, it does not appear that there is any new development proposed on either Lot A or Lot B that will be subject to the transportation impact fee at this time; however, it should be noted that our office will calculate a transportation impact fee for the site if/when development is proposed on either Lot A or Lot B.
9. Since Plymouth Road is a County roadway, a Highway Occupancy Permit (HOP) from Montgomery County will be required because the existing northern driveway will provide access to a new parcel in the future and for any modifications to the site frontage within the legal right-of-way along Plymouth Road. The Township and our office must be copied on all applications, plan submissions, and correspondence between the applicant and Montgomery County and be invited to any meetings between these parties.
10. A more detailed review of the site and all transportation-related engineering elements pertaining to the proposed access on the plans can be conducted, as the Township deems necessary, if/when development is proposed on either Lot A or Lot B. Additional comments could be raised at that point.
11. Based on our review, the applicant should address the aforementioned comments and provide revised plans to the Township and our office for further review and approval recommendations. The applicant's engineer must provide a response letter that describes how each specific review comment has been addressed, where each can be found in the plan set or materials.

If the Township has any questions, or requires further clarification, please contact me.

Sincerely,



Chad Dixon, AICP, PP
Senior Project Manager

BMJ/CED

cc: Jamie Worman, Assistant Township Manager
Patty Sexton-Furber, Building Codes Administrator
James Hersh, P.E., Gilmore & Associates, Inc.
Ed Brown, P.E., Gilmore & Associates, Inc.
Neil Stein, Esquire, Solicitor
Al Comly, Township Fire Marshal
Tom O'Brien, Montgomery County Roads and Bridges
Susan Guisinger-Colon, P.E., LEED AP, TPD, Inc., (County Consultant)
Corbett Hall, CDHB Ventures, LLC (Applicant)
Tim Woodrow, P.E., Woodrow & Associates, Inc. (Applicant's Engineer)

V:\314087 - Lower Gwynedd Township\314087-01-028 (TRN) - 813 Plymouth Road\Engineering\Submissions\2026-08-24 Subdivision Plans\Review\2026-09-10 Review Letter - 813 Plymouth Road.docx



MEMORANDUM

ATTN: Planning Commission
DATE: September 10, 2026
FROM: Jamie P. Worman, Assistant Township Manager
SUBJ: Spring House Corporate Center/BET-Conditional Use

BET 309, LLC has submitted a conditional use application and plan for the property located at 321 Norristown Road (Spring House Corporate Center). The application will be before the PC for consideration on September 16th. The applicant is seeking to redevelop this property. The property currently contains two office buildings and a barn. The original plan called for demolishing one of the office buildings, retaining Berkadia in the other, and constructing a four-story, multi-family apartment building with an interior parking garage, along with three commercial retail buildings totaling 47,000 square feet. The plan has since been revised. Under the new proposal, the existing vacant office building would be demolished and replaced with a new office building. Berkadia would then move into the new building, allowing the existing Berkadia office building to be demolished. A four-story, multi-family apartment building would then be constructed in its place. The apartment building remains unchanged in number of units and stories, but it will be relocated on the site. The revised plan also includes additional surface parking and an emergency access connection between Spring House Corporate Center and the neighboring Gwynedd Estates.

The revised conditional use plan and architectural renderings are [linked here](#). Due to the size of the traffic study, and other accompanying documents, they are not included with this memo or PC email but can be accessed on the Township website here [Spring House Corporate Center Redevelopment | Lower Gwynedd Township](#).



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

September 11, 2026

File No. 24-00662

Mimi Gleason, Township Manager
Lower Gwynedd Township
1130 N. Bethlehem Pike, PO Box 625
Spring House, PA 19477

Reference: Spring House Corporate Center
Conditional Use Review 2

Dear Ms. Gleason:

Pursuant to your request, Gilmore & Associates, Inc. performed a review of the submission for the above-referenced project in relation to the conditional use application. Upon review we offer the following comments for consideration by the Lower Gwynedd Township Board of Supervisors:

I. Submission

- A. Conditional Use/ Master Plans, titled Mixed Use Development for BT 309, LLC, consisting of sheets 1 through 10 of 10, dated February 11, 2026, latest revision July 22, 2026, as prepared by Bohler Engineering.

II. General Information

The subject property consists of one (1) parcel located within the D-1 District. The overall tract is approximately 24.09 acres and currently contains a 3-story brick office building, 2-story masonry office building, and 3-story masonry barn building with existing parking areas.

The Applicant proposes to remove the two (2) existing office buildings to construct a 4-story multi-family apartment building with an interior parking garage and three (3) commercial retail buildings and a new 3-story office building. The existing historic barn building is to remain. The subject property will be accessed to Norristown Road (SR 2007) and will contain internal drives for access to the apartment building, retail spaces and office building. Additional improvements include parking areas, curbing, sidewalk, ornamental fence, landscaping, and associated stormwater management facilities.

II. Review Comments

A. Conditional Use

The existing property has been subject to a Zoning Map and Ordinance Amendment that has rezoned the property to Multi-Family Residential District (MF-3). The proposed text amendment added additional uses and requirements to the MF-3 District while allowing mixed use development by conditional use. The Applicant has submitted a revised Conditional Use application showing their proposed development meeting the requirements of the map and text amendment. As such, we have reviewed the plan in accordance with the Multi-Family Residential District where this project shall have its design be subject to conditional use approval. Upon review of the conditional use application, we offer the following comments. The comments contained in this section should not be misconstrued as requirements, but rather discussion points for the Board's consideration when evaluating the Conditional Use Application.

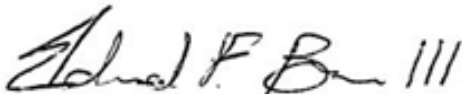
1. We note that development layout has changed so that the apartment complex and office building have relocated to the opposite sides of the property. As such, the recently approved ordinance amendment will need to be revised to permit the new location of the proposed apartment complex due to the proximity of Route 309.

2. We defer to the Township Traffic Engineer regarding comments related to traffic improvements, signage, sight distance, and the calculation of any applicable traffic impact fees.
3. All roadway or site improvements within the Right-of-Way (ROW) of Norristown Road, including realignments, tuning lanes, line striping, and signage should be reviewed and approved by Township Traffic Engineer.
4. The Architectural Plan, as prepared by Architecture Engineering Interiors, referenced on the Cover Sheet (C-101) should be submitted for the Board's consideration when evaluating the Conditional Use Application.
5. Depending on the height of the proposed retaining wall, the Applicant should consider placing a safety fence or guardrail at the top of the wall near access road to the proposed restaurant and retail store.
6. The Applicant should consider adding protective fencing along all pedestrian walking paths around the proposed rain garden areas. Factors to be considered should be pedestrian safety, anticipated traffic volume, native vegetation protection, and litter prevention.
7. We recommend the Applicant explore the feasibility of adding additional lighting for the proposed trails throughout the property.
8. We note that the conceptual locations for stormwater management facilities are shown on the plans, e.g. rain gardens and underground facilities. We recommend preliminary calculations for sizing the stormwater facilities be submitted for review so that it can be determined if the conceptual areas are sufficient to support the plan as currently proposed.
9. We note that the Applicant has explored the feasibility of pedestrian facilities under the PA-309 overpass and believe the connection to be possible. We recommend that the full design, permitting, and construction of those facilities be a condition of conditional use approval.
10. It appears that the access drive adjacent to Route 309 for the proposed apartment building is the service drive noted on the original Conditional Use plan. We note that this service drive has been reduced to 20' from the original 24-foot width. The service drive shall be widened if it is intended to be a two-way access. Turning templates will be required to be provided at the time of the land development application.
11. The Applicant should provide additional buffering between the subject property and the Gwynedd Estates development. To provide a sufficient landscape buffer, the Applicant may be required to provide buffer plantings on both the subject property and Gwynedd Estates. An agreement will be needed between the Applicant and Gwynedd Estates.
12. We note that a pedestrian connection easement will be required for the trail connection to the Gwynedd Estates development. We recommend consideration be given to allow the Gwynedd Estates residents to utilize the subject property trails but not encourage the mixed-use development residents to utilize the property at Gwynedd Estates as the connection does not lead to the trail network within Gwynedd Estates.
13. If it is the intent for the residents of Gwynedd Estates to use the emergency vehicle access area to utilize the proposed trail system, then applicant shall account for pedestrian access around the proposed vehicle gates.
14. The Applicant should explore the feasibility of a crosswalk and pedestrian facilities to accommodate a connection to the Beach Hollow Road neighborhood.
15. We note that the buffer plantings between Norristown Road and mixed-use parking lot may need to be supplemented with additional landscaping screenings in order to achieve the aesthetic as depicted on in the renderings. We recommend a condition of approval be that the Applicant supplement the plantings in this area to the satisfaction of the Township in order to achieve the conditional use plan aesthetic representation.

16. The Applicant shall work with the Township to determine the best design and path for the sanitary sewer line and connection with sanitary sewer main in Norristown Road (SR 2007) to minimize the environmental impact and address the concerns of the increased capacity on the system.
17. ADA compliant ramps/access ways should be considered at all crosswalks and buildings to nearby public facilities.
18. There is a proposed reserved access easement on the northern side of the property. We recommend that the Applicant clarify the intended use of this easement and provide an agreement between property owners to be reviewed by the Township Solicitor.
19. Snow storage areas should be considered in the design of parking lot areas. Snow removal and storage during major snow events could potentially cause the total number of parking spaces to be inadequate.
20. Areas designated for trash storage and routes of removal should be considered and implemented in land development plans. The waste produced by the residents of the proposed 264 units in the 4-story apartment building and commercial buildings will likely cause any remaining existing waste removal facilities to be inadequate.
21. The Multi-Family District requires that the design of landscaping, lighting, streetscape improvements, and architectural elements be established and reviewed for the project during Conditional Use. We defer to the Board to determine whether the submitted renderings are sufficient.
22. Based on the level of design at this time, we recommend the Applicant provide a list of important waivers that they know they will request at the time of the land development submission, so that the Board of Supervisors can evaluate the entire scope of the project. Examples include but are not limited to: Frontage Improvements, Landscaping, Stormwater Management, etc.
23. The plan shall be reviewed by the Lower Gwynedd Township Fire Marshal for internal circulation and location of proposed fire hydrants. Additionally, a turning template will be required to be submitted to ensure the circulation of emergency vehicles.
24. We note that the proposed development will be required to obtain all applicable permits, including but not limited to Montgomery County Conservation District, PA DEP, PennDOT, etc. The Township and our office shall be copied on correspondence with these agencies.

Please note that additional comments will be made during the land development review process. If you have any questions regarding the above, please contact this office.

Sincerely,



Edward Brown, P.E.
Project Manager
Gilmore & Associates, Inc.

EB/sl

cc: Neil A Stein, Esq., Kaplin Stewart
Jamie Worman, Assistant Township Manager
Patty Sexton-Furber, Building Codes Administrator
Peter J. Clelland, VP of Development, BT 309, LLC
Thomas R. Knab, R.L.A., Bohler Engineering
Al Comly, Township Fire Marshal
Chad Dixon, P.E., Bowman Consulting Group
James Hersh, P.E., Vice President, Gilmore & Associates, Inc.



September 11, 2026

Ms. Mimi Gleason
Township Manager
Lower Gwynedd Township
1130 N. Bethlehem Pike
Spring House, PA 19477

RE: **Traffic Review – Transportation Impact Study and Conditional Use Plan**
321 Norristown Road (S.R. 2052) – Spring House Mixed-Use Development
Lower Gwynedd Township, Montgomery County, PA
Project No. 314087-01-005

Dear Mimi:

As requested, on behalf of Lower Gwynedd Township, Bowman Consulting Group (Bowman) has completed our traffic engineering review of the proposed mixed-use development to be located at 321 Norristown Road (S.R. 2052) in Lower Gwynedd Township, Montgomery County, PA. Based on information provided in the submission, the proposed development will consist of 264 mid-rise apartments, 71,520 square feet of office space, a 30,000 square-foot grocery store, 10,000 square feet of general retail space, and a 6,000 square-foot restaurant. Access to the site will continue to be provided via the existing signalized full-movement driveway (Boveri Drive) along Norristown Road (S.R. 2052).

The following documents were reviewed in preparation of our review:

- Transportation Impact Study – Springhouse Mixed-Use Development, prepared by TPD, Inc., last revised June 24, 2026.
- Response to Township Traffic Engineer Comments Letter – Springhouse Mixed-Use Development, prepared by TPD, Inc., dated June 24, 2026.
- Response to PennDOT Cycle #1 Comments Letter – Springhouse Mixed-Use Development, prepared by TPD, Inc., dated June 24, 2026.
- Crash Analysis – Springhouse Mixed-Use Development, prepared by TPD, Inc., dated June 17, 2026.
- Conditional Use/Master Plan – Mixed-Use Development, prepared by Bohler Engineering, last revised July 22, 2026.

Based on our review of the submitted documents noted above, Bowman offers the following comments for consideration by the Township and action by the applicant.

General

1. The applicant should address the comments contained in this letter and provide revised materials to the Township and our office for further review and recommendations as the proposed development proceeds through the Township and PennDOT review process. The applicant's engineers must provide a response letter that describes how each specific review comment has been addressed, where each can be found in the study or materials.

2. The proposed development will be subject to the transportation impact fee of \$3,865 per "new" weekday afternoon peak hour trip and the applicant will be required to pay a Transportation Impact Fee. The transportation impact fee will be calculated during the land development phase of the project.
3. Since Norristown Road (S.R. 2052) is a state roadway, a Highway Occupancy Permit (HOP) will be required for the proposed improvements and modifications within the legal right-of-way along Norristown Road (S.R. 2052). The Township and our office must be copied on all plan submissions and correspondence between the applicant and PennDOT and invited to any and all meetings between these parties.

Transportation Impact Study

4. The transportation impact study (TIS) is concurrently being reviewed by PennDOT to obtain concurrence and approvals on the access and associated improvements proposed in the study. Any comments from PennDOT are requested to also be coordinated with/copied to our office and Lower Gwynedd Township.
5. Based on information provided in Table 6 of the TIS, the proposed development will generate 306 total "new" trips during the weekday morning peak hour, 341 total "new" trips during the weekday afternoon peak hour, and 381 total "new" trips during the Saturday midday peak hour. The table below summarizes the "new" trips for the proposed development.

**Total "New" Trips
Proposed Site**

Land Uses	Size	AM Peak	PM Peak	Saturday Midday Peak
Office (Existing to Remain)	77,619 s.f.	97	85	57
Proposed Residential	264 units	100	53	70
Proposed Retail Buildings	46,750 s.f.	109	203	254
Total New Trips		306	341	381

The existing site consists of a 143,295 square-foot office building which if fully occupied would generate 180 total "new" trips during the weekday morning peak hour, 173 total "new" trips during the weekday afternoon peak hour, and 126 total "new" trips during the Saturday midday peak hour. Therefore, the proposed development is expected to generate an additional 126 total "new" trips during the weekday morning peak hour, an additional 168 total "new" trips during the weekday afternoon peak hour, and an additional 255 total "new" trips during the Saturday midday peak hour over the existing office buildings of the site if fully occupied.

It is noted that the revised TIS was submitted to the Township and PennDOT prior to the revised Conditional Use plan submission. The revised conditional use plan proposes the same number of apartment units and square footage of retail/restaurant space and proposes approximately 6,099 less square footage of office space compared to the assumptions in the TIS.

6. The applicant's traffic engineer concludes that under the 2027 and 2032 projected conditions, with the development of the proposed site, and with the site-related recommendations outlined in Table II of the Executive Summary of the TIS, all study area intersections will satisfy PennDOT intersection levels-of-service (ILOS) standards. PennDOT TIS guidelines state if the evaluation of the With

Development Horizon Year Scenario to the Without Development Horizon Year Scenario indicates that the overall intersection levels-of-service have dropped, the applicant will be required to mitigate the levels-of-service if the increase in overall intersection delay is greater than 10-seconds. If the overall intersection delay increase is less than or equal to 10-seconds, mitigation of the intersection will not be required. It should be noted that the proposed traffic signal timing optimization at the signalized intersections along Norristown Road (S.R. 2052) from Bethlehem Pike (S.R. 2018) to Tennis Avenue (S.R. 2020) are expected to mitigate the overall intersection levels-of-service (ILOS) impacts of the proposed development according to current PennDOT criteria.

The study presents the following recommendations/conclusions (bullet items below), that should minimally be required of the applicant as we note after each, and of which will also be reviewed by PennDOT. In addition, we have provided recommendations for additional improvements that should be further considered and evaluated by the applicant, Township, and PennDOT. The improvements included in the revised TIS suggested for further evaluation by our office in our April 10, 2026 review letter are provided in **bold font below** for reference.

Norristown Road (S.R. 2052) Corridor Traffic Signal Modifications

- Optimize traffic signal timings at the signalized study intersections, including traffic signal timings for the Norristown Road (S.R. 2052) and Bethlehem Pike (S.R. 2018) intersection to best optimize operations for the intersection.
- **In addition to the traffic signal timing adjustments for the Norristown Road (S.R. 2052) corridor listed above, we recommend the existing loop detection system for the Route 309 interchange traffic signals be replaced with detection systems that are consistent with the current Township traffic signal specifications in order to further optimize traffic flow through the interchange area. Additional traffic signal equipment upgrade requirements may be identified at the intersections when a review of the design plans is completed for the proposed improvements along the corridor.**

Additional improvements are recommended below for individual intersections along the Norristown Road (S.R. 2020 corridor).

Norristown Road (S.R. 2052) Site Access (Boveri Drive)

- Restripe the eastbound left-turn lane to increase the storage length to 250 feet.
- Maintenance of on-site vegetation to maximize available sight distance.
- Extend the southbound right-turn lane on the site access approach to the first internal intersection via widening.
- Work with PennDOT and the Township on potential traffic signal equipment upgrades. **Bowman recommends that a review of the traffic signal equipment for the Boveri Drive intersection be completed for during the land development and HOP review process to determine upgrades that will be required of the applicant for compliance with the current township traffic signal specifications.**
- Work with PennDOT and the Township on potential traffic signal timing modifications to increase the green time on the westbound Norristown Road (S.R. 2052) approach in order to create a gap in the eastbound traffic stream to facilitate turns into and out of Beech Hollow Road.

According to the turn lane warrant analysis summarized in Table 16, a 175-foot right-turn lane is warranted along the westbound Norristown Road (S.R. 2052) approach to Boveri Drive. Based on information provided in the study, the applicant is not proposing to install this right-turn lane due to steep grades adjacent to Norristown Road (S.R. 2052), small stream crossing of Norristown Road (S.R. 2052) and the existing walking trail along Norristown Road (S.R. 2052). It should be noted that the westbound Norristown Road (S.R. 2052) approach to Boveri Drive is expected to operate at LOS A during all three peak hours under 2027 and 2032 future projected conditions.

Norristown Road (S.R. 2052) Site Frontage Pedestrian Improvements

- Provide a 10-foot-wide trail along the Norristown Road (S.R. 2052) site frontage. In addition, provide trails through portions of the site that connect to the proposed trail along the Norristown Road (S.R. 2052) site frontage and to the existing trail to the east of the site.
- Provide sidewalk extending across the Route 309 northbound on-ramp, under Route 309, across the Route 309 southbound off-ramp terminating at/near the SHIP property to the west of the site.
- Provide PennDOT compliant crosswalks and pedestrian traffic signal equipment at the signalized study intersections between Boveri Drive and the Route 309 southbound off-ramp.

Based on our preliminary review of the proposed sidewalk extending under the Route 309 along Norristown Road (S.R. 2052), identified in the February 4, 2026 Traffic Impact Summary memorandum prepared by the applicant's traffic engineer, it appears that providing a 4' sidewalk and single-faced barrier curb may reduce the outermost westbound through lane to less than 11' in width which may require adjustments to lane widths and or shifting of travel lanes on Norristown Road (S.R. 2052) through the interchange area. It is noted that the applicant's traffic engineer has included the conceptual sketch of the proposed sidewalk with the TIS Scoping Application submitted to PennDOT on March 4, 2026. PennDOT has provided preliminary comments regarding the proposed sidewalk in their TIS Scoping Application review dated April 2, 2026. A more detailed design plan should be prepared for review by the Township and PennDOT.

If it is determined at a later date that the proposed pedestrian improvements are not feasible, the applicant will be required to propose alternative improvements as required in **Section 1276.02(e)(2)C.3** of the **Zoning Ordinance**.

Norristown Road (S.R. 2052) and Tennis Avenue (S.R. 2020)

- Coordinate with PennDOT and the Township on shifting where the transition occurs between the one westbound lane and two westbound lanes further west in order to extend the existing eastbound left-turn lane approaching Tennis Avenue (S.R. 2020).
- **In addition to the lane improvements suggested in our April 10, 2026 letter and the recommendations provided in the TIS, Bowman recommends that a review of the traffic signal equipment for the Tennis Avenue intersection be completed with the design plans for the proposed improvements to determine upgrades that may be required of the applicant to improve traffic operations for the intersection and improve the intersection to current township traffic signal specifications.**

PennDOT TIS guidelines state that applicants may be required to address available storage and queue lengths at critical movements or approaches even if the overall intersection LOS requirements are met. If improvements to address available storage and queue lengths for the eastbound left-turn movement on Norristown Road (S.R. 2052) to accommodate the 2027 and 2032 future queues that are projected to exceed the available storage length during the weekday morning and weekday afternoon peak hours are not feasible and agreed upon by PennDOT, the applicant should identify other improvements for the intersection or Norristown Road (S.R. 2052) corridor in place of those referenced above as required in **Section 1276.02(e)(2)C.3** of the **Zoning Ordinance**. Additionally, the applicant may be required by PennDOT to provide an Alternative Transportation Plan (ATP) that proposes necessary storage and/or infrastructure improvements in the study area that are feasible and will improve transportation (multi-modal) mobility.

7. Additional comments and requirements could be raised, and revisions may be required for the site access, and recommended transportation improvements for the Norristown Road (S.R. 2052) corridor during the Conditional Use, Land Development and PennDOT Highway Occupancy Permit (HOP) review processes.
8. The applicant must complete a post-development trip generation study after the development as required in **Section 1276.02(e)(3)** of the **Zoning Ordinance** not later than six months after the retail and apartment buildings reach an aggregate occupancy rate of 75 percent.

Conditional Use/Master Plan

In addition to the improvements identified for the site frontage and access at the signalized intersection of Norristown Road (S.R. 2052) and Boveri Drive referenced in comment 6 of this letter, we offer the following additional comments for consideration pertaining to the conditional use plan.

9. The applicant's engineer should evaluate the feasibility of adjusting the alignment of the first internal intersection to the site so that the minor approaches to this intersection are aligned opposite each other.
10. The applicant has proposed an emergency access only driveway connecting to the Gwynedd Estates parking lot adjacent to the property. We defer to the Township Fire Marshal on the most appropriate location of the proposed emergency access only driveway.
11. Turning templates should be provided demonstrating the ability of emergency vehicles, trash trucks, and the largest expected delivery vehicle expected to routinely access the site to maneuver into and out of the site access along Norristown Road (S.R. 2052) and entirely through the site (including through the emergency access located adjacent to the apartment building). It is recommended that the Township Fire Marshal review the plans for accessibility and circulation needs of emergency apparatus.
12. A more detailed review of land development plans will be conducted if and when the project moves forward through a detailed land development review and approval process. Additional comments and requirements could be raised, and revisions may be required for the site access, roads internal to the development, pedestrian facilities, signage, and parking at that time.

If you or the Township have any questions, or require clarification on the above comments, please contact me.

Sincerely,



Chad Dixson, AICP, PP
Senior Project Manager

CED/BMJ

cc: Jamie Worman, Assistant Township Manager
Patty Sexton-Furber, Building Codes Administrator
James Hersh, P.E., Gilmore & Associates, Inc.
Neil Stein, Esquire, Solicitor
Al Comly, Township Fire Marshal
Mirlene SaintVal, P.E., PennDOT
Nidhi Mehra, PennDOT
John Gallagher, P.E., PennDOT
Peter Clelland, BT 309, LLC (Applicant)
Christen Pionzio, Esquire, HRMM&L (Applicant's Attorney)
Thomas Knab, R.L.A, Bohler Engineering (Applicant's Architect)
Matt Hammond, P.E., TPD, Inc. (Applicant's Traffic Engineer)

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